

F2 Bondi Beach

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2.0 STREET DESIGN POLICIES

The coordinated development of the interface between private property and the public domain at Bondi Beach involves appropriate design outcomes at the public and private spheres. The quality and function of the interface at the property boundary is a major consideration.

There is a wide range of street types in the Bondi Beach area. The policies for each street have been developed from a street analysis. They deal with the public domain interface and define the goals for each street in terms of heights, uses, setbacks as well as other requirements. They are also complimentary to the standards set down for height, use and volume of development in other sections of this Part.

The intent of the Street Design Policies is to establish design principles for each street while creating an overall unity in terms of urban design outcomes. They propose to enhance and strengthen the existing character of streets rather than to introduce new uses and unfamiliar forms or building types.

The Street Design Policies apply to the following streets within the Bondi Beach Precinct:

- (a) Campbell Parade – between Warners Avenue and Sir Thomas Mitchell Road
- (b) Hall Street – between Campbell Parade and Glenayr Avenue
- (c) Gould Street
- (d) Jarques Avenue
- (e) Roscoe Street – between Campbell Parade and Gould Street
- (f) Curlewis Street – between Campbell Parade and Gould Street
- (g) Gelnayr Avenue – between O'Brien Street and Roscoe Street
- (h) Other Residential Streets, in part,
 - (i) Roscoe Street, northern end
 - (ii) Sir Thomas Mitchell Road, Beach Road, Consett Avenue, Chambers Avenue, Cox Avenue and O'Brien Street
 - (iii) Lamrock Avenue.

(Refer to Figure 1).

2.1 Campbell Parade

Campbell Parade is the principal street at Bondi Beach which role transcends its local significance. It is an integral element of the tourist image of the Bondi Beach area, providing retail, food and other services for the transient daytime population.

The desired treatment of Campbell Parade has two purposes. First, to encourage development of a consistent height and character in order to create an appropriate backdrop for its role as Australia's most famous beach. Second, extend and reinforce the retail and commercial activity at ground and first floor level by the construction of a continuous accessible awning, with retail and service uses at ground floor level and with outdoor eating areas at first floor level overlooking the beach.

The building line is to enhance the existing character of the precinct. Whilst a permissible building height of 15 metres applies to Campbell Parade, a recommended building height of 12.5 metres is proposed to

maintain the level of development and permit views out from perimeter residential precincts (refer to Figure 2).

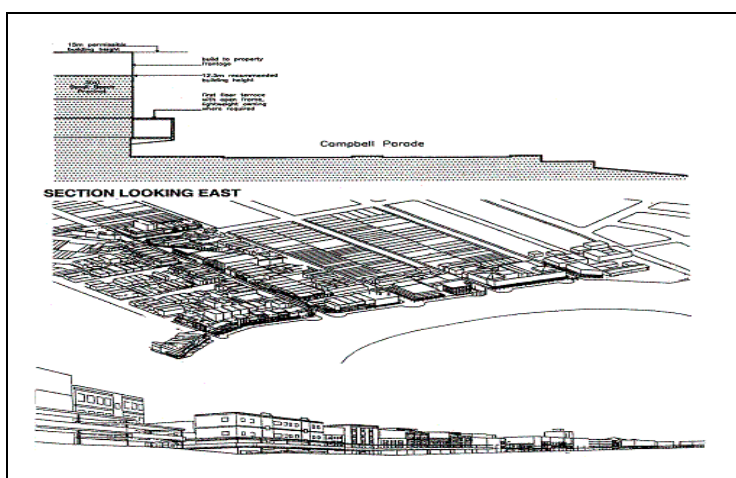


Figure 2. Campbell Parade.

2.2 Hall Street

Hall Street provides access to retail and service activities for the Bondi community. Its character is largely made up of retail and service activities at ground floor with residential and services spaces at the first floor. At street level the development controls contained in this Part and in Part F5 encourage development to the street frontage with continuous awnings and minimum number of footpath crossings for on-site parking.

2.3 Gould Street

Gould Street, a narrow street running parallel to Campbell Parade, provides a secondary level of commercial, retail and service uses for the daytime population of the precinct. It provides the same range of services for the local population in a more intimate environment than that of Campbell Parade. The controls create a continuous retail frontage to both sides of the street with awnings for covered access. Set-backs on the eastern side of the street above 9 metres allow sunlight penetration and create a balanced street profile which recognises the height limits of the residentially zoned properties to the west. This ensures the built edge is in scale with the street width and reinforces the pedestrian scale and character (refer to Figure 3).

2.4 Jacques Avenue

The eastern side of Jacques Avenue is zoned for retail commercial use whilst the western side remains residential. Jacques Avenue is primarily residential in character with limited traffic, although service access to commercial properties and car parking remain a problem. The street design policy requires the development of a balanced street profile which matches the height, and setbacks of the commercial frontage, to the potential height and setbacks on the residential (western) frontage.

On the western side, residential character is set by a 10m permissible height limit and setbacks of 3m at both ground and first floor. Whilst a 15m permissible building height prevails on the eastern side, with a

recommended building height overall of 12.5m, the street design policy requires ground floor development to be setback 3m, with a further setback of 3m at the 10m building height and a third setback of 3m at the 12.5m building height. Setbacks above ground level should be treated as landscaped or roof areas with outdoor usage minimised to avoid noise problems at the residential/commercial interface. Commercial uses at ground floor should be limited to those with low service requirements to protect residential amenity (refer to Figure 4).

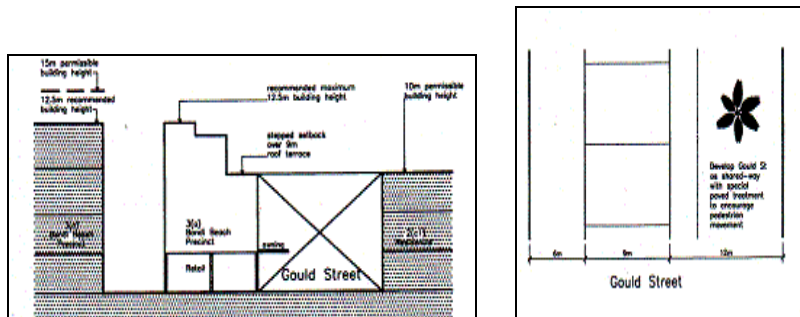


Figure 3: Gould Street

2.5 Roscoe Street (Between Campbell Parade and Gould Street)

Roscoe Street divides into two distinct areas, one relates to the beach area and the other to the residential sector behind the Campbell Parade beach-front. The eastern end is proposed to be an extension of the Campbell Parade Promenade, with the 15m permissible building height zone (recommended building height 12.5m) extending to both sides of Roscoe Street to provide a clear definition of the pedestrian space. The first floor balcony awning extends for the length of the pedestrian areas. (refer to Figure 5 and see Section 2.8.1).

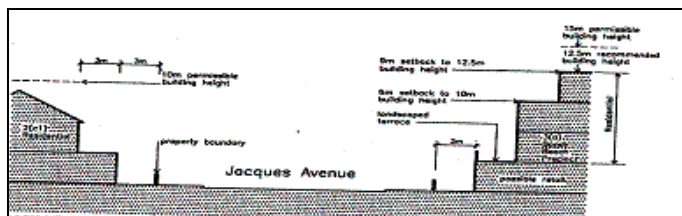


Figure 4: Jacques Avenue

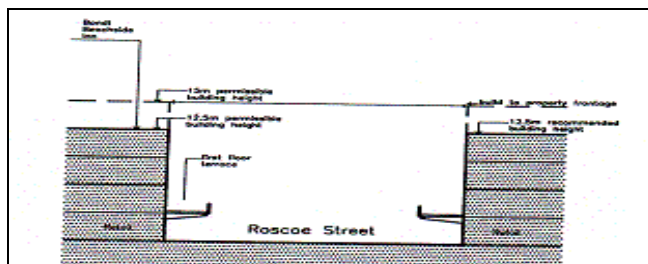


Figure 5: Roscoe Street.

2.6 Curlewis Street

Curlewis Street is a street of mixed uses with some retail and residential on its western side and predominantly residential development on its eastern side. The development controls maintain and strengthen existing uses, clearly differentiating between the eastern and western side of the street. Building heights area restricted to 10m on both sides.

On the western side, consolidation of retail frontage to the property boundary is encouraged where possible, with tree planting in footpath extensions in the parking lane of the street (see plan view). Elsewhere, residential development may set back to form a landscaped forecourt to the street.

On the eastern side, buildings are required to be set back 3 metres from the property boundary, with tree planting recommended on grass belts (in the footpath zone) and on the parking lane (see plan view). This will be achieved through a condition of consent. (Refer to Figure 6).

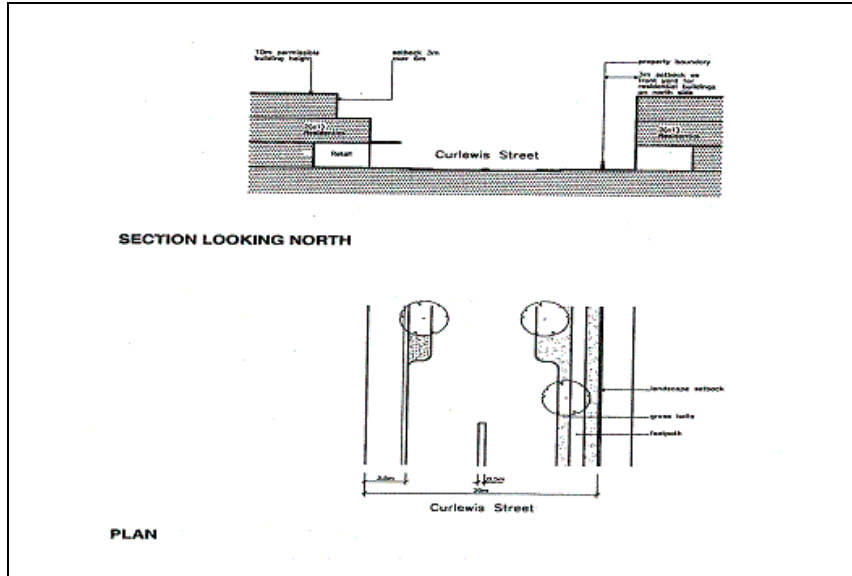


Figure 6. Curlew Street

2.7 Glenayr Avenue

Glenayr Avenue provides retail and service facilities for the Bondi Community. Its character is mixed, largely made up of residential uses with retail and service activities at ground floor particularly in the vicinity of the five ways intersection.

At street level the development controls, contained in this Part and in Part F5, are intended to consolidate and develop retail activities by encouraging development at the street frontage with continuous awnings. A minimum number of footpath crossings for on-site parking are recommended.

2.8 Other Residential Streets

Refer to Figure 7 for an elevation and plan view of the Street Design Policy for 'Other Residential Streets'.

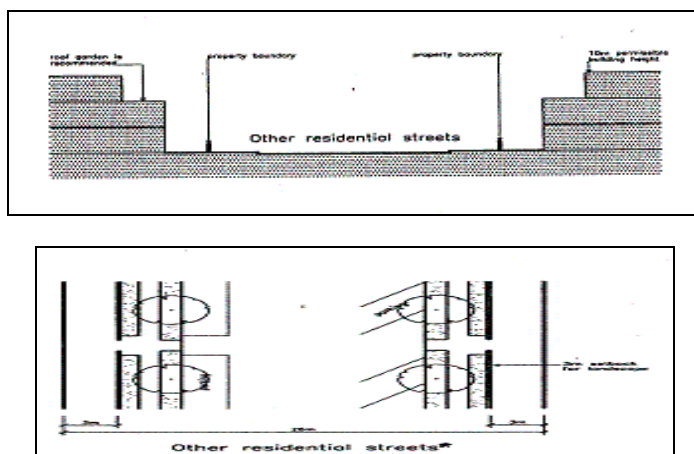


Figure 7. Other residential streets

2.8.1 Roscoe Street (Northern End), Sir Thomas Mitchell Road, Beach Road, Consett Avenue, Chambers Avenue, Cox Avenue, O'Brien Street

Primarily residential in character, development is to have a maximum height of 3 storeys with setback roof terrace 3 metres deep. In addition, buildings are to be set back 3 metres from the front property boundary. Avenue planting will be achieved for both sides of the street, within the footpath zone by way of conditions of consent.

