

AGENDA – PART 2

WLPP-2112.8

PAGE 453

12 Burge Street, VAUCLUSE NSW 2030 - Modification to alter internal layout and parking bay, increase in GFA, windows, increase in height and various other alterations. (DA-325/2020/A)

Report dated 29 November 2021 from the Development and Building Unit.

Council Recommendation: That the application be Approved for the reasons contained in the report.

WLPP-2112.9

PAGE 545

43 Ramsgate Avenue, BONDI BEACH NSW 2026 -Alterations and additions to residential flat building, including an additional level to accommodate two additional units. (DA-79/2021)

Report dated 26 November 2021 from the Development and Building Unit.

Council Recommendation: That the application be Approved for the reasons contained in the report.

WLPP-2112.10

PAGE 636

11 Silva Street, TAMARAMA NSW 2026 - Demolition of existing structures; construction of a new three storey dwelling house including car lift and stacker and swimming pool; and tree removal. (DA-122/2021)

Report dated 26 November 2021 from the Development and Building Unit.

Council Recommendation: That the application be Refused for the reasons contained in the report.

WLPP-2112.11

PAGE 692

79-103 Wellington Street BONDI BEACH - Demolition of all structures and construction of two four-storey residential flat buildings containing 56 apartments including infill affordable housing units and two-level basement parking. (DA-268/2020)

Report dated 26 November 2021 from the Development and Building Unit.

Council Recommendation: That the application be Approved for the reasons contained in the report.

WLPP-2112.12

Architectural Plans - PAGE 827

Diamond Bay Reserve, Diamond Bay Road, VAUCLUSE NSW 2030 - Upgrade works to Diamond Bay Reserve and Waverley Clifftop Walk including replacing and extending existing boardwalk structure , new additional viewing platform , seating bins, signage , fencing and landscaping (DA-378/2021)

Assessment Report – PAGE 857

Report dated 1 December 2021 from the Development and Building Unit.

Council Recommendation: That the application be Approved for the reasons contained in the report.



Report to the Waverley Local Planning Panel

Application number	DA-325/2020/A
Site address	12 Burge Street, VAUCLUSE NSW 2030
Proposal	Modification to alter internal layout and parking bay, increase in gross floor area, changes to windows, increase in height and various other alterations
Description of Approved Development	Demolition of existing building and construction of a residential flat building containing six units over basement car parking and Strata subdivision
Date of lodgement	23 August 2021
Owner	Proprietors of Strata Plan 14818
Applicant	Burge Street Developments Pty Ltd
Submissions	Three on behalf of four properties
Amended cost of works	\$4,556,000 (As original)
Principal Issues	Nil
Recommendation	That the application be APPROVED in accordance with the conditions contained in the report.

SITE MAP



1. PREAMBLE

1.1. Executive Summary

The modification application seeks to modify development consent, known as DA-325/2020 for the demolition of the existing building and construction of a residential flat building containing six units over basement car parking and Strata subdivision at the site known as 12 Burge Street, VAUCLUSE. In summary, the proposed modifications are to alter the internal layout and parking bay, increase in gross floor area, changes to windows, increase in height and various other alterations.

The principal issues arising from the assessment of the application are as follows:

- Relocation of mechanical plant to roof
- Building height non-compliance
- FSR non-compliance
- Overshadowing

The assessment finds these issues acceptable as it has been demonstrated that the location of mechanical plant upon the roof is the only viable option for this development and the proposal has been skilfully designed to minimise environmental impacts with regards to overshadowing to surrounding properties.

A total number of three submissions were received on behalf of four properties and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation.

The application has been assessed against the relevant matters for consideration under section 4.55 (2) the *Environmental Planning and Assessment Act 1979* and is recommended for approval subject to conditions of consent.

1.2. Site and Surrounding Locality

A site visit was carried out during the assessment of the original development application.

The site is identified as SP 14818, known as 12 Burge Street, VAUCLUSE. It is located on the southern side of Burge Street between Old South Head Road and Young Street, adjacent to South Head Cemetery that is a local heritage item and landscape conservation area.

The site is rectangular in shape with a northern front boundary to Burge Street measuring 19.505m, eastern side boundary adjoining the rear boundaries of 1-7 Young Street measuring 40.235m, southern rear boundary adjoining the side boundary of 9-11 Young Street measuring 19.505m and western side boundary adjoining 8-10 Burge Street measuring 40.235m. The site has an area of 784m² and has a steep fall from Burge Street to the existing front garden area of approximately 2.7m. The site continues to fall towards the rear by approximately a further 4.7m.

The site is occupied by a three storey residential flat building (RFB) containing four units with an elevated pedestrian pathway from Burge Street leading to the units within the building. No vehicular access is

currently provided to the site and on-street car parking is only available on the southern side of Burge Street.

The subject site is adjoined by a five storey RFB to the west at 8-10 Burge Street, that has vehicular access to basement carparking from Burge Street. A mix of 2-3 storey RFB's are located on four properties along the eastern side boundary of the subject site at 1-7 Young Street, of which car parking is located in the rear setback areas of No's 1, 5 and 7 Young Street. A large fig tree (*Ficus rubiginosa*) is also located in a raised garden bed at the rear of 1 Young Street that fronts Burge Street and is adjacent to the side boundary of the subject site. A three storey RFB is located at the rear boundary of the subject site at 9-11 Young Street.

Figures 1 to 5 are photos of the site and its context.



Figure 1: Aerial view of the subject site and surrounding properties. (Source: NearMap)



Figure 2: Subject site frontage to Burge Street.



Figure 3: Rear of existing building on site, looking north.



Figure 4: View of the adjoining development on the rear southern boundary at 9-11 Young Street as viewed from the rear setback area of the subject site.



Figure 5: Existing fig tree in the rear of 1 Young Street to be retained, looking east.

1.3. Details of Approved Development

The original development application (DA), known as DA-325/2020 for the demolition of the existing building and construction of a RFB containing six units over basement car parking and Strata subdivision was approved on 24 February 2021 by the Waverley Local Planning Panel. The DA is subject to a Planning Agreement.

1.4. Proposal

The modification application has been submitted under section 4.55 (2) of the *Environmental Planning and Assessment Act 1979*. It seeks consent for the following modifications, as amended, to the approved development:

Lower Ground 2 (LG2) and Lower Ground 1 (LG1)

- Unit LG01: Redesigned from one bed unit to two bed unit with the total floor area increased from 70m² to 103m²; and
- Unit LG02: Redesigned from one bed unit to two bed unit with floor area increased from 70m² to 108m².
- Basement 2:
 - Mechanical plant relocated roof;
 - One AC condenser unit to be installed adjacent to accessible parking space; and
 - Motorcycle and bicycle spaces amended.
- Basement 1:
 - One AC condenser unit to be installed adjacent to visitor parking space 1;
 - Motorcycle, bicycle and storage areas modified; and
 - Two visitor car parking spaces identified.

Ground Floor Plan

- Unit G01: internal modifications and terrace decreased from 38m² to 37m²; window changes related to change in layout of master bedroom and associated ensuite;
- Unit G02: internal redesign and terrace decreased from 38m² to 35m²; window changes related to change in layout of master bedroom and associated ensuite; and
- One bicycle space provided near entry.

Level 01 Floor Plan

- Unit 101: internal redesign; increased floor area from 169m² to 177m²; size of rear terrace increased from 96m² to 105m²; window changes related to change in layout of bedrooms and study on the western side elevation; and
- Modify levels from 73.85 to 73.92 (+70mm).

Level 02 Floor Plan

- Unit 201: Internal redesign, rear terraces increased from 29m² to 36m² and from 23m² to 24m² respectively; spa deleted; window changes to bedrooms on eastern side elevation; installation of a screen to the riser access adjacent to the lift core in the rear terrace; and
- Modify levels from 76.90 to 77.040 (+140mm).

Roof Plan

- Plant relocated from basement to roof with screen around. Plant on roof includes basement exhaust, 6 AC condenser units and solar PV panels; and
- Height of building modified:
 - Top of lift overrun reduced from RL 81.00 to 80.820 (parapet of lift overrun as approved at RL 81.00);
 - Roof parapet increased from RL 80.250 to RL 80.460;
 - Roof increased from RL 79.950 to RL 80.160; and
 - Top of plant screening to be constructed at RL 81.10.

External Works

- Installation of hot water plant and screen in the western side setback area; and
- Gate leading from landscaped area of terrace of Unit G01 on the ground floor level to the public domain at the front of the building.

The Applicant has offered to amend their Planning Agreement in line with the proposed floor space exceedance. This is discussed and assessed further throughout this report.

1.5. Background

The modification application was lodged on 23 August 2021 and deferred on 24 September 2021 for the following reasons:

- 1. Location of mechanical plant:** The proposed relocation of the mechanical plant from the basement to the roof was not supported and any mechanical plant must be located within the basement as originally approved. Should this be unable to be achieved, Council may give consideration for part of the mechanical plant to be located at Basement Level 2 and any excess plant upon the roof. It is to be demonstrated why all mechanical plant cannot be located at the basement level. Furthermore, any plant upon the roof is to have no additional impacts to surrounding properties. An Acoustic Report, prepared by a suitably qualified acoustic consultant, is to be submitted with any amended application that involves the location of mechanical plant on the roof.
- 2. Maximum Building Height:** Relocation of mechanical plant from Basement Level 2 to the roof results in an exceedance of Council's maximum building height control. Should the application be amended to consist of some mechanical plant upon the roof, the height and extent of the non-compliance is to be significantly reduced and any there are to be no resulting impacts, such as overshadowing.
- 3. Overshadowing:** Additional overshadowing impacts to the adjoining property at the rear at 9-11 Young Street at 9am during the winter solstice to be eliminated.
- 4. Floor Space Ratio (FSR):** reduction of gross floor area (GFA) to be explored to retain the approved location of mechanical plant within the basement.

The applicant submitted a set of draft amended plans and documentation on 12 October 2021, including a letter from their Mechanical Services Engineer dated 8 October 2021, detailing why the building services equipment could not be located within the basement levels as originally approved. This mechanical services letter detailed the following:

Carpark Exhaust

Basement carpark require ventilation in accordance with AS1668.2. The carpark exhaust must discharge at least 6m from neighbouring boundaries and adjacent apartment openings and at least 3m above thoroughfare. The only feasible and code compliant option is to discharge this exhaust at roof level.