2.8.2 Lamrock Avenue

In Lamrock Avenue a set-back of 6 metres is required to coordinate with existing property lines. This set-back zone is to be reserved for access and landscaping and shall not provide for car parking where this involves the construction of garages or car ports, whether these structures are attached or free-standing. Buildings are to be setback 3 metres from the front property boundary, with a further setback of 3 metres at third storey. This setback should be treated as a landscape roof terrace area.

3.0 DEVELOPMENT CONTROLS BY AREA

Development controls (developed in conjunction with clauses 13 to 16 in Waverley LEP 1996) are listed for each property for 28 development control areas, as follows:

- A) **Conserve Existing Building** The existing building on the site is to be retained in any future development. Development is to leave the heritage qualities of the building unimpaired with the form of the development to be appropriate to the location in terms of style and bulk. The completed development is required to enhance the existing character and architectural qualities of the existing building.
- B) **Retain Existing Façade** While the building does not carry a heritage classification the front section of the building including the façade is of streetscape importance and should be retained in the redevelopment of the site.
- C) **Enhance Existing Character** The existing building on the site

has characteristics of form, style and detail which contribute to the street and to the Bondi character. Redevelopment of the site should enhance the qualities present in the existing building.

- D) Build to Recommended Height at Front Property Boundary** Provide a continuous line of building of equal height at the front alignment as a backdrop to Bondi Beach and Park, development is required to extend to the recommended building height specified herein.
- E) Setback 3m over Existing Façade** Where a building is to be extended by the construction of additional floors, the new section is to be set back from the existing façade line by a minimum distance of three metres. This setback also provides an opportunity for the incorporation of a roof terrace or verandah with view beyond the immediate location. Where a building is to be constructed in conjunction with a retained façade, the new construction is to be similarly set back and integrated with the preserved section of the building.
- F) Maintain and Develop Ground Floor Retail Space** Maximise retail effectiveness and consolidate existing retail areas, new development is to provide retail frontage at the front boundary alignment, without intrusion by institutional and related issues, or by trafficked footpath crossings.
- G) Provide Continuous Pedestrian Cover** Shelter for pedestrians is to be provided by continuous awnings, extended balconies or other equivalents.
- H) Incorporate Terrace at First Floor** New development may incorporate an open terrace area at first floor level as part of an awning over the existing footpath.
- I) Provide Special Corner Treatment** Corner sites require architectural treatment which emphasises the prominent role filled by these sites in the urban context. Measures include the deletion of upper floor setbacks with construction to external site boundaries, design measures to emphasis the corner and improvements in the public domain at footpath level including footpath widening, tree planting and street furniture.
- J) Provide Roof Terrace to Street Frontage** In common with a wide range of Bondi residential buildings, set back the floor to provide a roof terrace or verandah.
- K) Provide Solar Access to Adjacent Property** Development is to be setback from rear property boundary to provide access to sunlight, up to the distance equivalent to the height of the proposed building.
- L) Build to Front Property Boundary, Setback over 9m** New development is required to align to the street property boundary to a height of 9 metres with higher floors to be setback by a distance of 3 metres.
- M) Minimise Footpath Crossings** Reduce the impact of footpath crossings on continuous retail frontages, vehicular access to on-site parking and service bays should be minimised, preferably

with one access point for consolidated sites. Where possible access should be directed away from retail areas.

- N) Provide Visual Termination at Street Junction** Where a property in one street lies on the axis of another, forming a visual termination of the view along the second street, the treatment of the front elevation of the property should desirably acknowledge the axial relationship in terms of design and planning.
- O) Setback 3m from Front Boundary** Provide a setback of 3 metres from the property alignment at the street frontage.
- P) Limit Ground Floor Commercial Uses** To preserve residential amenity in mixed use street, ground floor commercial/retail activities should be limited to those with only low service and parking requirements.
- Q) Set-back 3m above Ground Floor to maximum height of 9m, and then a further 3m to maximum recommended height of 12.5m** Development at Ground Floor is to be set-back 3 metres from the street boundary. A further set-back of 3 metres above Ground Floor to a maximum of 9 metres is required, with a further set-back of 3 metres to the recommended building height of 12.5 metres.
- R) Setback 1.5m from Street Alignment** Setback required.
- S) Setback 3m over 6m** Setback of 3 metres required over a height of 6 metres, or 2 storeys.
- T) Develop to 10m Height at Front Property Boundary** Development is to be to a maximum height of 10 metres at the front property boundary.
- U) Orientation to Match Adjacent Development** Due to double frontage constraints, orientation of buildings in this segment differ from continuous street alignments in other areas. New development is to conform to the existing pattern.
- V) Setback 9m from Front Property Boundary** Setback required as shown in plan.
- W) Minimum Development Height 9m** refer to REP No. 14.

4.0 DEVELOPMENT CONTROL GUIDELINES

Section 4.0 contains 12 Development Control Guidelines, each with an accompanying objective. Each Guideline provides an example – comprising supporting plan view and elevation and 3D model – for properties at Campbell Parade.

The Development Control Guidelines provide directions for the guidance of owners of a wide variety of properties within the study area. These properties are generally those where part or all of the existing fabric is recommended for retention or incorporation into new development. Where retention is not recommended, new development of a character and detail which integrates with the existing character of the streets is considered desirable. The development control guidelines are outlined in Annexure F2-2.

5.0 DESIGN GUIDELINES

The design guidelines in Annexure F2-3 provide information for owners intending to alter or rebuild their properties within the area with which this Part applies.

The design guidelines provide examples of building types and building elements. These are derived from an analysis of Bondi's existing building styles. The guidelines are intended to guide owners to develop in a way that contributes to, and enhances, the Bondi character.

The guidelines are provided as diagrams rather than being prescriptive based. This allows interpretation with the wide range of materials and styles while at the same time, providing variety and flexibility, thereby uniting the street in urban design terms and providing a high degree of continuity.

These guidelines include the following elements: Standard Elevation Types (for 3, 4 and 5 storey developments), Wall Elements, Roofs, Windows, Balconies and Verandahs, Parapets, Colours and Application

The elements shown in each group are drawn from buildings in the study area and represent a selection of representative types and building scale for reference purposes. In all cases, site specific requirements and physical parameters will affect the design solution. As well, the vitality of individual choice extends and enriches the design process.

6.0 BONDI BEACH TRADING HOURS

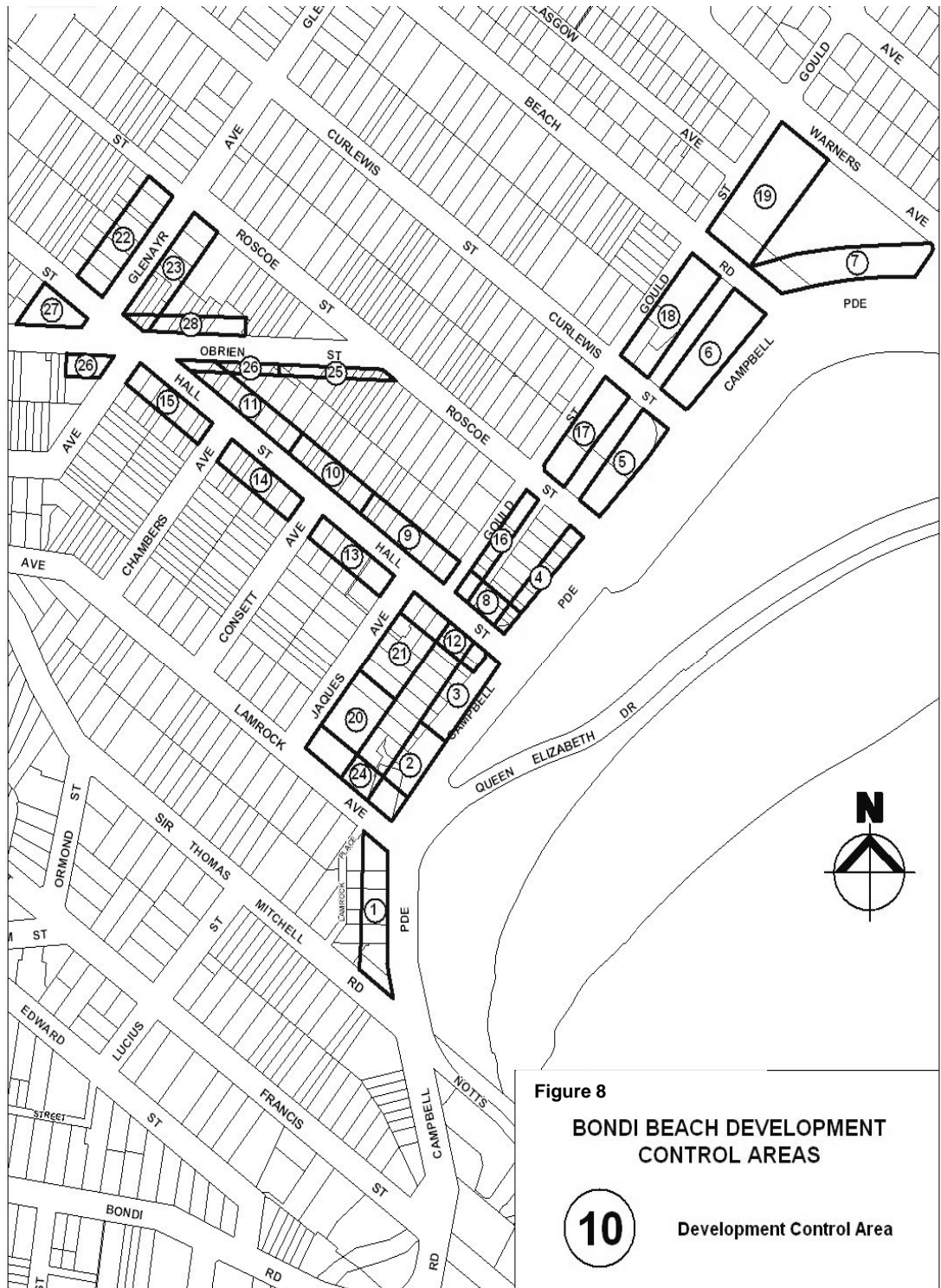
The trading hours prescribed for properties within the Bondi Beach area are detailed within Section 2.4.4 within Part E1.

7.0 COMMUNITY CRIME PREVENTION

- (a) Crime Prevention through Environmental Design (CPTED) seeks to encourage the design and management of the built environment to reduce the opportunity for crime. Refer to Section 6.0 of Part D2 for controls.

8.0 ACCESSIBILITY

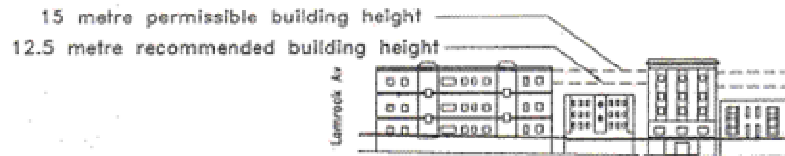
Council seeks to ensure that all new and refurbished buildings provide access for people with disabilities as required by the Federal Government's *Disability Discrimination Act (DDA 1992)* 1992. Refer to Section 7.0 of Part D2 and Section 2.0 of Part E1 for controls.



DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 2
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Bondi Beach Precinct



CONTROL INDEX*				
A) Conserve existing building				
B) Retain existing facade				
C) Enhance existing character				
D) Build to 12.5m on street frontage				
F) Maintain and develop ground floor retail frontage				
G) Provide continuous pedestrian cover				
H) Incorporate first floor terrace				
J) Provide roof terrace to street frontage				
I) Provide special corner treatment				
W) Minimum development height 9m				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 3
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Bondi Beach Precinct

15 metre permissible building height

12.5 metre recommended building height



CONTROL INDEX *		**			
A) Conserve existing building					
B) Retain existing facade					
C) Enhance existing character					
D) Build to permissible height at front property boundary					
E) Setback 3m over existing facade					
F) Maintain and develop ground floor retail space					
G) Provide continuous pedestrian cover					
H) Incorporate first floor terrace					
J) Provide roof terrace to street frontage (optional)					

* Refer to Section 3.0 for an explanation of the above controls.

** Refer also to Development Control Guideline 6 in Section 4.0, which details this property.

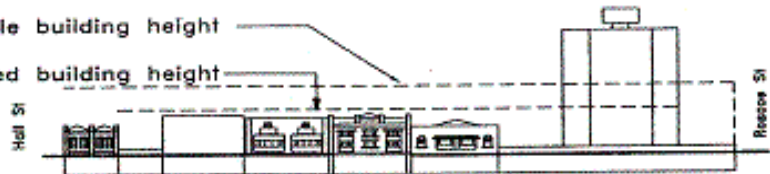
DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 124-162 CAMPBELL PARADE	ZONING 3(a)	DEVELOPMENT CONTROL AREA 4
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Bondi Beach Precinct

15 metre permissible building height

12.5m recommended building height



CONTROL INDEX*

						**	**
A) Conserve existing building	■						
B) Retain existing facade			■				
C) Enhance existing character			■	■			
D) Build to 12.5m on street frontage alignment	■	■	■	■	■	■	■
E) Setback 3m over existing facade to 12.5m			■				
F) Maintain and develop ground floor retail space	■	■	■	■	■	■	■
G) Provide continuous pedestrian cover	■	■	■	■	■	■	■
H) Incorporate first floor terrace	■	■	■	■	■	■	■
J) Provide roof terrace to street frontage		■	■	■	■	■	■
I) Provide special corner treatment							■

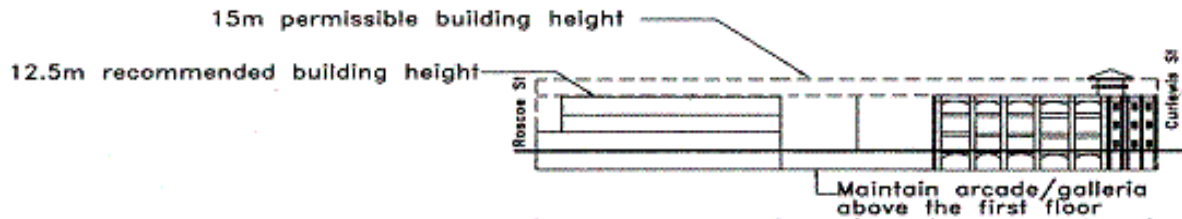
* Refer to Section 3.0 for an explanation of the above controls.

** Refer to Development Control Guidelines 2 and 11, respectively which details these properties.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 164-178 CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 5
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Bondi Beach Precinct
 **Refer Development Control Example No.12 for details



CONTROL INDEX*									
A) Conserve existing building									**
D) Build to 12.5m on street frontage alignment									
F) Maintain and develop ground floor retail frontage									
G) Provide continuous pedestrian cover									
H) Incorporate first floor terrace									
J) Provide roof terrace to street frontage									
I) Provide special corner treatment									

* Refer to Section 3.0 for an explanation of the above controls.
 ** Refer to Development Control Guideline 12 (Section 4.0).

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 180-186 CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 6
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Bondi Beach Precinct

15m permissible building height



CONTROL INDEX*	
A) Build to front property to maximum 15m	
F) Maintain and develop ground floor retail frontage	
G) Provide continuous pedestrian cover	
H) Incorporate first floor terrace	
J) Provide roof terrace to street frontage	
I) Provide special corner treatment	

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 216-224 CAMPBELL PARADE	ZONING 2 (c1), 5(a)	DEVELOPMENT CONTROL AREA 7
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Special Uses

12.5m recommended building height
10m permissible building height (2C1)

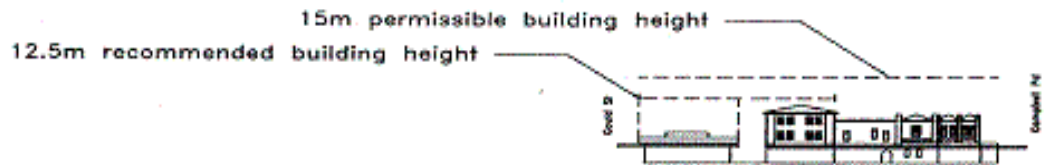


CONTROL INDEX*				
A) Conserve existing building				
D) Build to permissible height at front property boundary				
F) Maintain and develop ground floor retail space				
G) Provide continuous pedestrian cover				
H) Incorporate first floor terrace				
J) Provide roof terrace to street frontage				
I) Provide special corner treatment				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 124 CAMPBELL PDE/13 HALL ST	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 8
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CONTROL INDEX*				
A) Conserve existing building				
B) Retain existing facade				
E) Setback 3m over existing facade to 12.5m recommended building height.				
F) Maintain and develop ground floor retail space				
G) Provide continuous pedestrian cover				
J) Provide roof terrace to street frontage				
I) Provide special corner treatment				
L) Build to front property boundary setback 3m over 9m				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 9
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12m permissible building height



CONTROL INDEX*					
			* *		
B) Retain existing facade					
E) Setback 3m over existing facade					
F) Maintain and develop ground floor retail space					
G) Provide continuous pedestrian cover					
J) Provide roof terrace to street frontage					
I) Provide special corner treatment					
M) Minimise footpath crossings					
N) Provide visual termination for Jacques Av					

* Refer to Section 3.0 for an explanation of the above controls.
 ** Refer to Development Control Guideline 5 (Section 4.0) which details this property.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 10
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12m permissible building height



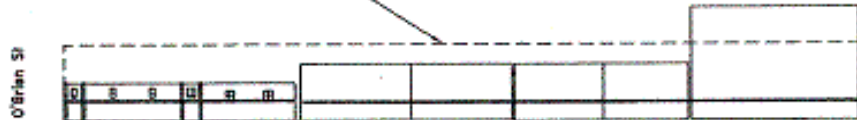
CONTROL INDEX*		**		**		**
A) Conserve existing building						
C) Enhance existing character						
F) Maintain/develop ground floor retail frontage						
G) Provide continuous pedestrian cover						
J) Provide roof terrace to street frontage						
L) Build to front property boundary setback 3m over 9m						
M) Minimise footpath crossings						
N) Provide visual termination for Consett Av						

* Refer to Section 3.0 for an explanation of the above controls.
 ** Refer to Development Control Guidelines 9, 1 and 4, respectively (Section 4.0).

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 11
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12m permissible building height

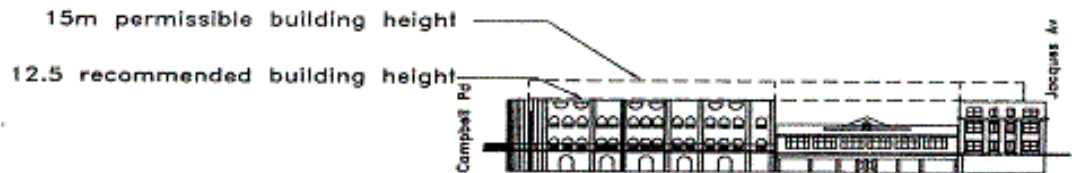


CONTROL INDEX*									
C) Enhance existing character									**
F) Maintain/develop ground floor retail frontage									
G) Provide continuous pedestrian cover									
J) Provide roof terrace to street frontage									
I) Provide special corner treatment									
L) Build to front property boundary, setback 3m over 9m									
M) Minimise footpath crossings									
N) Provide visual termination for Chambers Av									

* Refer to Section 3.0 for an explanation of the above controls.
 ** Refer to Development Control Guideline 10 (Section 4.0) which details this property.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 122 CAMPBELL PDE/10-18 HALL ST	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 12
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CONTROL INDEX*			
		* *	
B) Retain existing facade			
C) Enhance existing character			
E) Setback 3m over existing facade			
F) Maintain and develop ground floor retail frontage			
G) Provide continuous pedestrian cover			
J) Provide roof terrace to street frontage			
K) Provide solar access to adjacent property			
I) Provide special corner treatment			
N) Maintain visual termination for Gould St			
W) Minimum building height 9m			

* Refer to Section 3.0 for an explanation of the above controls.

** Refer to Development Control Guideline 7 (Section 4.0) which details this property.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 20-38 HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 13
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12m permissible building height



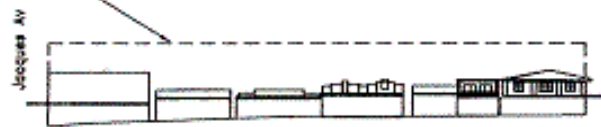
CONTROL INDEX*					
A) Conserve existing building					
E) Provide continuous pedestrian cover					
F) Maintain and develop ground floor retail frontage					
J) Provide roof terrace to street frontage					
K) Provide solar access to adjacent property					
I) Provide special corner treatment					
L) Build to front property setback 3m over 9m					

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 40- 58 HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 14
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12m permissible building height



CONTROL INDEX*									
C) Enhance existing character									
F) Maintain and develop ground floor retail frontage									
G) Provide continuous pedestrian cover									
J) Provide roof terrace to street frontage									
K) Provide solar access to adjacent property									
I) Provide special corner treatment									
L) Build to front property boundary setback over 9m									

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 60 - 82 HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 15
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12m permissible building height

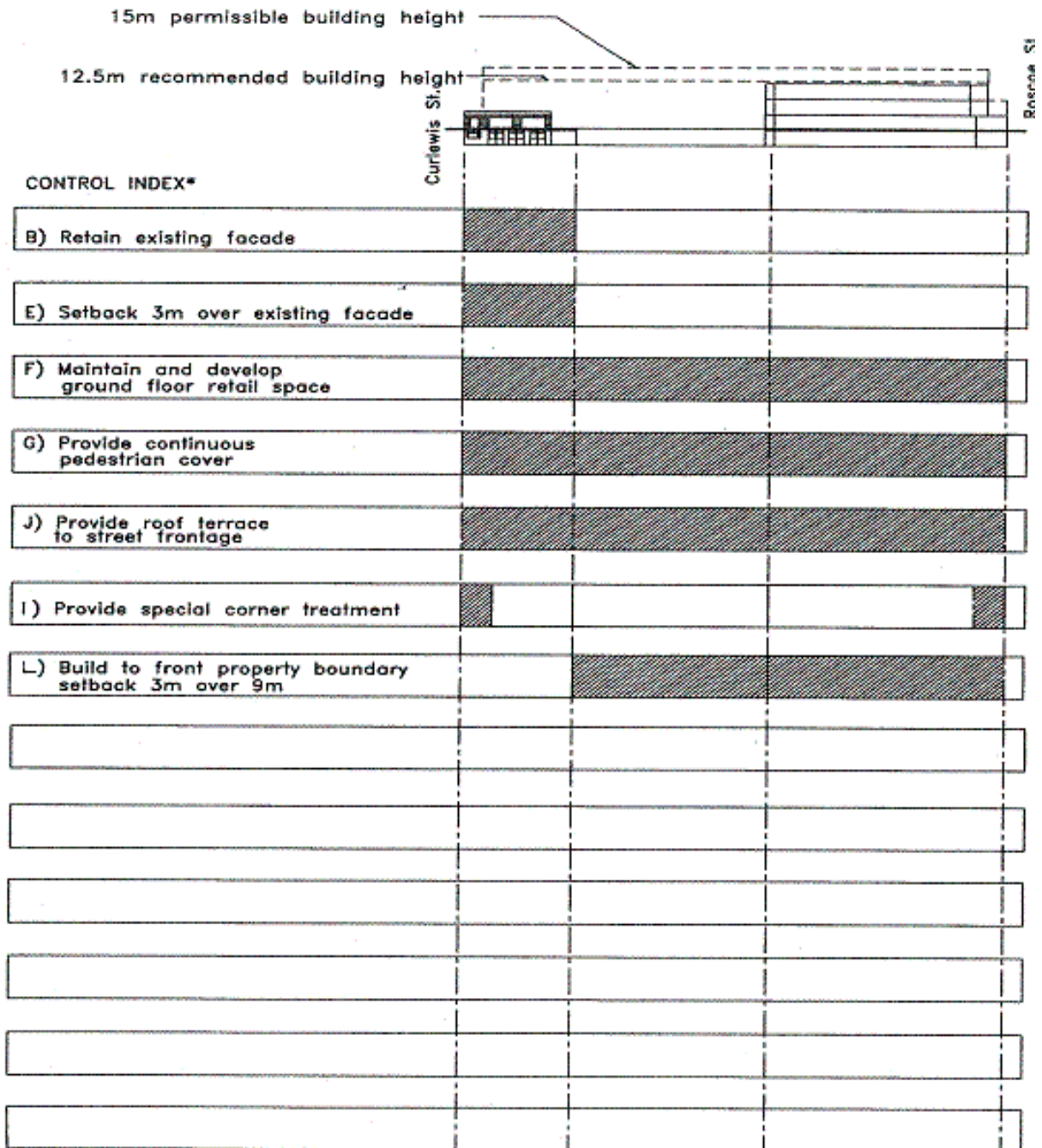


CONTROL INDEX*							
			**				
B) Retain existing facade							
C) Enhance existing character							
E) Setback 3m over existing facade							
F) Maintain and develop ground floor retail space							
G) Provide continuous pedestrian cover							
J) Provide roof terrace to street frontage							
K) Provide solar access to adjacent property							
l) Provide special corner treatment							
L) Build to front property boundary setback 3m over 9m							