Apartment A/C Condenser Units

The air conditioning condensing units proposed for this development are air cooled systems and require free air ventilation to outside to ensure correct operation. Locating such systems in an enclosed basement incurs the following issues;

- *The equipment warranty will be voided.*
- *The hot air that is rejected from the condensers will recirculate back into the unit and cause the compressor to trip due to over-temperature. This reduces equipment life and relates to the warranty issue above.*

- The hot air will also heat the basements up. This reduces the efficiency of the air conditioning and will
- result in increased energy usage.

The most suitable location for the condensers is the roof where there is substantial fresh air to dispel the hot discharge air.

Photo-Voltaic (PV) Solar Panels

The PV solar system is required to achieve the projects BASIX requirements and therefore panels have been located on the roof.

Council undertook a peer review of the draft amended plans and documentation whereby advice was sought from an external mechanical engineer (Scott Brown, Associate Director/Senior Mechanical Engineer, Kuttner Collins & Partners). Council's external consultant provided a response on 2 November 2021 that detailed the following:

Carpark Exhaust

- Based on the boundary setbacks, height limits and the requirements of the BCA and referenced AS1668.2:2012, there is no choice but to take the carpark exhaust to the roof so that the exhaust discharge complies. For reference, AS1668.2:2012 requires:
 - Discharge shall be 6m from neighbours and natural ventilation openings
 - Discharge shall be 3m above trafficable roof (or balcony) if within the 6m.
- Below are the only exhaust discharge zones shown in red that would comply with ALL requirements. Noting that the larger zone towards the rear of the property is not attached to the building and would require an unsightly 'chimney stack', the central location is the only practical solution in our opinion (unless the building form is altered).

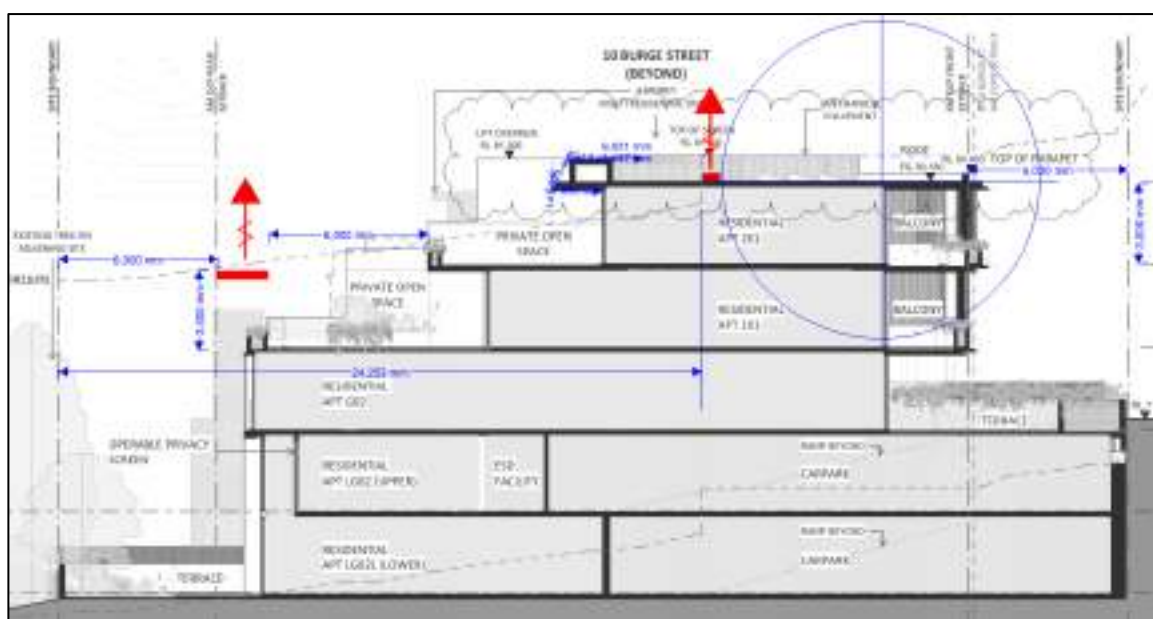


Figure 6: Part Section 1 on drawing A300 (NTS).



Figure 7: Part Level 2 on drawing A103 (NTS).

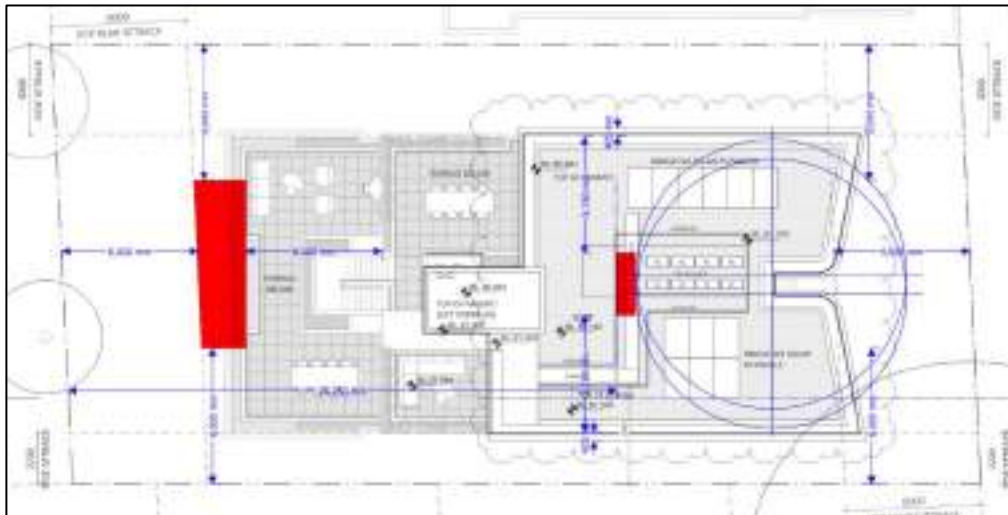


Figure 8: Part Roof Plan on drawing A103 (NTS).

Council Comment: The above commentary was reviewed, and it was agreed that the only viable option to accommodate the basement exhaust is at the roof level as the other options are undesirable.

AC Condenser Units

The location shown on the roof plan is a good location from a mechanical engineering perspective. Other viable options from a mechanical perspective, in order to reduce the quantity on the roof (or eliminate them from the roof altogether) are:

- *One condenser could be located at each carpark level without causing significant overheating or loss of efficiency.*
- *The condensers could be located on the terrace and balcony areas of each apartment.*
- *Locate the condensers at low level around the sides of, or at the rear of the building. This option would need to be checked/evaluated (and possibly treated) acoustically.*

- *Having worked on luxury/high end apartments and houses in Vaucluse and similar suburbs, we note that the last two dot point options above might not be considered preferable architecturally and/or could de-value the apartments. Screening or local landscaping may be helpful in reducing these negative impacts. This last point is just an observation and is not provided as engineering advice.*

Council Comment: The above commentary was reviewed and is agreed that the only viable option to accommodate AC condenser units is at the roof level, as the other options are undesirable. However, following the above advice, the applicant was requested to incorporate the provision of one AC condenser unit at each level of the basement car parking to minimise the number of AC condenser units required to be placed on the roof. This was to be incorporated in the formal lodgement of amended plans and documentation.

PV Cells

Whilst not a mechanical item, we can also confirm that the photovoltaics must be located on the roof to be viable in terms of solar access.

Council Comment: Agreed.

The Applicant has addressed the above comments by Council in relation to the location of two AC condenser units within the basement levels (one on each level) with the formal submission of amended plans and documentation. Amended plans and documentation were formally submitted on 15 November 2021 that addressed Council's comments in the deferral letter and Council's further request for two AC units to be located within the basement.

An updated mechanical services letter was provided with the amended documentation that detailed the following in response to the provision of AC condenser units within the basement levels:

We note that council have requested one condenser is located on each basement floor. These units may be located here however, will incur the issues listed above. To mitigate this issue, we recommend a thermostat is located at each basement level which will trigger the carpark exhaust system to operate upon a preset temperature being reached. This will force the carpark exhaust to operate more frequently, resulting in greater instances of noise breakout at roof level and increased building energy consumption. Our position remains that the most feasible location for the condensers is at roof level to dispel the hot discharge air.

The above commentary is noted however, Council retains the position that mechanical plant located at the roof level is to be minimised where possible.

Further to the amended plans lodged above, the applicant was requested to submit revised architectural plans that clearly identified all modifications to occur as a result of this application (to be clouded in red). The applicant was also requested to update the VPA letter of offer to refer to Planning Agreement Policy 2014 Amendment No. 3 as this document previously referred to Amendment 2. This revised documentation was submitted on 25 November 2021.

The following assessment is based on the amended plans and documentation submitted.

2. ASSESSMENT

The following matters are to be considered in the assessment of this modification application under relevant sections of the *Environmental Planning and Assessment Act 1979* (the Act).

2.1. Section 4.55 – Modification of consents – generally

The application is made under section 4.55(2) of the Act.

The quantitative and qualitative elements and impacts between the approved development and the development, as proposed to be modified, are not considered overly dissimilar as demonstrated in the following sections of this report. In this regard, the proposal is considered to be *substantially the same* as the originally approved development with regard to matters arising from the NSW Land and Environment Court case of *Moto Projects (No 2) Pty Ltd v North Sydney Council (1999) 106 LGERA 298*.

The application was publicly notified and three submissions were received on behalf of four properties. The issues and matters raised in public submissions are discussed in section 2.3.4 of this report.

2.2. Evaluation of Matters for Consideration under Section 4.15

In accordance with section 4.55(3) of the Act the following is an assessment of the proposed modifications of the development consent against the relevant matters for consideration under section 4.15(1) of the Act.

2.2.1. Planning Instruments and Development Control Plans

The following is an assessment against relevant environmental planning instruments, including State environmental planning policies (SEPPs), and development control plans.

State Environmental Planning Policies (SEPPs)

The following SEPPs apply and have been considered acceptable in the assessment of this modification application:

- SEPP 55 Remediation of Land.
- SEPP (Building Sustainability Index – BASIX) 2004.
- SEPP 65 (Design Quality of Residential Apartment Development).

A detailed discussion is provided for relevant SEPP as follows:

SEPP 65 (Design Quality of Residential Apartment Development)

Due to the minor nature of the proposed modifications to the overall built form of the approved RFB, the modification application was not required to be reviewed by the Design Excellence Advisory Panel (DEAP).

Clause 6A Development control plans cannot be inconsistent with Apartment Design Guide (ADG)

Clause 6A of SEPP 65 requires that DCP's cannot be inconsistent with the ADG in respect of the following:

- (a) visual privacy,
- (b) solar and daylight access,
- (c) common circulation and spaces,
- (d) apartment size and layout,
- (e) ceiling heights,
- (f) private open space and balconies,
- (g) natural ventilation,
- (h) storage.