* Refer to Section 3.0 for an explanation of the above controls.
 ** Refer to Development Control Guideline 8 (Section 4.0) which details this property.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES GOULD STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 17
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* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES GOULD STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 18
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15m permissible building height



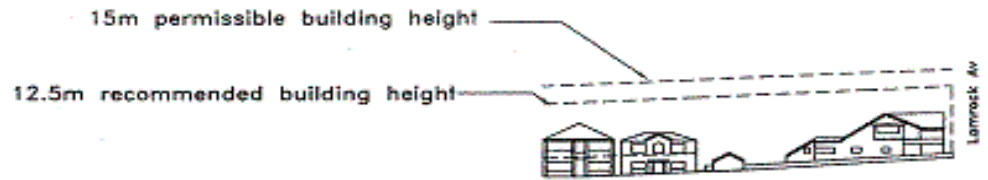
CONTROL INDEX*

C) Enhance existing character			
M) Build to front property boundary setback 3m over 9m			
F) Maintain and develop ground floor retail frontage			
G) Provide continuous pedestrian cover			
I) Provide special corner treatment			
J) Provide roof terrace to street frontage			

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 2-12 JACQUES AVENUE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 20
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CONTROL INDEX*			
C) Enhance existing character	Shaded		
J) Provide roof terrace to street frontage	Shaded		
K) Provide solar access to adjacent property	Shaded		
I) Provide special corner treatment to recommended building height			Shaded
L) Build to front property alignment setback 3m over 9m			Shaded
O) Setback ground floor 3m from front property boundary	Shaded		
P) Limit ground floor commercial to low service requirement users	Shaded		
S) Setback 3m above ground floor to maximum height of 9m, then a further 3m to maximum recommended height of 12.5m	Shaded		
W) Minimum Building height 9m.	Shaded		

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES 14- JACQUES AVENUE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 21
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12.5m recommended building height
15m permissible building height



CONTROL INDEX*				
C) Enhance existing character				
E) Setback 3m over existing facade				
D) Setback ground floor 3m from front property boundary				
S) Setback 3m above ground floor to max. height of 9m, and then further 3m to max. recommended height of 12.5m				
K) Provide solar access to adjacent property				
F) Maintain and develop ground floor retail space				
P) Limit ground floor commercial to low service requirements users				
I) Provide special corner treatment				
J) Provide roof terrace to street frontage				
W) Minimum building height 9m				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES GLENAYR AVENUE	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 23
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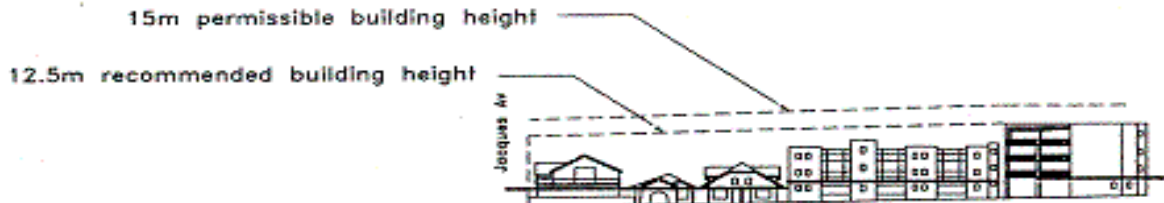
12m permissible building height



CONTROL INDEX*				
A) Conserve existing building				
C) Enhance existing character				
L) Build to front property boundary with setback 3m over 9m				
K) Provide solar access to adjacent property				
F) Maintain and develop ground floor retail space				
G) Provide continuous pedestrian cover				
J) Provide roof terrace to street frontage				
I) Provide special corner treatment				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS		
ADDRESS OF PROPERTIES	ZONING	DEVELOPMENT CONTROL AREA
1-7 LAMROCK AVENUE	3 (a)	24



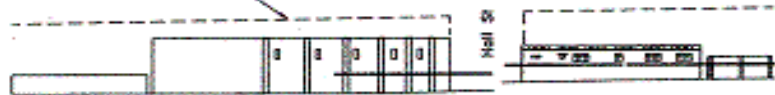
CONTROL INDEX*				
B) Retain existing facade				
C) Enhance existing character				
D) Build to front property boundary up to recommended 12.5m				
E) Setback 3m over existing facade				
F) Maintain and develop ground floor retail space				
G) Provide continuous pedestrian cover				
H) Incorporate first floor terrace over awning				
J) Provide roof terrace to street frontage				
K) Provide solar access to adjacent property				
I) Provide special corner treatment				
L) Build to front property boundary, setback over 9m				
P) Limit ground floor commercial to low service requirement users				
R) Setback 1.5m from front property boundary				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES O'BRIEN STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 26
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12m permissible building height



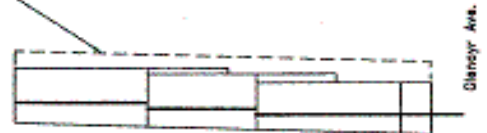
CONTROL INDEX*				
B) Retain existing facade				
C) Enhance existing character				
F) Maintain and develop ground floor retail space				
G) Provide continuous pedestrian cover				
J) Provide roof terrace to street frontage				
K) Provide solar access to adjacent property				
I) Provide special corner treatment				
L) Setback 3m over 9m				
N) Provide visual termination for Hall St				
S) Setback 3m over 6m				
U) Orientation to match adjacent development				

* Refer to Section 3.0 for an explanation of the above controls.

DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES O'BRIEN STREET	ZONING 3 (a)	DEVELOPMENT CONTROL AREA 27
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12m permissible building height



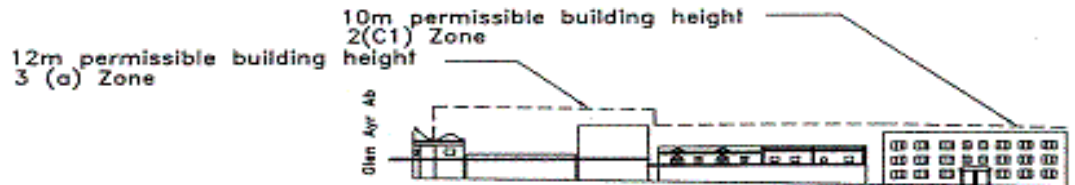
***CONTROL INDEX**

F) Maintain and develop ground floor retail space	
G) Provide continuous pedestrian cover	
J) Provide roof terrace to street frontage	
K) Provide solar access to adjacent property	
I) Provide special corner treatment	
L) Build to front property boundary, setback 3m over 9m	
N) Provide visual termination for Hall St	

* Refer to Section 3.0 for an explanation of the above controls.

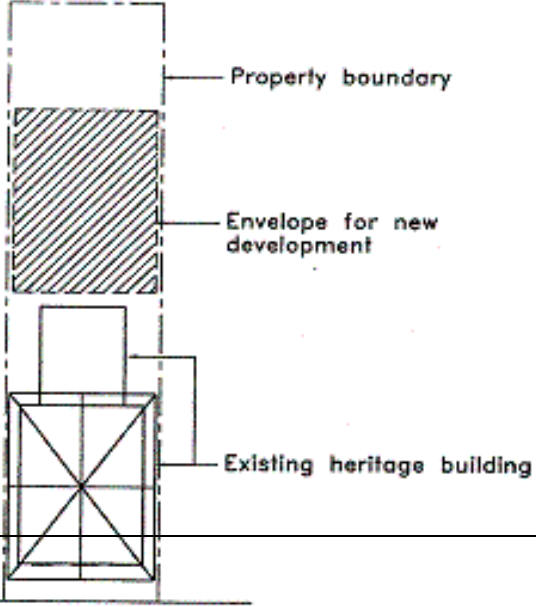
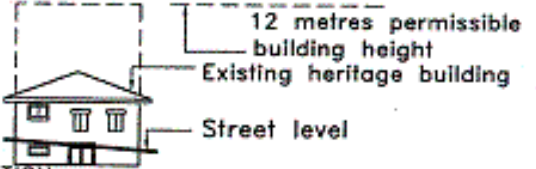
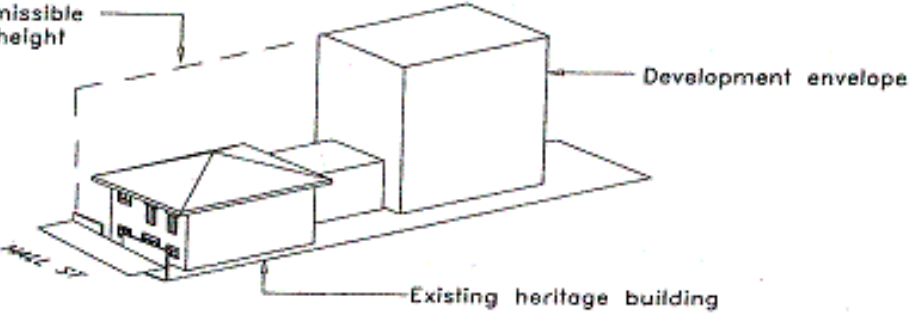
DEVELOPMENT CONTROLS

ADDRESS OF PROPERTIES O'BRIEN STREET	ZONING 3 (a), 2(c1)	DEVELOPMENT CONTROL AREA 28
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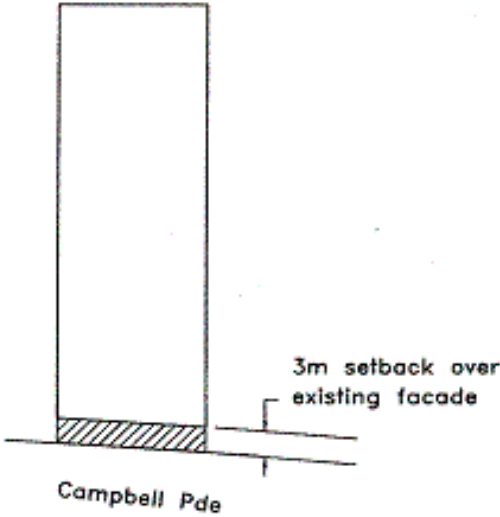
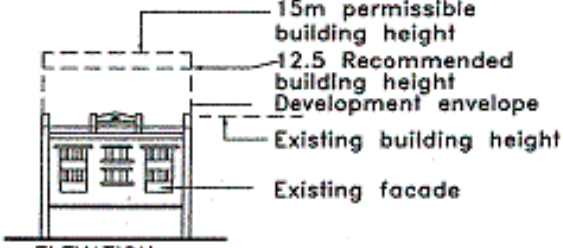
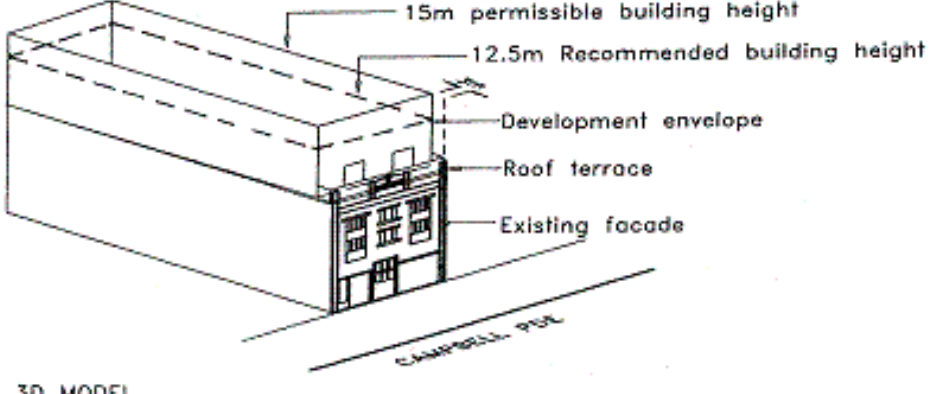