If a development control plan contains provisions that specify requirements, standards or controls in relation to a matter to which this clause applies, those provisions are of no effect. An assessment against the relevant provisions within the ADG that are proposed to be modified is provided in the table below.

Table 1: ADG

Design Criteria	Compliance	Comment
3F Visual privacy		
<ul style="list-style-type: none">Min separation distances from buildings to side and rear boundaries:Up to 12m (4 storey) – 6m habitable & 3m non-habitable	Yes	The approved setbacks of the building are retained with the proposal.
4A Solar and daylight access		
<ul style="list-style-type: none">Living rooms and private open spaces of at least 70% of units receive minimum of 2 hours direct sunlight between 9am-3pm mid-winterA maximum of 15% receive no direct sunlight between 9am-3pm mid-winter.	Yes	No change to the solar access received by the development results from the proposal. <i>See discussion below regarding overshadowing impacts to surrounding properties.</i>
4B Natural ventilation		
<ul style="list-style-type: none">All habitable rooms are naturally ventilated	Yes	All habitable rooms are provided with at least one window for natural ventilation.

Design Criteria	Compliance	Comment
<ul style="list-style-type: none"> Number of units with natural cross ventilation is maximised: <ul style="list-style-type: none"> At least 60% of units naturally ventilated 		All upper level units have dual aspects and the units on levels LG02 and LG01 at the rear are double level units. In this regard, 100% of the units can be naturally cross ventilated.
4C Ceiling heights		
<ul style="list-style-type: none"> Habitable rooms – 2.7m Non-habitable rooms – 2.4m 2 storey units – 2.7m main level (living) & 2.4m upper floor where its area does not exceed 50% of the unit area 	Yes	<p>The ceiling heights within all units comply with the minimum requirement.</p> <p>Large voids are retained to the units on the lower ground floor levels to increase internal amenity.</p>
4D Apartment size and layout		
<p>The following minimum internal areas apply:</p> <ul style="list-style-type: none"> 2 Bed = 70 m² 3 Bed = 90 m² Add 5m² for each additional bathroom (above 1) Add 12m² for each additional bedroom <p>Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room.</p>	Yes	All units have internal areas in excess of the minimum ADG requirements.
4E Private open space and balconies		
<p>All apartments provide primary balcony as follows:</p> <ul style="list-style-type: none"> 1-bed – 8m² & 2m depth 2-bed - 10m² & 2m depth 3+bed - 12m² & 2.4m depth Ground level, min 15m² & 3m depth 	Yes	All units retain the approved large balconies and terraces that are to be accessed from the main living areas that meets the minimum requirements of the ADG in terms of area and depth.
4G Storage		
<p>In addition to kitchens, bathrooms and bedrooms, the following is provided:</p> <ul style="list-style-type: none"> 1-bed – 6m³ 2-bed – 8m³ 3+bed – 10m³ 	Yes	The proposal provides separate storage within each apartment and a storage cage allocated to each unit at the LG02 and LG01 levels in the basement. The storage provided meets the requirements and objectives of the ADG.

Waverley Local Environmental Plan 2012 (Waverley LEP 2012)

The land use definition of the approved development as a RFB remains unchanged and continues to be permitted development in the R3: Medium Density Residential zone under Waverley LEP 2012.

The quantities of the approved development, as proposed to be modified, have changed as outlined in **Table 2** of this report in relation to principal development standards under Waverley LEP 2012. All other relevant provisions of Waverley LEP 2012 remain compliant.

Table 2: Waverley LEP 2012 Compliance Table

Provision	Approved	Proposed Modified	Compliance
4.3 Height of buildings <ul style="list-style-type: none"> 12.5m 	<u>Lift Enclosure</u> 15.44m 2.94m (23.52%) variation <u>Building Parapet</u> 13.73m 1.23m (9.84%) variation	<u>Lift Enclosure</u> No change <u>Basement Exhaust</u> 14.8m (RL 81.00) 2.3m (18.4%) variation <u>Building Parapet</u> 13.94m (RL 80.46) 1.44m (11.52%) variation <u>Top of Plant Screen</u> 14.6m (RL 81.10) 2.1m (16.8%) variation	No
4.4 Floor space ratio <ul style="list-style-type: none"> FSR: 0.9:1 GFA: 705.6m² 	0.926:1 (726m ²) 20.4m ² (2.89%) variation	1.23:1 (802m ²) 96.4m ² (13.66%)	No

The following is a detailed discussion of exceedances of particular development standards under Waverley LEP 2012 as a result of the approved development, as proposed to be modified.

Height of Buildings

The proposed modifications result in an increase in building height as follows:

Roof Level

- Basement Exhaust
 - 14.8m (RL 81.00)
 - 2.3m (18.4%) variation
- Top of Plant Screen
 - 14.6m (RL 81.10)
 - 2.1m (16.8%) variation
- Building Parapet
 - 13.94m (RL 80.46)
 - 1.44m (11.52%) variation

Second Floor Level

- Top of proposed screen to riser access
 - 14.48m (RL 80.04)
 - 1.98m (15.84%) variation
- Top of glass balustrade to rear terrace
 - 13.32m (RL 78.14)
 - 820mm (6.56%) variation

As demonstrated above, the maximum proposed variation with the subject modification application results from the proposed basement exhaust at the rear of the approved roof that is sited 2.3m above the maximum building height development standard and represents an 18.4% variation to Council's control.

The applicant has provided some written justification for the non-compliance with the height of buildings development standard and has based the justification on the performance of the proposal against the objectives of the development standard. The relevant objectives of the development standard are as follows:

- (a) to establish limits on the overall height of development to preserve the environmental amenity of neighbouring properties and public spaces and, if appropriate, the sharing of views,*
- (d) to ensure that buildings are compatible with the height, bulk and scale of the desired future character of the locality and positively complement and contribute to the physical definition of the street network and public space.*

The justification provided by the applicant to support the increased exceedance of the height of buildings development standard is summarised as follows:

- *The architectural design, layout and street presentation of the amended proposal achieves a high-quality development. When viewed in its context the proposal is appropriate and fits within the streetscape and overall built form outcomes contemplated by the WLEP 2012.*
- *The height is compatible and consistent with the future heights found in the locality, being a product of residential flat building typologies.*
- *Maintains a suitable and compatible transitions between development to the east, west and south of the site.*
- *Does not cause any additional overshadowing.*
- *Maintains reasonable levels of water and district views from apartments at 8 – 10 Burge Street.*
- *Preserves privacy to the extent of the original approval even with the additional bedrooms windows (additional bedroom windows are screened for privacy).*



Figure 9: Height plane diagram of the approved development.

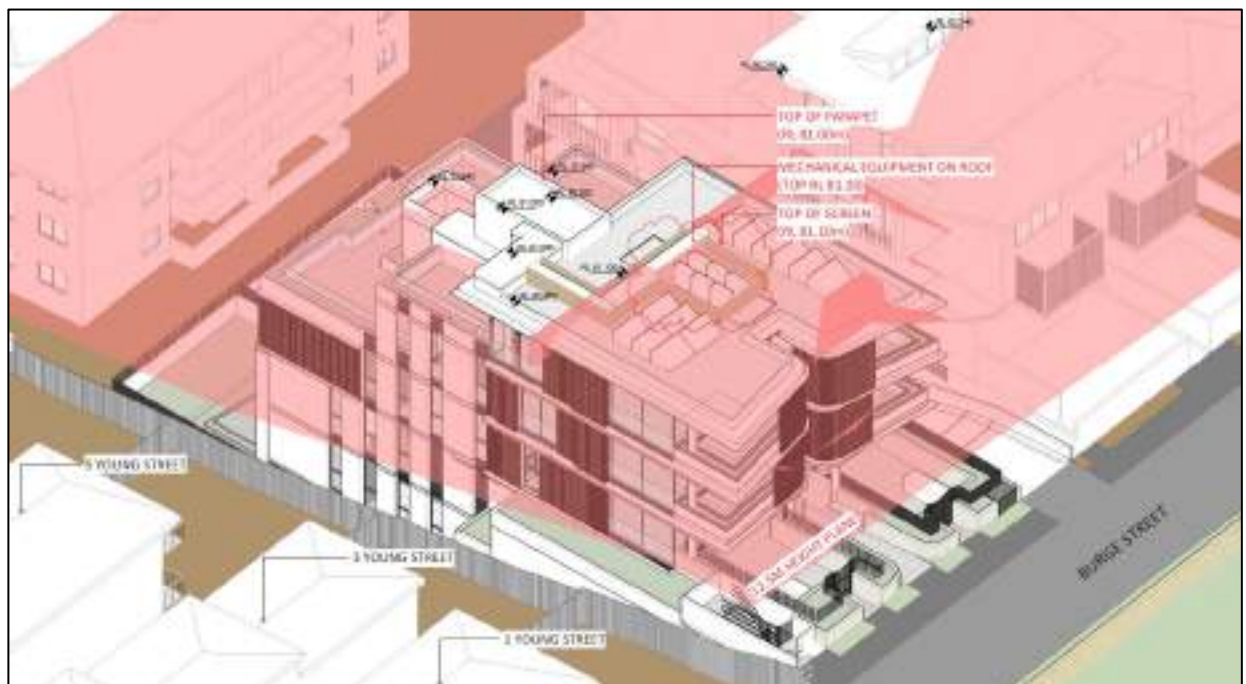


Figure 6: Height plane diagram submitted by the applicant with the amended proposal.

Planning Comment

The applicant has submitted a detailed analysis of any additional overshadowing and view impacts in the Statement of Environmental Effects addressing the proposed variation to Council's maximum building height development standard. It is noted that this discussion was not required to be updated with the submission of amended plans and documentation due to the reduced scale of the amended proposal. This original assessment conducted by the Applicant and the amended shadow diagrams contained

within the revised plans submitted on 25 November 2021 have been utilised to inform the below assessment in determining whether the proposed height variation is reasonable in the site circumstances.

- *Built Form, Bulk, Scale and Streetscape*

The approved built form remains largely unchanged with the proposal. The proposed basement exhaust accounts for majority of the proposed variation however, this is sited towards the rear of the building and will match the approved RL of the lift overrun at RL 81.00. Therefore, the basement exhaust would not be visible from the Burge Street streetscape and the approved built form of the building is largely retained.

The top of the roof parapet is to be increased from RL 80.25 to RL 80.46, representing a 210mm increase in height where only a portion of this is to be sited above the maximum building height limit that is focused towards the rear of the roof due to the natural slope of the land. This is a minor increase that is not considered to add significant scale to the building as originally approved.

Furthermore, the top of the proposed screening to the mechanical plant is not to exceed RL 81.10, that is sited towards the centre of the roof and will extend 640mm above the height of the roof parapet. This screening would be largely sited within the maximum building height development standard applicable to the site however, the variation of 16.8% occurs towards the rear of the roof as a result of the sloping topography. It is also noted that any portion of the screening visible from the streetscape would be sited within the maximum building height development standard applicable to the site and the screening towards the rear would not be readily visible.

There would be no adverse visual bulk and streetscape impacts as a result of the proposed screen to the riser at the second floor level as it is located at the rear of the building and is sited lower and follows the narrow profile of the approved lift core at this location.

Therefore, the development is considered to be acceptable with regards to retaining the approved bulk and scale of the development that is compatible with the desired future character of the area.

- *Overshadowing*

An analysis of the shadow diagrams submitted with the amended application with regards to solar access to surrounding properties during the winter solstice has been conducted below.

8-10 Burge Street, VAUCLUSE

This property adjoins the subject site at its western side boundary and consists of a RFB. Balconies are located towards the rear, off the main living spaces of the units and windows along the eastern elevation correspond to bedrooms, primary living spaces and bathrooms. An analysis of the additional impacts resulting from the proposed modifications, including the areas in breach of Council's maximum building height development standard are provided below.

- 9:00AM:** Minor additional overshadowing would be cast by the proposed increase in height of the roof parapet across one balcony to a living space within the units located on level 1 of the building. This additional impact is negligible and 50% solar access still retained to this balcony. The rear of the roof parapet above the maximum building height development standard results in no material impacts to this adjoining property as overshadowing cast by the non-compliance falls upon the blank wall of the rear balcony/terrace area of level 1 of the adjoining development. This is therefore acceptable.
- 9:30AM:** The proposed increase in height of the roof parapet that would be sited above the maximum building height results in minor additional overshadowing to the rear balcony on the ground floor level however, this space was already almost completely overshadowed as a result of the approved development.
- 10:00AM:** Minor additional overshadowing is cast upon the blank wall of the lower ground floor level of the adjoining property as a result of the part of the roof parapet that complies with Council's development standard. Minor additional overshadowing is cast by the roof parapet in breach of Council's maximum building height upon the balcony of the unit located at the rear of Lower Ground 1 on the adjoining property however, some solar access would still be retained.
- 10:30AM:** No shadow is cast by the proposed development on the built form of this adjoining property however, some minor additional overshadowing is present to the rear setback area as a result of the modified height of the roof parapet.
- 11:00AM:** **From 11:00AM onwards**, no shadowing is cast by the proposed development on this adjoining property and any shadowing resulting from the proposed modifications fall within the approved built form.

Given the above, it is evident that the built form on this adjoining property would only experience minor additional overshadowing, largely from 9AM to approximately 10:15AM during the winter solstice as a result of the proposed development and the minor additional solar access impacts to this property resulting from the roof parapet are considered to be reasonable as a result of the proposed development.

9-11 Young Street, VAUCLUSE

The development on this adjoining property consists of three separate apartment blocks (see **Figure 1** in this report), of which the proposal only impacts the northern elevation of the block located towards the middle of the site, that adjoins the subject site at its rear boundary. This elevation primarily consists of large balconies that are located off the primary living spaces of the subject units. An analysis of the impacts is provided below.

- 9:00AM:** The proposed increase in height of the roof parapet that is non-compliant with Council's development standard results in minor additional overshadowing of the balcony located on the top floor level unit of this building to the rear. However, this additional overshadowing would still largely retain reasonable solar access to this primary living space of the unit as two sliding doors are present to access the balcony. No other material impact results from the increased roof parapet as a result of the proposed modifications at 9AM.
- 9:30AM:** The proposed development results in no additional material impact to the balcony and living room windows to the top floor level unit of this building. The western side of the roof parapet that is located above Council's development standard and adjacent to the lift results in some additional impact to a window of the adjoining property on the first floor level; however, this window appears to belong to a passive living space within the unit. Some additional overshadowing is caused by the proposed height breach of the roof parapet to the living room window on the first floor level however, more than 75% of solar access is retained to this window and is therefore acceptable.
- 10:00AM:** The proposed breach in height resulting from the roof parapet at the rear of the building results in some minor increase in overshadowing of the living room window and balcony on the first floor level; however, it is noted majority of the overshadowing falls within the shadow cast by the approved built form due to the angle of the sun. The additional overshadowing is considered to be negligible.
- 10:30AM:** The proposed roof parapet sited above the building height at the south-western corner of the roof results in some minor additional overshadowing to the living room sliding door of the unit located at the ground floor level. This is considered to be negligible as approximately 50% of this window would still receive solar access.
- 11:00AM:** From 11AM onwards, no additional overshadowing impacts result to this adjoining building as a result of the proposed modifications however, the approved built form continues to impact upon the adjoining development until 1PM.

The proposed modifications results in a very minor reduction in solar access received by the adjoining building however, a minimum of 2 hours solar access is retained to this property between 1PM-3PM during mid-winter as originally approved. It is also considered that should the original development application have resulted in the proposed overshadowing cast by the proposed modifications, they would have likely been considered acceptable at the time in the context of the entire scheme of the development when compared to the overshadowing impacts that would otherwise be experienced by a development that strictly complied with Council's building envelope controls. It should be noted that solar access impacts are limited to the northern elevation of this block of units only, of which the two other blocks of units located on this property are not impacted by the proposed development.

Therefore, the solar access impacts to this property are considered to be reasonable as a result of the proposed modifications.

1-7 Young Street, VAUCLUSE

The adjoining properties along the eastern side boundary of the subject site incorporate No's. 1, 3, 5 and 7 Young Street. These properties consist of existing RFB's and their rear boundary adjoins the subject site. It is noted that the rear setback area of No's 1, 5 and 7 consist of hard paved areas that appear to be utilised as car parking. The rear setback area of No. 3 Young Street comprises a landscaped area. An analysis of the impacts is provided below.

- 12:30PM:** The proposed modifications begin to impact upon the adjoining property at 7 Young Street from 12:30PM. Very minor additional overshadowing is cast by the proposed basement exhaust upon the rear setback area of this adjoining property that is utilised as a car parking area. Majority of this space still receives solar access.
- 1:00PM:** The proposed increase in height of the roof parapet as well as the proposed basement exhaust results in approximately 90% of the car parking area within the rear setback of No. 7 Young Street to be overshadowed.
- 1:30PM:** The proposed basement exhaust results in minor additional overshadowing to the rear ground floor level window at 7 Young Street at 1:30PM however, the use of this space could not be identified. Nevertheless, this window continues to receive solar access earlier in the day. Minor additional overshadowing is also cast upon the Balcony of Unit 2 at 5 Young Street that is accessed by bedrooms of this property however, greater than 50% solar access is retained to this space that is acceptable.
- 2:00PM:** Minor additional overshadowing is cast by the increased height of the roof parapet upon the balcony located at the rear of Unit 4 at 5 Young Street that is accessible by both the living space and a bedroom. However, greater than 50% solar access is retained to this space that is acceptable. Additional overshadowing cast by the front of the roof parapet that complies with Council's building height development standard and the breach of the standard caused by the basement exhaust results in no material overshadowing impacts to No's. 3 and 7 Young Street from 2PM onwards.
- 2:30PM:** The proposed roof parapet and basement exhaust results in minor additional overshadowing of the balcony and associated living room and bedroom sliding doors. The additional overshadowing is minor however, majority of this space is completely overshadowed. Despite this, the level of overshadowing was approved with the original development application as the overall shadow impacts resulting from a scheme compliant with Council's building envelope controls would have more adverse impacts when compared to the approved development and now, as

proposed to be modified. There are no additional material impacts to No. 5 Young Street as a result of the proposed development from 3PM onwards.

Given the above, it is concluded that the proposal has no adverse solar access impacts to the development at 1 Young Street and the additional impacts to 5 and 7 Young Street are not unreasonable.

Concluding Comments

In conclusion, it is evident that the proposed modifications at the roof level will result in some minor additional overshadowing impacts to surrounding properties resulting from the proposed increase in height of the roof parapet and the basement exhaust towards the rear of the roof that is non-compliant with Council's building height development standard. Despite this, it is reiterated that should the original development application have resulted in the overshadowing cast by the proposed modifications, they would have likely been considered acceptable at the time in the context of the entire scheme of the development when compared to the overshadowing impacts that would otherwise be experienced by a development that strictly complied with Council's building envelope controls. As discussed in Section 1.5 of this report, the only viable option is to locate the basement exhaust and mechanical plant at the roof level and it is considered that the application has been carefully designed to minimise any additional overshadowing impacts to surrounding properties. It is noted that there would be no shadow impacts resulting from the proposed screening to the riser and the increase in height of the glass balustrade to the rear terrace at the second floor level as any shadows cast by these elements fall within the shadows cast by the approved development and the proposed modifications at the roof level. Therefore, the resulting overshadowing impacts from the development are considered to be acceptable on merit.

- *View Loss*

Section 3.14 in Part C3 of WDCP details all objectives and strategies for public and private domain views and view sharing, which generally seek to reduce impacts on existing views and vistas from the private and public domain. It is recognised that the top floor unit (Unit 9) at the rear of the adjoining RFB at 8-10 Burge Street currently enjoys views to the east and south of the Pacific Ocean and district views of Vaucluse and is likely to be the only property to experience view loss, **if any**, as a result of the proposed modifications. The applicant has included 3D view loss studies with the proposed modification as originally submitted that have informed the following view loss assessment in relation to the amended plans. It is also noted that a detailed view loss analysis was conducted during the assessment of the original development application that also informs the assessment of the proposed modification in relation to views in terms of verifying the 3D diagrams with view loss photography taken at the adjoining property.

The following view loss assessment has been undertaken below in accordance with the NSW Land and Environment Court Planning Principle based on *Tenacity Consulting v Warringah [2004] NSWLEC 140*.

The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (eg of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, eg a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.

The second step is to consider from what part of the property the views are obtained. For example the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.

The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them).

The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.

The following 3D images have been prepared by the Applicant and reflect the modification application as originally submitted.



Figure 7: 3D diagram demonstrating approved built form.



Figure 8: 3D diagram demonstrating originally proposed built form.



Figure 9: 3D diagram demonstrating approved built form and view from living room windows.



Figure 10: 3D diagram demonstrating originally proposed built form and view from living room windows.