CONTROL INDEX*					
B) Retain existing facade					
C) Enhance existing character					
E) Setback over existing facade					
F) Maintain and develop ground floor retail space					
G) Provide continuous pedestrian cover					
J) Provide roof terrace to street frontage					
K) Provide solar access to adjacent property					
I) Provide special corner treatment					
L) Build to front property boundary, setback 3m over 9m					
T) Build to front property boundary up to maximum 10m					


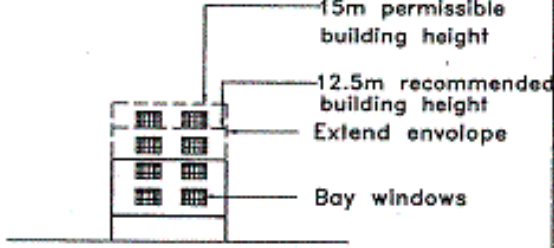
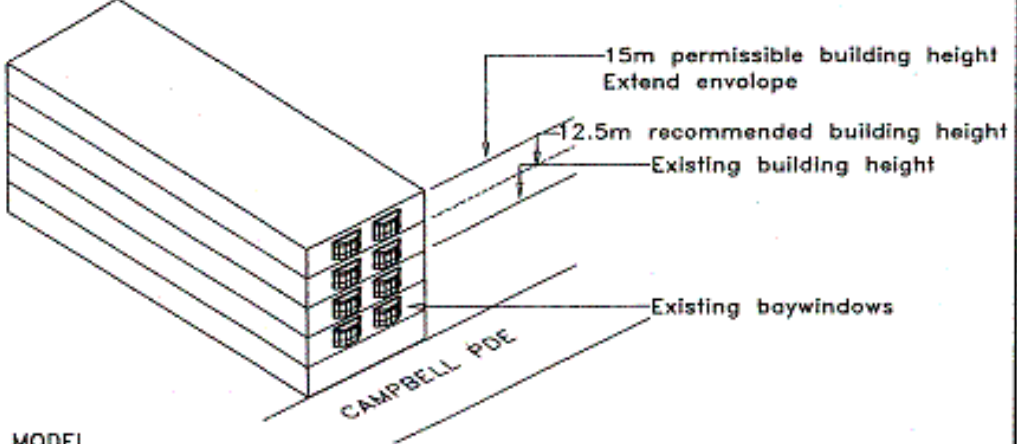
* Refer to Section 3.0 for an explanation of the above controls.

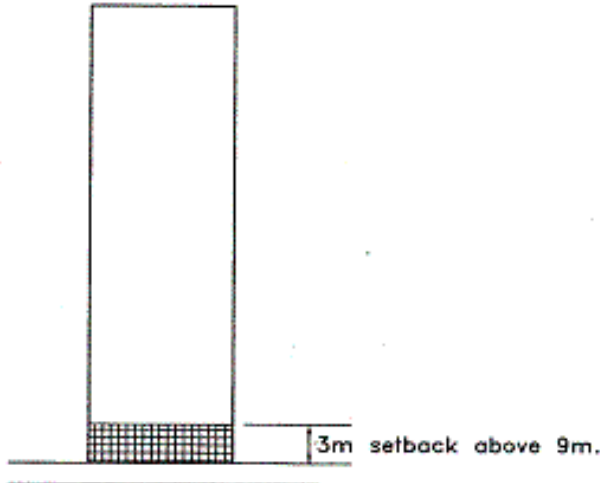
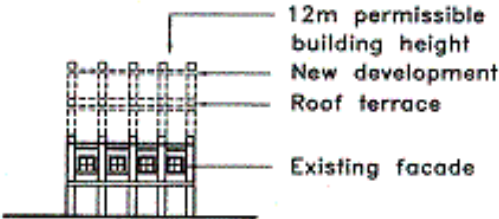
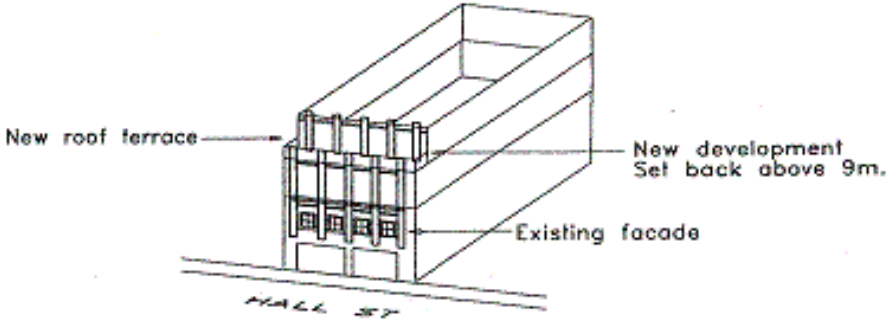
LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 1
<p>OBJECTIVE: Conservation of heritage building in site redevelopment.</p>		
 <p>Property boundary</p> <p>Envelope for new development</p> <p>Existing heritage building</p> <p>Hall St</p> <p>PLAN</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>New development should leave existing heritage buildings intact; the size and the style should impose no negative impact on the heritage buildings, but enhance the existing character. Solar impact on adjacent properties will require consideration.</p>	
 <p>12 metres permissible building height</p> <p>Existing heritage building</p> <p>Street level</p> <p>ELEVATION:</p>	<p>NOTE:</p> <p>The envelope is subject to applicable controls on each individual site.</p>	
 <p>12m permissible building height</p> <p>Development envelope</p> <p>Existing heritage building</p> <p>3D MODEL</p>		

* This property forms part of Development Control Area 10 (Section 3.0).

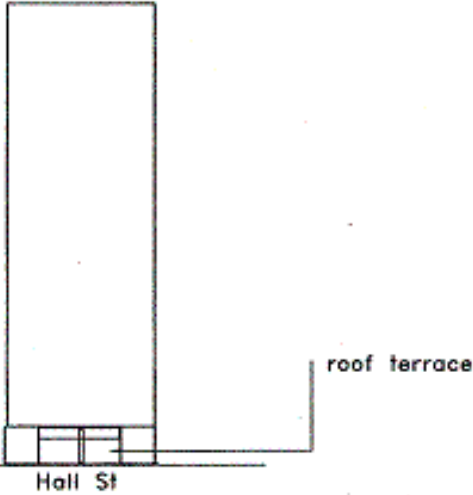
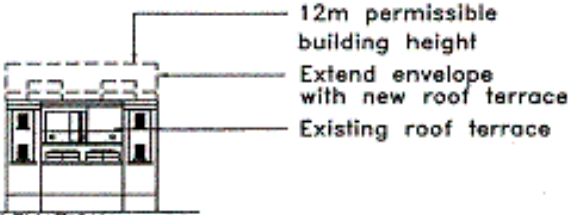
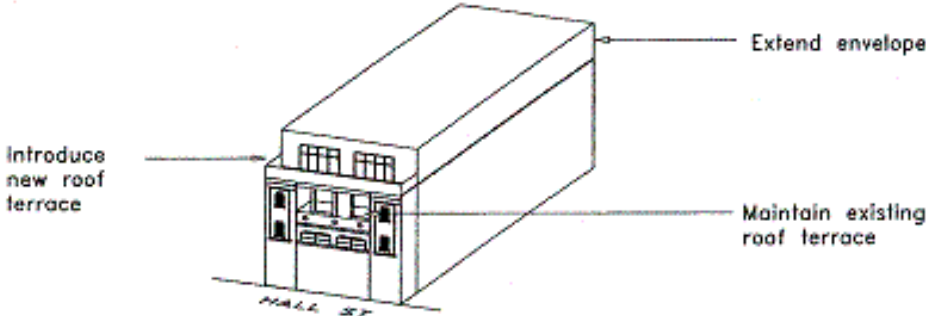
LOCATION CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 2
<p>OBJECTIVE: Retain existing facade while redeveloping a site.</p>		
 <p>3m setback over existing facade</p> <p>Campbell Pde</p> <p>PLAN</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Setback new development 3m from front alignment above existing facade.</p> <p>New development should enhance the character of the existing facade.</p>	
 <p>15m permissible building height</p> <p>12.5 Recommended building height</p> <p>Development envelope</p> <p>Existing building height</p> <p>Existing facade</p> <p>ELEVATION</p>		
 <p>15m permissible building height</p> <p>12.5m Recommended building height</p> <p>Development envelope</p> <p>Roof terrace</p> <p>Existing facade</p> <p>CAMPBELL PARADE</p> <p>3D MODEL</p>		

* This property forms part of Development Control Area 4 (Section 3.0).

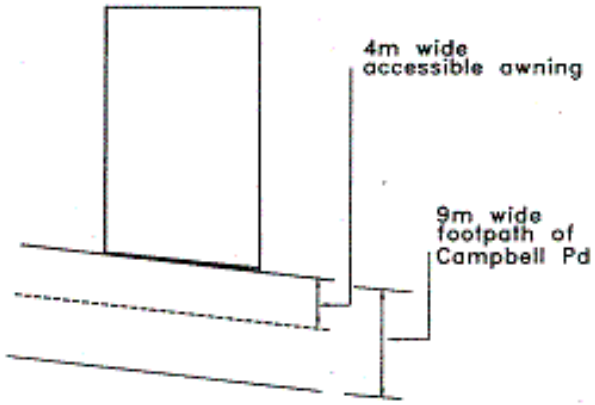
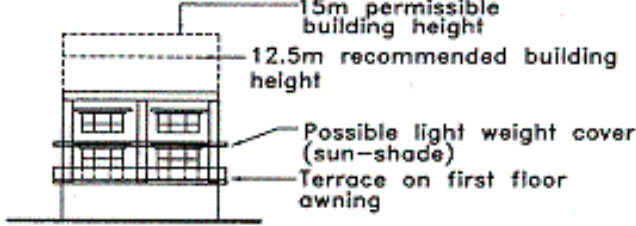
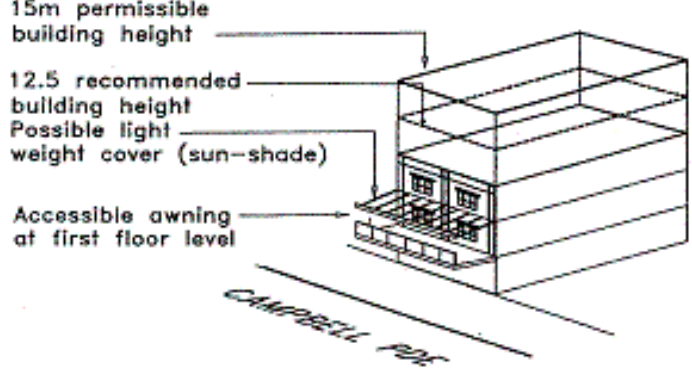
LOCATION CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 3
<p>OBJECTIVE: Enhance building character while redeveloping a site by the use of architectural elements from the existing development.</p>		
 <p>PLAN</p>		<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Retain bay window style where it is one of the prominent features of an existing building.</p>
 <p>ELEVATION</p>		
 <p>3D MODEL</p>		

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 4
<p>OBJECTIVE: Enhance existing building character while redeveloping a site.</p>		
 <p style="text-align: center;">Hall St</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>New development should enhance horizontal or/and vertical divisions of existing building.</p>	
<p>PLAN</p>  <p>12m permissible building height New development Roof terrace Existing facade</p>		
<p>ELEVATION</p>  <p>New roof terrace New development Set back above 9m. Existing facade</p> <p style="text-align: center;">HALL ST</p> <p>3D MODEL</p>		