Figure 11: 3D diagram demonstrating approved built form and view from rear balcony.



Figure 12: 3D diagram demonstrating originally proposed built form and view from rear balcony.



Figure 13: 3D diagram demonstrating approved built form and view from bedroom.



Figure 14: 3D diagram demonstrating originally proposed built form and view from bedroom.

Since the submission of the above diagrams, the proposal was amended to lower the height of the proposed elements upon the roof and as a result, any impacts would be reduced. However, as demonstrated above, the proposed modifications, particularly in relation to the proposed screen to the riser and the height of the glass balustrade at the rear terrace of the unit located at the second floor level would result in no material impact upon views to the Pacific Ocean and the surrounds from this unit adjoining the subject site. Therefore, the proposed modifications are considered to be of a skilful design where there are no additional view impacts resulting from the proposal and a further assessment is not required.

As demonstrated above, the approved development, as proposed to be modified, will achieve and be consistent with the relevant objectives of the height of buildings development standard. It has been demonstrated that the placement of plant on upon the roof is the only viable option that has minimal impact to surrounding properties. Therefore, the net exceedance is deemed acceptable and is supported.

FSR

The proposed modifications result in a net increase of gross floor area (GFA) of 76m², resulting in an overall FSR of 1.23:1. This culminates in an overall exceedance of the FSR development standard by 96.4m² or 13.66%. The net increase of FSR due to the proposed modifications represents 78.84% of the overall exceedance of the standard. It is noted that an amended VPA has been submitted for the exceedance of floor space at a rate of \$3,000 per square metre of GFA.

The applicant has provided some written justification for the non-compliance with the FSR development standard and has based the justification on the performance of the proposal against the objectives of the development standard. The relevant objectives of the development standard are as follows:

- (b) to provide an appropriate correlation between maximum building heights and density controls,*
- (c) to ensure that buildings are compatible with the bulk and scale of the desired future character of the locality,*
- (d) to establish limitations on the overall scale of development to preserve the environmental amenity of neighbouring properties and the locality.*

The justification provided by the applicant to support the increased exceedance of the FSR development standard is summarised as follows:

- The additional 'volume' that results from the additional GFA is not significant and is located predominantly at the lower ground levels. The additional floor area provides for one additional bedroom in LG01 and LG02 to achieve two bedroom units as opposed to 2 x 1 bedroom units as approved.*
- The additional GFA occurs internal to the approved building footprint and has no impact on views, setbacks, deep soil or overshadowing. Privacy is addressed by way of screening to the additional window required for each additional bedroom.*
- The objectives are focused on bulk, scale, streetscape and character including the preservation of amenity.*
- The overall bulk and scale of the building when viewed from 8 – 10 Burge Street is very similar to the current approved DA. As mentioned, there is no change to side or rear setbacks and only certain elements at the roof level are altered (height of the lift core is maintained and the primary change relates to screen).*
- The VPA for the additional gross floor area remains valid and will be increased by an additional 76.00m² at the current rate.*

- The solar access available to the adjoining properties was assessed and found to be acceptable as part of the original DA.

Planning Comment

The comments made by the applicant are generally agreed with. The overall bulk of the built form remains largely unchanged with the proposal as the additional GFA is to be accommodated within the approved built form and setbacks. The additional floor space is to be largely located within the area of the basement previously approved for mechanical plant however, as discussed in section 1.5 of this report, the location of plant upon the roof is the only viable option for this development. As demonstrated above, the proposed increase in GFA results in no additional overshadowing or view loss impacts to the surrounding properties and the development retains the perceived bulk and scale when viewed from the Burge Street streetscape. The conversion of the approved units on the lower ground floor level to two bedroom units continues to meet the objectives of the FSR development standard and the housing needs for the R3: Medium Density Residential Zone.

The approved development, as proposed to be modified, will achieve and be consistent with the relevant objectives of the FSR development standard. Therefore, the net exceedance is deemed acceptable and is supported.

Waverley Development Control Plan 2012 (Waverley DCP 2012) – Amendment No.9

The approved development, as proposed to be modified, continues to comply with the relevant parts and sections of Waverley DCP 2012. Only the following parts and sections of Waverley DCP 2012 that apply to the proposed modifications are outlined in **Tables 3** and **4** of this report and detailed discussion below these tables.

Table 3: Waverley DCP 2012 – Part B General Provisions Compliance Table

Development Control	Compliance	Comment
6. Stormwater	Yes	Satisfactory. Amended conditions of consent have been recommended and are included in Appendix A of this report.
7. Accessibility and Adaptability	Yes	Satisfactory.
8. Transport Zone 2 <u>Car Parking</u> Residential: max 8 spaces Visitor: 1.2 spaces Accessible: 10% (1 space) <u>Motorcycle</u> 3 required	Yes	The modified development consists of two x two bed units and four x three bed units that generates a maximum car parking rate of 8.4 residential spaces that rounds to 8 spaces. The proposal retains the approved number of 8 residential car parking spaces, 2 visitor car parking spaces, bicycle and motorcycle spaces that is satisfactory.

Development Control	Compliance	Comment
<u>Bicycle</u> 6 residential 1 visitor		
10. Safety	Yes	Satisfactory.
12. Design Excellence	Yes	Satisfactory.
16. Public Domain	Recommended Condition	Unsatisfactory. The proposed gate leading from the landscaped area of the front terrace to Unit G01 on the ground floor level that opens into Council's Public Domain is not supported and is recommended to be deleted.

Table 2: Waverley DCP 2012 – Part C3 Other Residential Development Compliance Table

This part applies to development that is subject to State Environmental Planning Policy (SEPP) 65 – Design Quality of Residential Apartment Development, including the residential flat buildings, shop top house or mixed use developments that are 3 or more storeys and contain 4 or more dwellings.

Development Control	Compliance	Comment
3.2 Height		
<ul style="list-style-type: none"> Refer to the LEP External wall height = 9.5m 	Merit Assessment	No change to approved external wall height of building proposed with subject modifications.
3.5 Building Design & Streetscape		
<ul style="list-style-type: none"> Building design is to respond to the existing streetscape character of the area. The colour and finish of external finishes should be sympathetic to the street and contribute to the overall appearance of the building. 	Yes	The development retains the approved bulk of the development that is compatible with the desired future character of the area for reasons previously discussed in this report.
3.6 Attic & Roof Design		
<ul style="list-style-type: none"> Roof design should contribute to the architectural design and the environmental performance of the development. Roof design should respond to the 	Yes	The approved roof design is retained as originally approved and it considered that the increased parapet height and acoustic screening to the mechanical plant does not adversely impact upon the streetscape character of the area.

Development Control	Compliance	Comment
streetscape character of the area.		
4.8 Pedestrian Access & Entry		
<ul style="list-style-type: none"> • Entry at street level and respond to pattern within the street • Accessible entry • Separate to vehicular entry • Legible, safe, well-lit 	Recommended Condition	<i>See discussion regarding 14. Public Domain in Table 3 above.</i>
3.9 Landscaping		
	Yes	No change to approved landscaped area.
3.14 View & View Sharing		
<ul style="list-style-type: none"> • Minimise view loss through design • Landscaping on sites adjacent to a Council park or reserve should be sympathetic to soften the public/private interface. • Views from public spaces to be maintained. 	Yes	<i>See previous discussion on view loss with regards to Council's maximum building height development standard.</i>
3.15 Visual privacy and security		
<ul style="list-style-type: none"> • Dwellings to be orientated to the street with entrances and street numbering visible • Above ground open space must not overlook rooms and private landscaped areas of adjoining properties or be screened • Prevent overlooking of more than 50% of private open space of lower level dwellings in same development • Privacy be considered in relation to context density, separation use and design. 	Recommended Condition	<p>The proposal involves modification to the location of some windows of the development as a result from the proposed amendments to the internal layout of some units. However generally, the maintenance of visual privacy to surrounding properties is improved with the proposal as additional operable screens are proposed to windows on the eastern and western sides of the development, particularly to bedrooms and living spaces. A condition is recommended to be imposed for all windows to bathrooms to be fitted with translucent glazing or privacy screens to maintain privacy for occupants of the subject site and surrounding properties.</p> <p>No additional adverse overlooking impacts are anticipated as a result of the proposed minor increase to the rear balconies at the first and second floor levels.</p>
3.19 Acoustic Privacy		
<ul style="list-style-type: none"> • Sound proofing through acoustic glazing 	Recommended Conditions	The amended proposal has implemented screening to be installed on the roof in relation to the mechanical plant. Furthermore, an acoustic report has been submitted with the amended

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Internal amenity by locating noisy areas away from quiet areas 		<p>plans and documentation that has been reviewed by Council's Environmental Health Officer. It is concluded that the proposal would not give rise to any unreasonable noise impacts, subject to compliance with the recommendations in the acoustic report, including the "complying treatment" as outlined in section 6 of the acoustic report. A condition of consent is recommended to be imposed to require a Certificate of Compliance prepared by a suitably qualified acoustic consultant to be submitted to Council certifying that the above requirement and Council's noise criteria has been met prior to the issue of an Occupation Certificate. Therefore, the proposal is considered to be acceptable with regards to noise impacts.</p> <p>No adverse additional noise impacts are anticipated from the proposed minor increase in size of the terraces located at the rear of the first and second floor levels of the development.</p>
3.21 Building Services		
<ul style="list-style-type: none"> Outdoor Communal clothes drying area to be provided Services are to be integrated into the design of buildings (garbage rooms, mail boxes, fire hydrants boosters, electrical substations, down pipes, plant rooms, satellite/communications structures Plant rooms away from entry communal and private open spaces and bedrooms. Building Services setback from walls, edges and front entrances Services on roof not to be seen from street or impact public or private views and be min 2m from the building edge 	Yes	<p>As discussed in Section 1.5 of this report, the location of the proposed building services upon the roof of the development are considered to be the only viable option. The development is considered to be satisfactory in this regard.</p>

2.2.2. Other Impacts of the Development

The proposal is considered to have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

2.3. Suitability of the Site for the Development

The site is considered suitable for the proposal.

2.3.1. Any Submissions

The application was notified for 24 days between 31 August 2021 and 23 September 2021 and a site notice erected on the site in accordance with the *Waverley Community Development Participation and Consultation Plan*.

Following receipt of amended plans and additional information, the application was not re-notified as the amended form of the proposal represents a lesser impact than that of the original form that was publicly notified, for the following reasons:

- Reduced overshadowing; and
- Reduced plant upon roof.

Having regard to the nature of the amendments, there is a lesser impact on all properties.

A total of three unique submissions were received on behalf of the four following properties:

Table 3: Number of and where submissions were received from.

Count	Property Address
1.	4/1 Young Street, VAUCLUSE
2.	3 Young Street VAUCLUSE (same submission as 5 Young Street)
3.	5 Young Street, VAUCLUSE (same submission as 3 Young Street)
4.	9-11 Young Street, VAUCLUSE

The following issues raised in the submissions have already been discussed and addressed in the body of this report and/or the Recommendation:

- Increased GFA;
- Building height, built form, bulk and scale and streetscape;
- Noise from mechanical plant located on the roof; and
- Overshadowing to 3, 5 and 9-11 Young Street.

All other issues raised in the submissions are summarised and discussed below.

Issue: On Site Stormwater Detention (OSD).

Response: Council's Stormwater Engineer has reviewed the proposal and raised no concerns with regards to proposed modifications in relation to stormwater. However, it is noted that Condition 22 of the consent requiring the submission of stormwater plans is recommended to be amended to delete reference to the OSD pump out system. This revised condition is included in Appendix A of this report.

Issue: Privacy screens should be implemented to balconies and terraces that overlook 3 and 5 Young Street.

Response: As discussed in Council's assessment report on the original development application, it is not suitable to install privacy screens on the eastern side elevation of the balconies and terraces to reduce overlooking to the properties at 3 and 5 Young Street due to view loss impacts associated with the implementation of privacy screens for the subject development and the adjoining site at 8-10 Burge Street. It is further reiterated that in the assessment of views and privacy, the maintenance of views are more highly regarded over the maintenance of privacy. Council also retains the position that any overlooking from the terraces at the rear of the development would be limited due to the planter boxes approved along the boundaries of the terraces and the focus of views being towards the Pacific Ocean, rather than down onto the adjoining properties.

Issue: It also requested of Council that any new windows or windows that have been moved as a result of the proposed modifications that overlook 3 and 5 Young Street are not allowed as they will increase the opportunity for overlooking and loss of privacy.

Response: The windows approved on the eastern elevation at levels 1 and 2 of the development are to be retained however, the plans detail more sliding privacy screens to be added that would enhance privacy. At the ground floor level, the location of windows on the eastern elevation have been modified to align with the modified internal layout of the bedrooms and bathrooms and it is considered that there are no additional overlooking impacts generated by this readjustment, subject to a recommended condition for windows to the bathrooms to be fitted with translucent glazing to maintain privacy. It is also noted that the plans lodged with the modification application have deleted the corner window feature approved to the south-eastern corner of the first floor level that was previously provided to the ensuite of the master bedroom. As this internal layout has been modified, this corner window has been deleted and as such, no window is proposed to the eastern elevation of the master bedroom of Unit G02. Therefore, privacy is considered to be enhanced with the subject proposal for the occupants of the properties fronting Young Street.

Issue: Change to the mix of apartments to include larger 3 bedroom apartments for families, will increase the number of residents within the building, which will inevitably result in an increase in noise and disturbance, especially from the outdoor private open space areas.

Response: The three bedroom units located on the first and second floor levels were approved with the original development application. The only change to unit configuration occurs at the lower ground floor levels where the approved two bedroom units are converted to two bedroom units. Therefore, while density is proposed to be increased on site, this is considered reasonable within the R3: Medium Density Residential Zone and is acceptable.

Issue: Concerns relating to approved development including:

- Stormwater runoff;
- Tree removal;
- Traffic and parking;
- Climate change; and
- Air pollution.

Response: The above concerns relate to works approved in relation to the approval of the original development application and are not proposed with the subject modification application. The proposed modifications would not cause further impacts in relation to the above.

2.3.2. Public Interest

The proposal is considered to have no detrimental effect on the public interest, subject to appropriate conditions being imposed.

3. REFERRALS

The following internal and external referral comments were sought:

3.1. Strategic Planning

The application was referred to Council's Strategic Planner as the applicant has offered to enter into a Planning Agreement in line with the floor space exceedance. Council's Strategic Planner has made the following comment that is to form part of the modified condition of consent:

In accordance with the letter of offer provided, the Planning Agreement payable would therefore be $76 \times \$3,000\text{sqm} = \$228,000$.

3.2. Traffic and Development

No objections, subject to conditions.

3.3. Stormwater

No objections, subject to conditions.

3.4. Environmental Health

No objections, subject to conditions.

3.5. Waste & Recycling

No objections, subject to conditions.

4. CONCLUSION

The modification application seeks to modify development consent, known as DA-325/2020 for the demolition of the existing building and construction of a residential flat building containing six units over basement car parking and Strata Subdivision at the site known as 12 Burge Street, VAUCLUSE. In summary, the proposed modifications are for to alter internal layout and parking bay, increase in gross floor area, changes to windows, increase in height and various other alterations.

The principal issues arising from the assessment of the application are as follows:

- Relocation of mechanical plant to roof;
- Building height non-compliance;
- FSR non-compliance; and
- Overshadowing.

The assessment finds these issues acceptable as it has been demonstrated that the location of mechanical plant upon the roof is the only viable option for this development and the proposal has been skilfully designed to minimise environmental impacts with regards to overshadowing to surrounding properties.

A total number of three submissions were received on behalf of four and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation.

The application has been assessed against relevant sections of the Act and is recommended for approval subject to conditions of consent.

Development and Building Unit (DBU) Decision:

The amended application was reviewed by the DBU at the meeting on 16 November 2021 and the DBU determined:

- (a) The application is acceptable and should be approved, subject to the conditions in Appendix A.

DBU members: *A Rossi, B McNamara and J Zancanaro*

5. RECOMMENDATION TO WAVERLEY LOCAL PLANNING PANEL

That the modification application be APPROVED by the Waverley Local Planning Panel subject to modified and new conditions in Appendices A and B.

Report prepared by:



Judith Elijah
A/Manager Development Assessment (Central)

Date: 25 November 2021

**Application reviewed and agreed on behalf of
the Development and Building Unit by:**



Bridget McNamara
**Manager, Development Assessment
(North/South)
(Reviewed and agreed on behalf of the
Development and Building Unit)
Date: 29 November 2021**

Reason for WLPP referral:

The consent authority for the original development application was the WLPP, this modification is made under section 4.55(2) of the Act and relates to:

1. Departure from any development standard in an EPI by more than 10%

APPENDIX A – CONDITIONS OF CONSENT TO BE MODIFIED

A. Amended Conditions

1. APPROVED PLANS AND DOCUMENTATION

The development must be in accordance with:

- (a) Architectural Plans prepared by Koichi Takada Architects of Project No: 20441 including the following:

Drawing No.	Revision	Plan Description	Dated	Date received by Council
A0001	E	Project Summary	11/11/21	25 November 2021
A0013	E B	Demolition Plan	11/09/20 28/07/21	28 January 2021 25 November 2021
A0098	H G	Lower Ground Floor 02 Floor Plan	21/01/21 11/11/21	28 January 2021 25 November 2021
A0099	H G	Lower Ground Floor 01 Plan	21/01/21 11/11/21	28 January 2021 25 November 2021
A0100	F E	Ground Floor Plan	21/01/21 28/07/21	28 January 2021 25 November 2021
A0101	H G	Level 01 Floor Plan	21/01/21 28/07/21	28 January 2021 25 November 2021
A0102	H G	Level 02 Floor Plan	21/01/21 28/07/21	28 January 2021 25 November 2021
A0103	H G	Roof Plan	21/01/21 11/11/21	28 January 2021 25 November 2021
A0200	E F	North Elevation	21/01/21 11/11/21	28 January 2021 25 November 2021
A0201	H G	East Elevation	21/01/21 11/11/21	28 January 2021 25 November 2021
A0202	H G	South Elevation	21/01/21 11/11/21	28 January 2021 25 November 2021
A0203	H	West Elevation	21/01/21 11/11/21	28 January 2021 25 November 2021
A0300	H I	Section 01	21/01/21 11/11/21	28 January 2021 25 November 2021
A0301	D	Driveway Section Diagram 01	28/07/21	25 November 2021
A0302	D	Driveway Section Diagram 02	28/07/21	25 November 2021

- (b) BASIX and NatHERs Certificates

- (c) Arborist Letter prepared by Ross Jackson Jacksons Nature Works dated 04/12/2020 and received by Council on 28/01/2021 and Arborist Report prepared by Ross Jackson Jacksons Nature Works dated 17/09/2020, and received by Council on 02/10/2020.

- (d) Geotechnical Report prepared by JK Geotechnics Pty Ltd dated 23 September 2020 and received by Council on 02/10/2020.

- (e) Schedule of external finishes and colours received by Council on 28/01/2021.
- (f) The Site Waste and Recycling Management Plan prepared by Elephants Foot, dated 17/09/2020 and received by Council on 02/10/2020.
- (g) Acoustic Report prepared by Acoustic Logic (report no. 20211283.1) dated 1 October 2021 and received by Council on 15 November 2021.**

Except where amended by the following conditions of consent.

(AMENDED BY DA-325/2020/A)

2. GENERAL MODIFICATIONS

The application is approved subject to the following plan amendments:

- (a) One residential car parking space is to be amended to be indicated as visitor car parking space, resulting in a total of eight residential car parking spaces and two visitor car parking spaces within the basement levels of the development in order to maintain compliance with Council's maximum car parking rate applicable to the site.
- (b) One bicycle space is to be provided in an accessible area on the ground floor area near the lobby.
- (c) Windows and sliding doors adjacent to the driveway ramp on the western elevation of the building, to the bedrooms and living spaces of Unit G01 and Unit 101 on the ground and first floor levels respectively are to be double glazed to maintain acoustic privacy for residents of these subject units.
- (d) Windows to bathrooms are to be fitted with translucent glazing or privacy screens to maintain privacy for the occupants of the subject site and surrounding properties.**
- (e) The gate leading from the landscaped front setback area of Unit G01 on the ground floor level to the public domain is not approved and is to be deleted.**

The amendments are to be approved by the **Principal Certifying Authority** prior to the issue of any Construction Certificate.