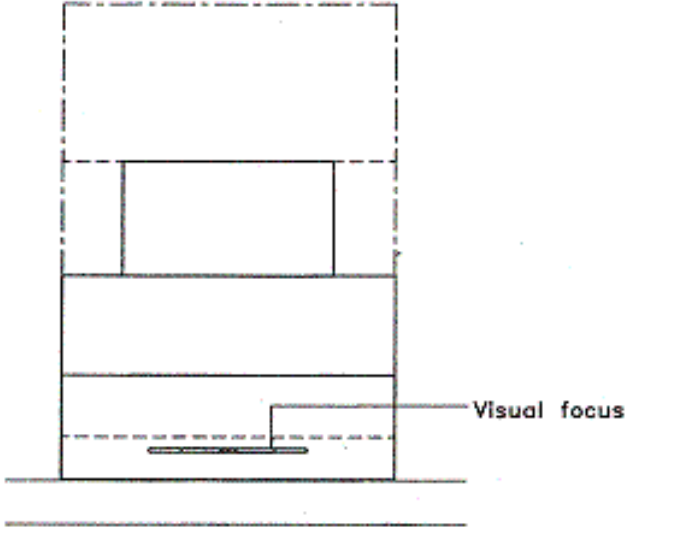
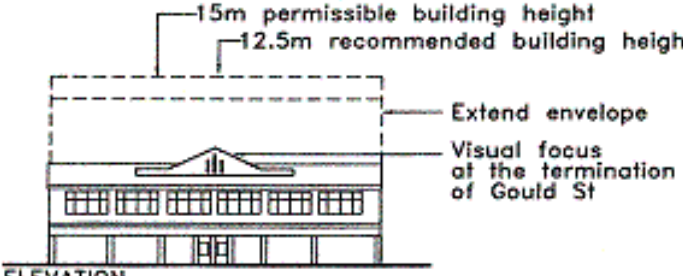
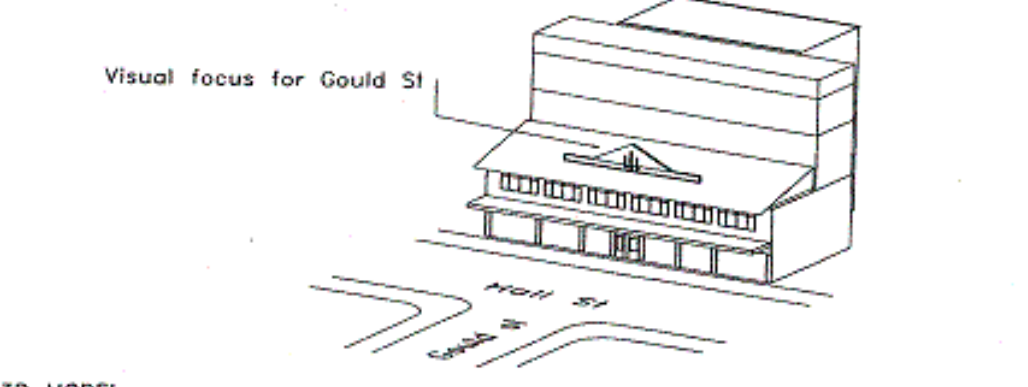
* This property forms part of Development Control Area 10 (Section 3.0).

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 5
<p>OBJECTIVE: Preserve and enhance Bondi Beach architectural character of roof terrace, promote beach front and street front activities.</p>		
	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Retain or introduce roof terrace while redeveloping a site;</p> <p>Roof terrace could be combined with a 3m front property boundary setback, according to streetscape requirements.</p>	
<p>PLAN</p> 		
 <p>3D MODEL</p>		

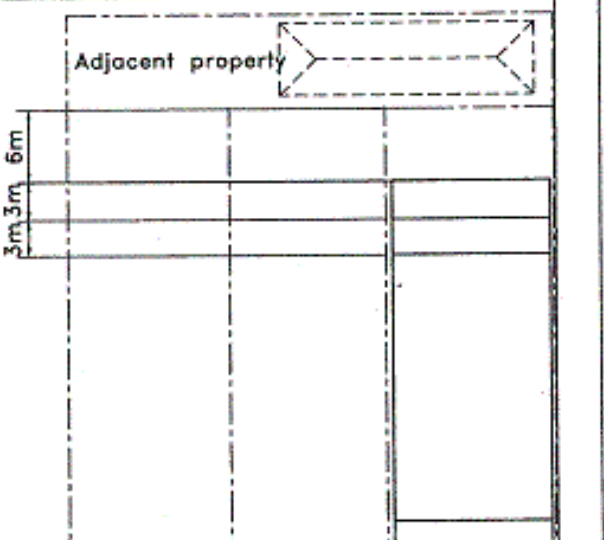
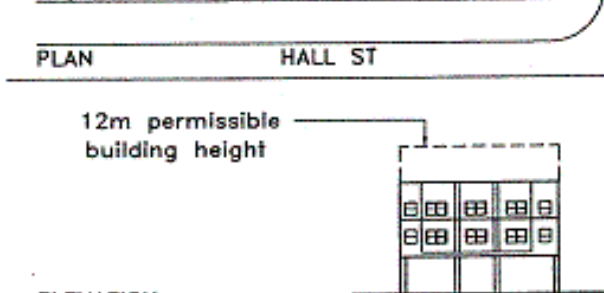
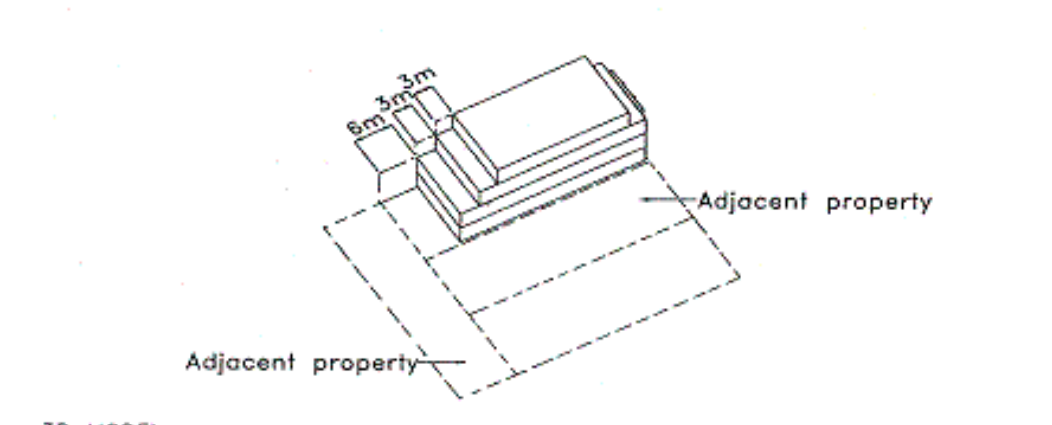
* This property forms part of Development Control Area 9 (Section 3.0).

LOCATION CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 6
<p>OBJECTIVE: Unify the the streetscape, enhance the traditional Bondi Beach local character, increase potential for beach front activities, by exploring the opportunity for first floor dining terraces with beach overlook.</p>		
 <p>4m wide accessible awning</p> <p>9m wide footpath of Campbell Pd</p>		<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Incorporate accessible awning along Campbell Pde as dinning terrace attached to restaurants.</p> <p>Allow for light weight shade structures above terrace for solar protection without obstructing facades.</p>
<p>PLAN</p>  <p>15m permissible building height</p> <p>12.5m recommended building height</p> <p>Possible light weight cover (sun-shade)</p> <p>Terrace on first floor awning</p>		
<p>ELEVATION</p>  <p>15m permissible building height</p> <p>12.5 recommended building height</p> <p>Possible light weight cover (sun-shade)</p> <p>Accessible awning at first floor level</p> <p>CAMPBELL PDE</p> <p>3D MODEL</p>		

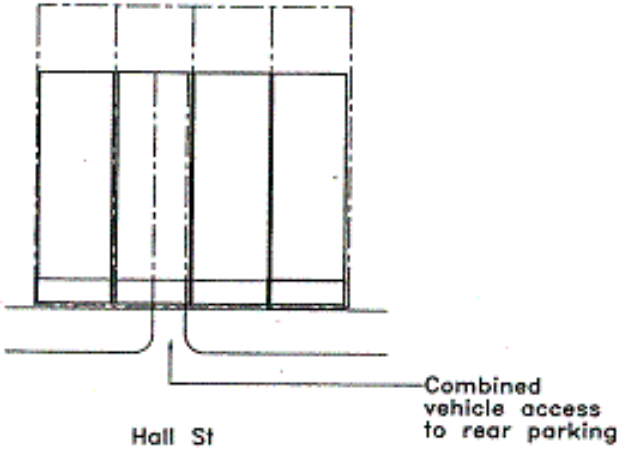
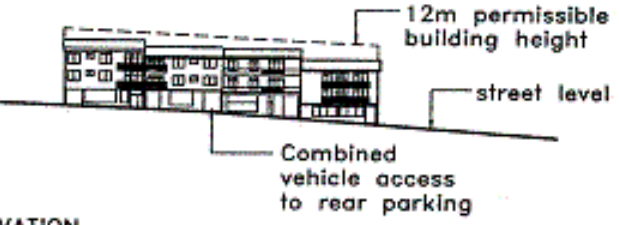
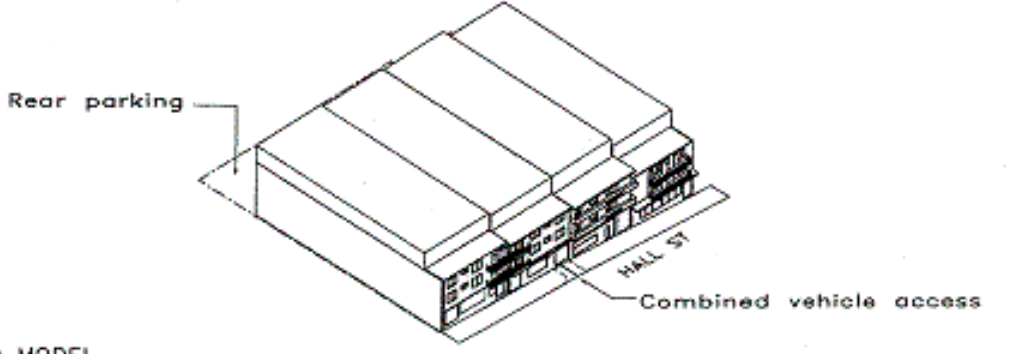
* This property forms part of Development Control Area 3 (Section 3.0).

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 7
<p>OBJECTIVE: Improve streetscape by creating axial visual focus for streets. Enrich urban environment by introducing focal elements to terminate axial vistas.</p>		
 <p style="text-align: center;">Hall St</p>		<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Retain and introduce visual focus on buildings at the terminating points of streets.</p> <p>Design buildings which terminate axial vistas.</p>
<p>PLAN</p>  <p style="text-align: center;">ELEVATION</p>		
 <p style="text-align: center;">3D MODEL</p>		

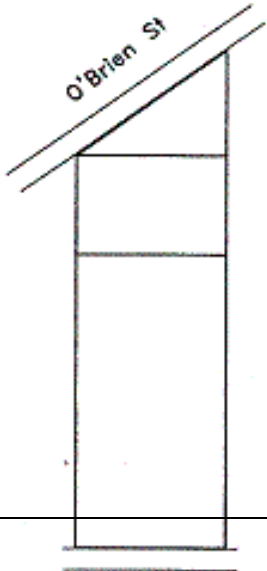
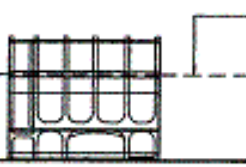
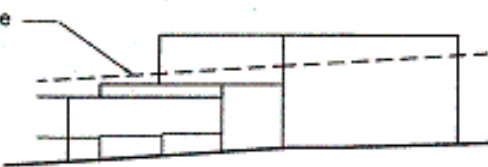
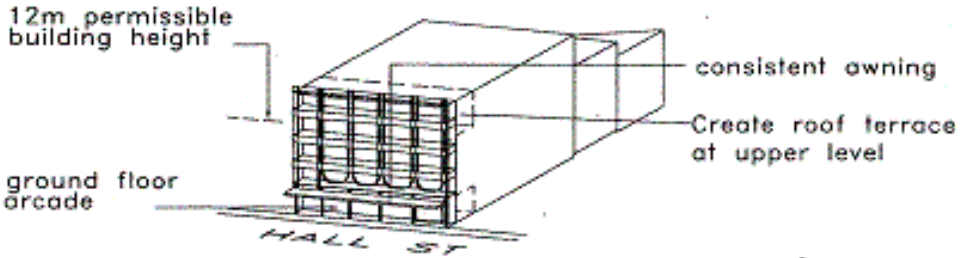
* This property forms part of Development Control Area 12 (Section 3.0).