(AMENDED BY DA-325/2020/A)

5. PLANNING AGREEMENT

- (a) The owner/applicant is to:
 - i. Enter into an Agreement in accordance with *Waverley's Planning Agreement Policy 2014* prior to the issue of any Construction Certificate for the development that relates to works contained in ~~DA-325/2020~~ **DA-325/2020/A**; and
 - ii. Pay the monetary contribution amount of ~~\$61,200.00~~ **\$298,560.00** prior to the issue of any Occupation Certificate for the Development (calculated in accordance with Waverley's Planning Agreement Policy 2014 at ~~20.4~~ **96.4**sqm of GFA exceedance at a rate of \$3,000/sqm)

- iii. A Planning Agreement will be entered into under *Section 7.4 of the Environmental Planning and Assessment Act 1979* between the owner/applicant of the land the subject of the Development and Council.
- (b) In accordance with the said offer, the Planning Agreement shall make provision in respect to the following:
- i. The Planning Agreement shall be registered upon the title to the land the subject of the Development prior to the issue of any Construction Certificate for the Development.
 - ii. The owner/applicant shall provide Council with a Bank Guarantee to secure the payment of the Monetary Contribution prior to the issue of any Construction Certificate for the Development which is:
 - a. In a form acceptable to Council and from an institution acceptable to Council
 - b. Irrevocable
 - c. Unconditional
 - d. With no end date
- (c) The payment of the Monetary Contribution to Council is to be made prior to the issue of any Occupation Certificate for the Development, and is to be applied towards a public purpose in accordance with the Agreement and Council's Planning Agreement Policy 2014.

(AMENDED BY DA-325/2020/A)

22. STORMWATER AND PUBLIC INFRASTRUCTURE MANAGEMENT

To ensure that stormwater runoff from the development is drained in an appropriate manner, without impact to neighbouring properties and downstream systems, a detailed plan and certification of the development's stormwater management system must be submitted and approved by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate.

The concept stormwater design plans prepared by GEBA Consulting, Project No. GC20092, Drawing No. SW01, SW02, SW03, SW04, SW05, SW06, SW07 & SW08, Revision B, dated 19/09/2020 are considered unsatisfactory.

The applicant must submit plans and specifications to comply with the current Waverley Council Water Management Technical Manual and Development Control Plan (DCP) at the time of engineering plan approval. The submitted plans shall be prepared by a suitably qualified and practising Civil Engineer and:

- a) Provide details of the proposed On-Site Stormwater Detention (OSD) ~~pump-out~~ system and its details e.g. pit dimensions, cross & long sections, significant water invert levels of inlet and outlet pipes, details of Discharge Control Pit, orifice plate details including orifice diameter, depth of water above centreline of orifice etc., pit overflow, OSD plaque, OSD warning sign and catchment plan. Council's mandatory OSD checklist as set out in page 22 of the Council's Water Management Technical Manual shall be submitted.
- b) The maximum discharge rate to Council's street gutter must not exceed 25 L/s.
- c) Show an alarm system comprising of basement pump-out failure warning sign together with a flashing strobe light and siren installed at a clearly visible location at the entrance to the basement in case of pump failure.

- d) Show a minimum of 150 mm freeboard from the **OSD basement** pump out system to all parking spaces.
- e) Submit full hydraulic details and pump manufacturers specification.
- ~~f) The OSD pump out system must be connected to a stilling pit and gravity line before discharged to Council's street gutter. Deleted by DA-325/2020/A.~~
- g) ~~Seepage water from basement car parks and sub-surface flows from structures that intersect high ground water flows shall be pumped and harvested onsite or piped to the underground stormwater drainage system. Direct or indirect connections to Council's street gutter is not permitted. Seepage water shall not be discharged directly or indirectly to Council's street gutter.~~
- h) Must achieve a minimum of 90% reduction in the post development mean annual load of total gross pollutants (greater than 5 mm); 80% reduction in the post development mean annual load of total suspended solids (SS); 55% reduction in the post development mean annual load of total phosphorus (TP) and 40% reduction in the post development mean annual load of total nitrogen (TN).
- i) Any affected Council's infrastructure as the result of construction activities within the public domain area, inclusive of stormwater, stormwater outlet/s, kerb and gutter, pavement, grass verges and vehicle crossovers within the extent works shall be replaced as per Waverley Council Public Domain Technical Manual.
- j) The stormwater management plan shall be consistent with the approved architectural drawings.**
- k) The underground basement shall be protected from possible inundation by surface water from the street.**
- l) Pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits and inspection openings and their location shall be provided.**

Notes:

- Since a sewer main runs through the property, plans must also be presented to a Sydney Water Tap in™ for their approval.
- The Applicant is advised to consider the finished levels of the public domain, including new or existing footpaths and pavement prior to setting the floor levels for the proposed development.
- Waverley Council standard drawings for public domain infrastructure assets are available upon request. Details that are relevant may be replicated in the Engineering design submissions however, Council's title block shall not be replicated.
- Prior to commencement of works a security deposit will be made payable to Council to ensure any additional damage or unauthorised works within the Council property, not conditioned above. Council will reserve the right to withhold the cost of restoring the damaged assets from the security deposit should the applicant fail to restore the defects to the satisfaction of Council.
- Council's contact for infrastructure assessment: E-mail: assets@waverley.nsw.gov.au or Phone: 9083 8886 (operational hours between 9.30am to 4pm Monday to Friday)

(AMENDED BY DA-325/2020/A)

44. NEW VEHICLE CROSSING

A new **3.0 metre wide** vehicle crossing is to be provided to access the proposed basement car park. A separate application is required for the vehicle crossing, with all work to be carried out with the approval of and in accordance with the requirements of Council.

Note: Prior to the submission of the vehicle crossing application, works as executed drawings shall be submitted to Council for the approval of the Executive Manager Creating Waverley confirming the

finished levels of the internal driveway between the property boundary and the garage floor comply with the approved driveway long sections.

(AMENDED BY DA-325/2020/A)

45. VEHICULAR ACCESS - FINISHED LEVEL

The finished level at the property boundary on **both** sides of the vehicle crossing is to match or be **3950mm above** the level of the existing concrete footpath

(AMENDED BY DA-325/2020/A)

56. WORKS-AS-EXECUTED DRAWINGS – STORMWATER DRAINAGE

- a) A Works-As-Executed drawing (WAED) of the stormwater drainage system must be prepared by a Registered Surveyor. This drawing must detail the alignment of all pipelines, pits, the detention facilities and other drainage related infrastructure. An original or a colour copy must be submitted to Waverley Council. ***Where changes have occurred, the Council approved plans shall be marked-up in red ink and shall include levels and location for the drainage structures and works.***
- b) A suitably qualified and practising Engineer must provide certification the WAED of the stormwater drainage system that the stormwater drainage works were constructed to their satisfaction and in accordance with the Development Consent, Water Management Technical Manual, all applicable Codes, Policies, Plans, Standards and good engineering practice.

(AMENDED BY DA-325/2020/A)

59. PLANNED PREVENTATIVE MAINTENANCE SCHEDULE FOR ~~OSD~~ ANY PUMP OUT SYSTEM

The registered proprietor shall be required to submit written intent to establish and maintain a Planned Preventative Maintenance (PPM) schedule ~~of the OSD~~ pump out system prior to the issue of Occupation Certificate. Council will not be liable for any claims for damages arising from the failure of the pump out system. Evidence shall be submitted to the Executive Manager, Infrastructure Services or delegate prior to the issue of the Occupation Certificate.

(AMENDED BY DA-325/2020/A)

B. New Conditions

1A. ACOUSTIC REPORT RECOMMENDATIONS

The "complying treatment" as outlined in section 6 of the acoustic report prepared by Acoustic Logic (report no. 20211283.1) dated 1 October 2021 shall be implemented.

A Certificate of Compliance prepared by a suitably qualified acoustic consultant is to be submitted to Council certifying that the above requirement and Council's noise criteria has been met prior to the issue of an Occupation Certificate.

(ADDED BY DA-325/2020/A)

APPENDIX B – FULL SET OF CONDITIONS

A. APPROVED DEVELOPMENT

1. APPROVED PLANS AND DOCUMENTATION

The development must be in accordance with:

- (a) Architectural Plans prepared by Koichi Takada Architects of Project No: 20441 including the following:

Drawing No.	Revision	Plan Description	Dated	Date received by Council
A0001	E	Project Summary	11/11/21	25 November 2021
A0013	B	Demolition Plan	28/07/21	25 November 2021
A0098	G	Lower Ground Floor 02 Floor Plan	11/11/21	25 November 2021
A0099	G	Lower Ground Floor 01 Plan	11/11/21	25 November 2021
A0100	E	Ground Floor Plan	28/07/21	25 November 2021
A0101	G	Level 01 Floor Plan	28/07/21	25 November 2021
A0102	G	Level 02 Floor Plan	28/07/21	25 November 2021
A0103	G	Roof Plan	11/11/21	25 November 2021
A0200	F	North Elevation	11/11/21	25 November 2021
A0201	G	East Elevation	11/11/21	25 November 2021
A0202	G	South Elevation	11/11/21	25 November 2021
A0203	H	West Elevation	11/11/21	25 November 2021
A0300	I	Section 01	11/11/21	25 November 2021
A0301	D	Driveway Section Diagram 01	28/07/21	25 November 2021
A0302	D	Driveway Section Diagram 02	28/07/21	25 November 2021

- (b) BASIX and NatHERs Certificates
- (c) Arborist Letter prepared by Ross Jackson Jacksons Nature Works dated 04/12/2020 and received by Council on 28/01/2021 and Arborist Report prepared by Ross Jackson Jacksons Nature Works dated 17/09/2020, and received by Council on 02/10/2020.
- (d) Geotechnical Report prepared by JK Geotechnics Pty Ltd dated 23 September 2020 and received by Council on 02/10/2020.
- (e) Schedule of external finishes and colours received by Council on 28/01/2021.
- (f) The Site Waste and Recycling Management Plan prepared by Elephants Foot, dated 17/09/2020 and received by Council on 02/10/2020.
- (g) Acoustic Report prepared by Acoustic Logic (report no. 20211283.1) dated 1 October 2021 and received by Council on 15 November 2021.

Except where amended by the following conditions of consent.

(AMENDED BY DA-325/2020/A)

1A. ACOUSTIC REPORT RECOMMENDATIONS

The "complying treatment" as outlined in section 6 of the acoustic report prepared by Acoustic Logic (report no. 20211283.1) dated 1 October 2021 shall be implemented.

A Certificate of Compliance prepared by a suitably qualified acoustic consultant is to be submitted to Council certifying that the above requirement and Council's noise criteria has been met prior to the issue of an Occupation Certificate.