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 8
<p>OBJECTIVE: Ensure adjacent properties have sufficient solar access.</p>		
 <p>PLAN</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Setback each floor from rear property boundary to a distance equal to building height.</p> <p>Minimum distance of 6m is required.</p>	
 <p>ELEVATION</p>		
 <p>3D MODEL</p>		

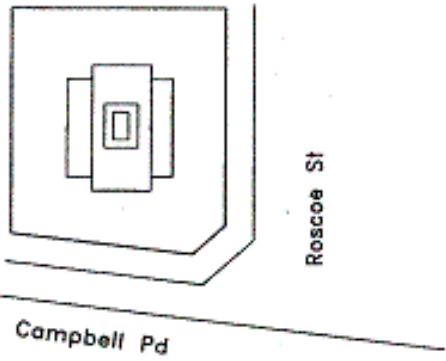
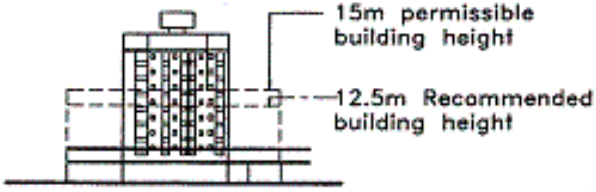
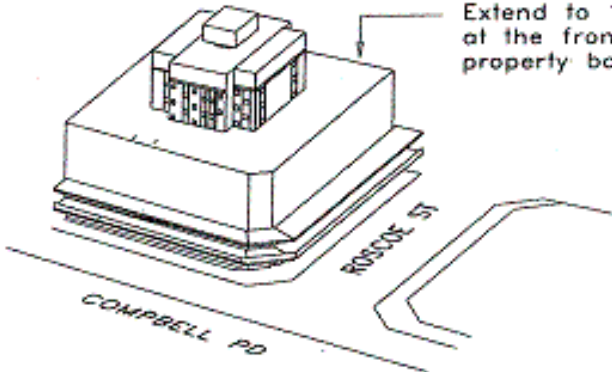
* This property forms part of Development Control Area 15 (Section 3.0).

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 9
<p>OBJECTIVE: Improve pedestrian amenity and retail frontage continuity by minimising footpath crossings.</p>		
		<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Minimise footpath crossing by limiting access points to rear parking areas.</p>
<p>PLAN</p>		
<p>ELEVATION</p>		
<p>3D MODEL</p>		

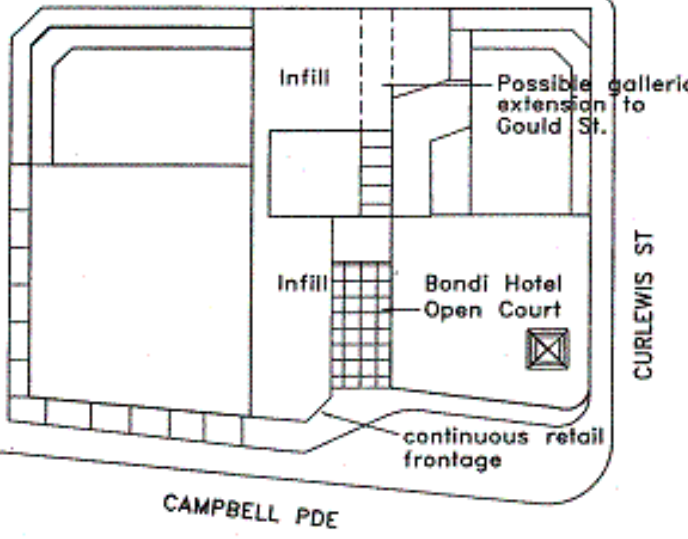
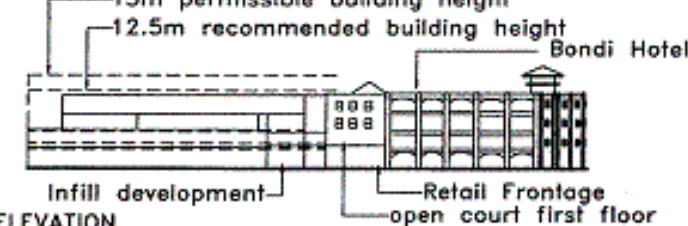
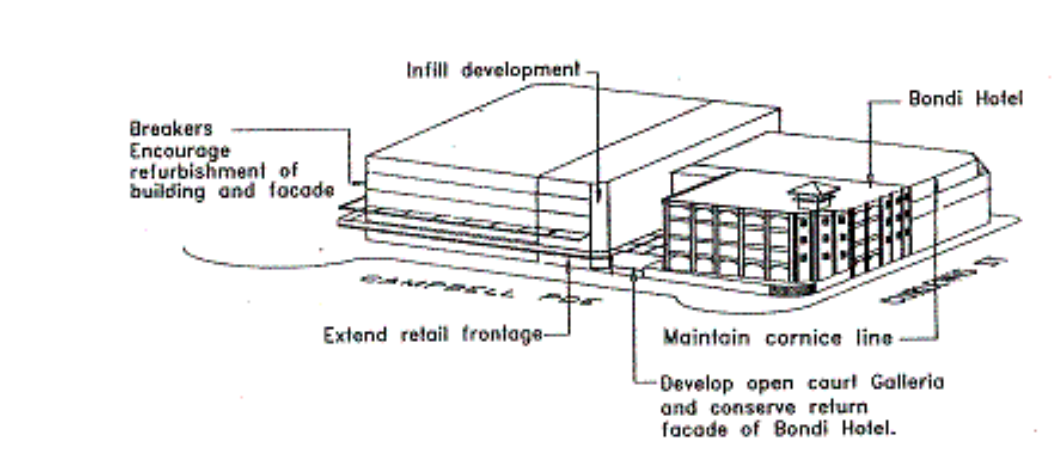
* This properties form part of Development Control Area 10 (Section 3.0).

LOCATION HALL STREET	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 10
<p>OBJECTIVE: Improve the streetscapes of Hall and O'Brien Streets by reducing the bulk impact of the Hakoah Club.</p>		
 <p data-bbox="316 1122 376 1149">PLAN</p> <p data-bbox="475 1122 560 1149">Hall St</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Hall St : Create roof terrace at upper level of the club; Setback at ground floor to create street front arcade; Incorporate continuous awning over footpath on O'Brien St;</p> <p>O'Brien St : Orient ground floor of the building to align with adjacent buildings.</p>	
 <p data-bbox="316 1384 440 1411">ELEVATION</p> <p data-bbox="512 1384 596 1411">Hall St</p>	 <p data-bbox="986 1384 1110 1411">O'Brien St</p>	
 <p data-bbox="316 1800 440 1827">3D MODEL</p>		

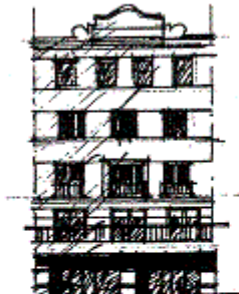
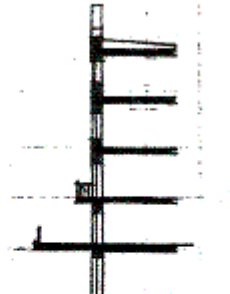

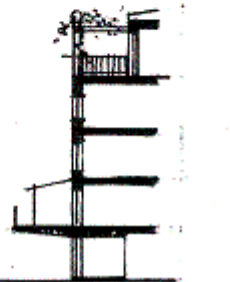
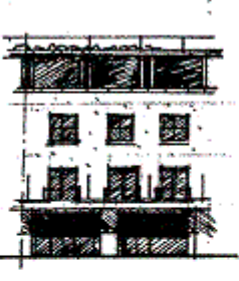
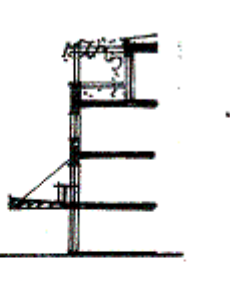

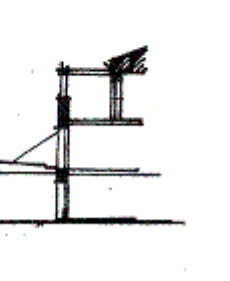
* This property forms part of Development Control Area 11 (Section 3.0).

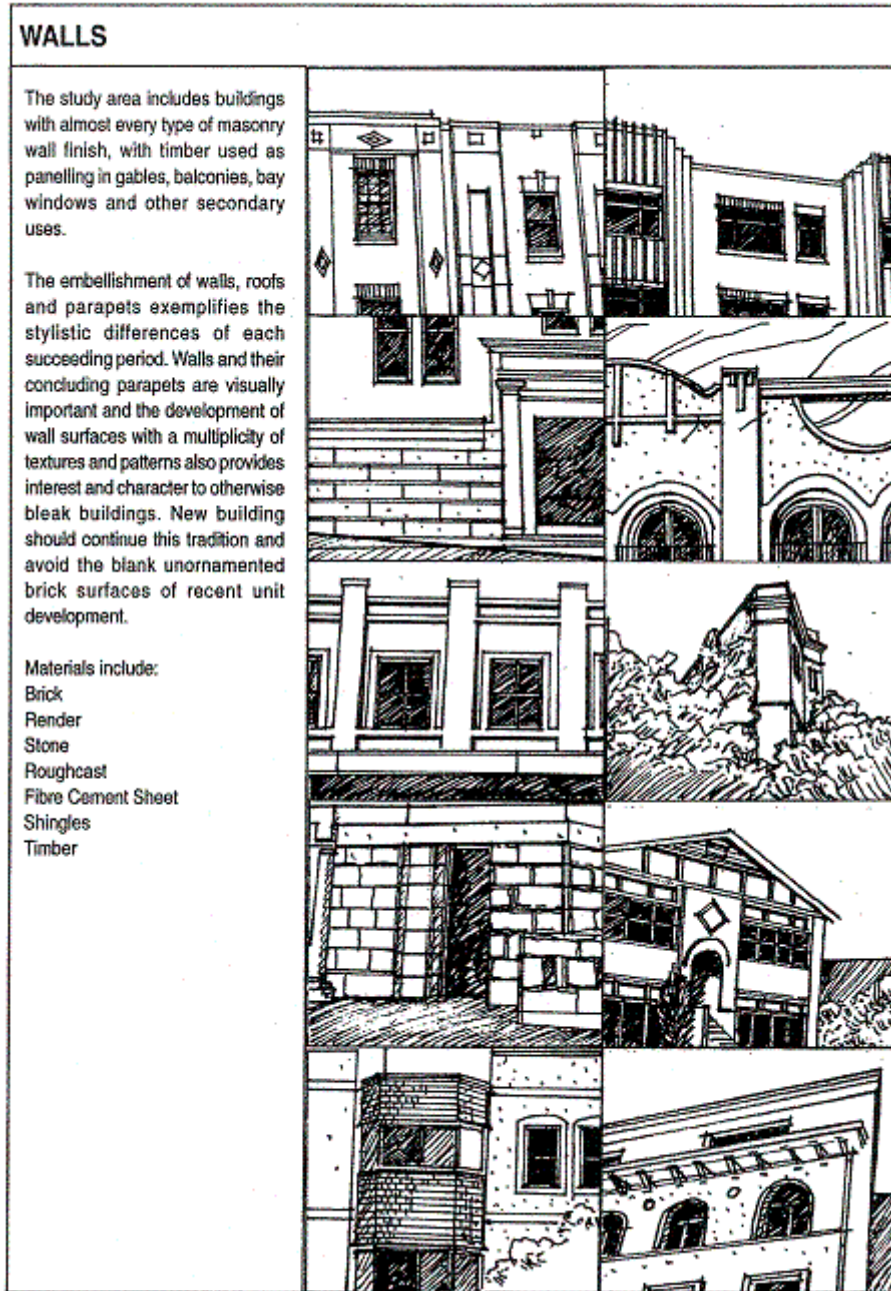
LOCATION CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 11
<p>OBJECTIVE: Maintain and extend scale and character of building frontage to Campbell Pde. Encourage redevelopment of "out of character" buildings along Campbell Pde.</p>		
 <p>PLAN</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Build to front property boundary up to recommended building height at both Campbell Pde and Roscoe St frontages.</p> <p>Allows bonus floorspace if required.</p> <p>Incorporate roof terraces/gardens and encourage first floor dining terrace over public footway.</p> <p>Remove upper levels of tower as a preference.</p>	
 <p>ELEVATION</p>		
 <p>3D MODEL</p>		

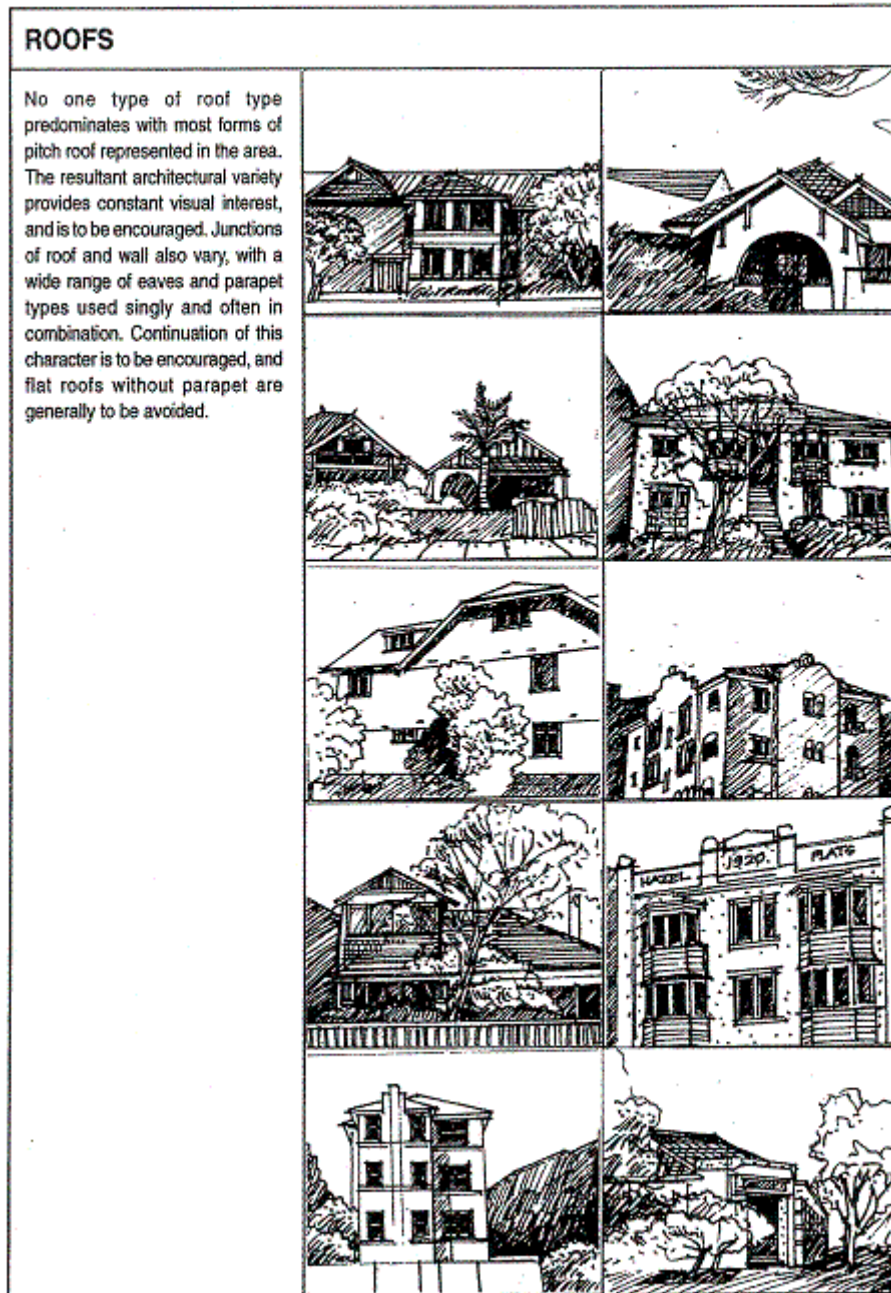
* This property forms part of Development Control Area 4 (Section 3.0).

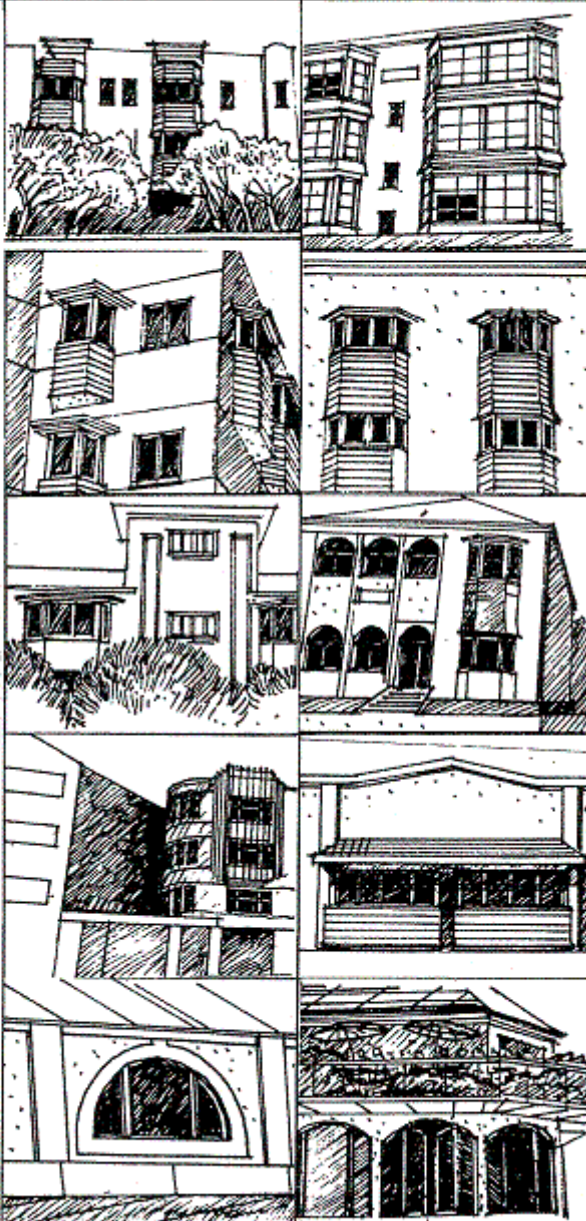
LOCATION CAMPBELL PARADE	ZONING 3 (a)	DEVELOPMENT CONTROL GUIDELINE 12
<p>OBJECTIVE: Maintain and extend scale and character of building frontage to Campbell Pde. Integrate the facade of Bondi Hotel and reinforce its landmark status.</p>		
 <p>PLAN</p>	<p>DEVELOPMENT CONTROL GUIDELINE:</p> <p>Demolish the attached single story structure to reveal full facade of Bondi Hotel;</p> <p>Allow infill development of under-utilised site. Create open court/ galleria to permit conservation of return facade of Bondi Hotel above first floor.</p> <p>Consider extension of Galleria as pedestrian through route to Gould St. associated with redevelopment of Gould St. site.</p>	
 <p>ELEVATION</p>		<p>Extend retail frontage to Campbell Pde. Encourage redevelopment of Breakers to recommended height limit and with new facade.</p>
 <p>3D MODEL</p>		

* This property forms part of Development Control Area 5 (Section 3.0).

STANDARD ELEVATION TYPES		
<p>5 Storey Beachfront Development (Campbell Parade) Permissible Height: 15 metres Recommended Height: 12.5 metres Five levels + basement No setback at 4th floor Parapet desirable Retail & commercial ground floor & possibly 1st floor Awning required 1st floor balcony desirable</p>		
<p>5 Storey Development Permissible Height: 15 metres Recommended Height: 12.5 metres Five levels + basement Setback of 3m. at 4th floor Pergola desirable Retail & commercial ground floor & 1st floor Awning required 1st floor balcony desirable</p>		
<p>4 Storey Development Permissible/Recommended Height: 12 metres Four Levels + basement Setback of 3m. at 3rd floor Roof terrace desirable Retail & commercial ground floor & 1st floor Awning required 1st floor balcony desirable</p>		
<p>3 Storey Development Maximum Height: 10 metres Three Levels + basement Setback of 3m. at 2nd floor Roof terrace or verandah desirable Retail & commercial ground floor Awning required</p> <p>NOTE: These standard elevations types reinforce the vertical emphasis given to most facades in the study area. This emphasis should be retained in any redevelopment and maintained even in situations where amalgamation has resulted in a larger site.</p>		





WINDOWS	
<p>Bondi's buildings have a rich variety of window types which reflect the resort character of the area.</p> <p>Much building in the area is at an urban scale with use of details appropriate to the larger scale. Externally, the architecture of the area and the corresponding window type varies from Victorian, through various inter-war styles including Art- Deco and Spanish Mission to the faceless expression of four storey walk-ups and developer modern.</p> <p>Windows reveal extraordinary inventiveness and variation of size, shape and detail. In addition to the variety of types and styles of standard windows, there are numerous types of bay windows which provide greater access to views and sunlight. The continued use of windows which enrich and enliven the facades of buildings in the core area is desirable. It should be noted that the range of windows illustrated is by no means exhaustive.</p>	

BALCONIES & VERANDAHS

Verandahs and balconies are evident throughout the precinct in all types and at all scales. Widely used in the area are large covered balconies or verandahs in flat buildings. These spaces function effectively as outdoor rooms for recreational use in summer, giving views, light and air to flats which would be otherwise small and without immediate access to external open space. In addition to the "traditional" verandah room evident on much flat development, terraces in first floor awning locations and at top floor levels set back behind balustrades are to be encouraged.



PARAPETS

Parapets form a distinct and characteristic element in commercial and larger scale residential buildings. Styles in evidence at Bondi include Classical, Victorian, Art-deco, Spanish Mission and other hybrid types. The various styles are used to effect on both linear and corner elevations, enlivening buildings of utilitarian character which would otherwise be commonplace.

The use of all types of parapets in new development is to be encouraged to continue and develop Bondi's building traditions



COLOUR

Colour in Bondi's buildings reflect both periodic change in community taste and the availability of building materials over time.

In terms of natural materials, the use of sandstone as a plinth with the characteristic brown dry-pressed brick or the clinker burnt purple brick above provides a traditional colour palette.

Colours shown at top right are typical of the Colour Palette for Campbell Parade adopted by Council in 1988. This scheme reflected the beachside character of the precinct with complementary sand and sea colours in the high to mid tone range.

Four alternative schemes are shown. These stay within the "sand and sea" range but strengthen tonal contrast and include richer, more saturated hues. Whilst embracing a broader range of colours the proposals avoid the purple/red segment of the spectrum, and mud/olive colourings.

Sample colours taken from the Taubmans range are (from top, left to right):

<p>1.</p> <p>Sambu T22-3W Carnio Lace T2-3W Mariner Blue T74-7A Pivotina T79-4W Golden Globe T22-6A</p> <p>2.</p> <p>Seesucker T108-3W Warm Cotne T22-5A Russel Ridge T130-7A Saxon Blue T62-6W Blue Masque T71-8A</p> <p>3.</p> <p>Plaza Bluff T115-60 Mojo T172-8B1 Emerald Turp T82-6W Fantasy Green T81-7A Oceanic Forest T83-2W Lumber Tail T116-1W</p>	<p>4.</p> <p>Portland Stone T122-2W Woolswart T122-5W Mascari T116-7A Mojo T172-8B1 Deep Splendour T79-7A</p> <p>5.</p> <p>Dragonfly T151-5W Shy Green T152-3W Sea Deep T149-6W Earth Tone T34-7A Baked Dough T27-4W</p>
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COLOUR APPLICATION

The preceding colour ranges are provided for guidance in the development of colour schemes appropriate for each building, with reference to size, location, style and other specific conditions. They are therefore not definitive colour schemes but should be regarded as an indication of the scope of colour suitable for the preparation of schemes for individual properties.

Some general principles apply:

- Upper storeys which are set back should be the same colour, or preferably a darker colour, as the lower floors of the building as light or strong colours visually come forward.
- Strong elements of the facade should be visually balanced, e.g. in general terms, vertical elements such as columns and pilasters look best linked with horizontal elements painted the same colour.
- Under awnings and colonnades, high tones should be used to reflect both artificial and natural light.
- When economy dictates a limited palette select a lighter tone to emphasise the modelling of desirable architectural detail. Darker tones will reduce the visibility of poorly detailed facades.

Further information on the preparation of colour schemes may be obtained from Council or from Corybeare Morrison and Partners.