(ADDED BY DA-325/2020/A)

2. GENERAL MODIFICATIONS

The application is approved subject to the following plan amendments:

- (a) One residential car parking space is to be amended to be indicated as visitor car parking space, resulting in a total of eight residential car parking spaces and two visitor car parking spaces within the basement levels of the development in order to maintain compliance with Council's maximum car parking rate applicable to the site.
- (b) One bicycle space is to be provided in an accessible area on the ground floor area near the lobby.
- (c) Windows and sliding doors adjacent to the driveway ramp on the western elevation of the building, to the bedrooms and living spaces of Unit G01 and Unit 101 on the ground and first floor levels respectively are to be double glazed to maintain acoustic privacy for residents of these subject units.
- (d) Windows to bathrooms are to be fitted with translucent glazing or privacy screens to maintain privacy for the occupants of the subject site and surrounding properties.
- (e) The gate leading from the landscaped front setback area of Unit G01 on the ground floor level to the public domain is not approved and is to be deleted.

The amendments are to be approved by the **Principal Certifying Authority** prior to the issue of any Construction Certificate.

(AMENDED BY DA-325/2020/A)

3. AMENDED LANDSCAPE PLAN

An amended landscape plan is to be submitted and approved by Council to provide the following:

- (a) Consistency between the approved architectural plans and landscaping throughout the site.
- (b) Deletion of *Westringia fruitcosa* (Coastal Rosemary) and *Crassula arborescens* (Blue Jade Plant) plants in the western planter box in the proximity of the proposed spa on the second floor level to maintain views for surrounding properties. These plants may be replaced with other low level planting such as *Rosemarinus officinalis* (groundcover) or *Aloe picatilis* where suitable.

The amendments are to be approved by the **Executive Manager, Development Assessment, or delegate** prior to the issue of any Construction Certificate. An electronic copy of the amended plans or additional

information (see website for electronic document requirements) addressing this condition, including a covering letter shall be provided to Council for review.

4. MULTI UNIT HOUSING DEVELOPMENT DESIGN (SEPP 65 DEVELOPMENT)

The approved design (including any element or detail of that design) or materials, finish or colours of the building must not be changed without the written approval of Council.

B. COMPLIANCE PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

5. PLANNING AGREEMENT

(a) The owner/applicant is to:

- i. Enter into an Agreement in accordance with *Waverley's Planning Agreement Policy 2014* prior to the issue of any Construction Certificate for the development that relates to works contained in DA-325/2020/A; and
- ii. Pay the monetary contribution amount of **\$298,560.00** prior to the issue of any Occupation Certificate for the Development (calculated in accordance with Waverley's Planning Agreement Policy 2014 at 96.4sqm of GFA exceedance at a rate of \$3,000/sqm)
- iii. A Planning Agreement will be entered into under *Section 7.4 of the Environmental Planning and Assessment Act 1979* between the owner/applicant of the land the subject of the Development and Council.

(b) In accordance with the said offer, the Planning Agreement shall make provision in respect to the following:

- i. The Planning Agreement shall be registered upon the title to the land the subject of the Development prior to the issue of any Construction Certificate for the Development.
- ii. The owner/applicant shall provide Council with a Bank Guarantee to secure the payment of the Monetary Contribution prior to the issue of any Construction Certificate for the Development which is:
 - a. In a form acceptable to Council and from an institution acceptable to Council
 - b. Irrevocable
 - c. Unconditional
 - d. With no end date

(c) The payment of the Monetary Contribution to Council is to be made prior to the issue of any Occupation Certificate for the Development, and is to be applied towards a public purpose in accordance with the Agreement and Council's Planning Agreement Policy 2014.

(AMENDED BY DA-325/2020/A)

6. NO BUILDING OR DEMOLITION WORKS PRIOR TO RELEASE OF CONSTRUCTION CERTIFICATE

The building work, or demolition work, must not be commenced until:

- (a) a Construction Certificate has been obtained from Council or an Accredited Certifier in accordance with the Environmental Planning & Assessment Act, 1979 and
- (b) a Principal Certifying Authority has been appointed and Council has been notified of the appointment in accordance with the Environmental Planning & Assessment Act, 1979 and Environmental Planning and Assessment Regulation 2000 and
- (c) Council is given at least two days' notice in writing of the intention to commence the building works.

CONTRIBUTIONS, FEES & BONDS

7. SECTION 7.12 CONTRIBUTION

A cash contribution is payable to Waverley Council pursuant to section 7.12 of the *Environmental Planning and Assessment Act 1979* and Waverley Council Development Contributions Plan 2006 in accordance with the following:

- (a) A cost report indicating the itemised cost of the development shall be completed and submitted to Council:
 - (i) Where the total development cost is less than \$500,000:
"Waverley Council Cost Summary Report"; or,
 - (ii) Where the total development cost is \$500,000 or more:
"Waverley Council Registered Quantity Surveyor's Detailed Cost Report".

A copy of the required format for the cost reports are in the Waverley Council Contributions Plan 2006, available on Council's website.

- (b) As legislated in section 25K of the Environmental Planning and Assessment Regulation 2000, the levy must be paid in accordance with the following;
 - (i) A development valued at \$100,000 or less will be exempt from the levy.
 - (ii) A development valued at \$100,001 - \$200,000 will attract a levy of 0.5% OR
 - (iii) A development valued at \$200,001 or more will attract a levy of 1% based on the full cost of the development.

Prior to the issue of any Construction Certificate, evidence must be provided that the levy has been paid to Council in accordance with this condition or that the cost of works is less than \$100,000.

8. SECURITY DEPOSIT

A deposit (cash or cheque) or guarantee for the amount of **\$90,000.00** must be provided to Council for any damage caused to any property of the consent authority (ie. public land) as a consequence of the works and completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and environmental controls) required in connection with the consent.

This deposit (cash or cheque) or guarantee must be established prior to the issue of any Construction Certificate. The full amount of the difference after recovery of Council's cost for any repair of damage to Council property or rectification of unauthorised works on Council property will be refunded after satisfactory completion all of works associated with this consent (including the required public works) to the person who paid the deposit.

9. LONG SERVICE LEVY

A long service levy, as required under Section 34 of the *Building and Construction Industry Long Service Payments Act, 1986*, is to be paid in respect to this building work. In this regard, proof that the levy has been paid is to be submitted to the Principal Certifying Authority prior to the issue of any Construction Certificate.

Note: Council acts as an agent for the Long Service Payment Corporation and the levy may be paid at Council's office. The levy rate is 0.35% of building work costing \$25,000 or more.

PLAN DETAILS

10. VERIFICATION OF CONSTRUCTION CERTIFICATE DOCUMENTATION (SEPP 65 BUILDINGS)

The preparation of the construction certificate plans shall be supervised and be to the satisfaction of an architect who is registered in accordance with the *Architects Act 2003* (i.e. a qualified designer) in accordance with the requirements of the *State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development*.

In accordance with the Environmental Planning and Assessment Regulation 2000, the Principal Certifying Authority must not issue a construction certificate unless it has received a design verification statement from a qualified designer which verifies that the construction certificate plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in *State Environmental Planning Policy No. 65 Design Quality of Residential Apartment Development*.

11. ARCHITECTURAL DETAILING

Further details of the architectural detailing of the building are required to be submitted for review and the satisfaction of Council's Executive Manager, Development Assessment (or delegate) which address the following matters:

- (a) A schedule of external materials and finishes and design details of all elements of the building façade, including materials for structure on the roof terrace;
- (b) Large-scale detailed sections illustrating the construction of the roof, facades, method of fixing privacy screens, shading devices, balconies, planters and balustrades and major junctions between materials;
- (c) Detailed drawings of the shop fronts, entry foyers, awnings, window operation.

This may also require a referral to the Waverley Design Excellence Advisory Panel with a referral fee to be paid at the time of lodgement. Please contact the assessment planner to clarify whether this applies in this case, prior to lodging documentation to satisfy this condition.

12. BASEMENT STORAGE

The basement level/s are to provide separate and secure storage areas (in the form of lockable storage cages or the like), allocated to each apartment in the development for larger bulkier items (surfboards, boxes, camping equipment etc.) which are not suited to be stored within each individual apartment. Storage is to be allocated to individual units in accordance with the requirements of the Waverley Development Control Plan 2012.

CONSTRUCTION & SITE MATTERS

13. HOARDING

To ensure the site is contained during construction, a hoarding is required for the approved works which is to be designed and constructed in accordance with the requirements of Safe Work NSW. Where the hoarding is to be erected over the footpath or any public place, the approval of Council's Compliance Unit must be obtained and applicable fees paid, prior to the erection of the hoarding.

14. EROSION & SEDIMENT CONTROL

A Soil and Water Management Plan (SWMP), also known as an Erosion and Sediment Control Plan shall be prepared in accordance with Waverley Council's Water Management Technical Manual be installed and maintained until construction activities have been completed and the site is fully stabilised. A copy of the SWMP must be kept on site at all times and made available to Council officers upon request.

15. DETAILS OF EXCAVATION, SHORING OR PILE CONSTRUCTION

A report shall be prepared by a suitably qualified and practising Structural Engineer/Geotechnical Engineer detailing the proposed methods of bulk excavation, shoring or pile construction, including details of vibration emissions and any possible damage which may occur to adjoining or nearby properties as a result of the proposed building and excavation works.

Any practices or procedures specified in the Structural Engineer's report in relation to the avoidance or minimisation of structural damage to adjoining properties are to be fully complied with and incorporated into the plans and specifications together with the Construction Certificate.

16. ENGINEERING DETAILS

Structural details are to be prepared and certified by a practicing Structural Engineer in connection with all structural components of the approved works, prior to the issue of the relevant Construction Certificate.

17. TELECOMMUNICATIONS IN NEW RESIDENTIAL FLAT BUILDING AND MIXED USE DEVELOPMENTS

Evidence is to be provided to the Principal Certifier that arrangements have been made for;

- (a) The installation of fibre-ready facilities to all individual lots and/or premises to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. Demonstrate that the carrier has confirmed in writing that they are satisfied that the fibre ready facilities are fit for purpose; and
- (b) The provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises demonstrated through an agreement with a carrier.

TRAFFIC MANAGEMENT

18. CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

The applicant is to submit a Construction Traffic Management Plan (CTMP) for the approval of **Council's Executive Manager, Infrastructure Services, or delegate** prior to the issue of any Construction Certificate. For further information on what is required in the CTMP, please refer to Council's website at:

https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications_-_conditions_of_consent

19. VEHICLE PRIORITY/TRAFFIC LIGHT SYSTEM

A vehicle priority system (mirrors etc.) or traffic light system shall be provided for driveways and ramps which have access via a single lane to or from car parking spaces. Details are to be shown in documentation and on plans to be submitted to Council for the approval of the **Executive Manager, Infrastructure Services, or delegate**.

PUBLIC DOMAIN & INFRASTRUCTURE

20. PUBLIC DOMAIN IMPROVEMENTS

The public domain is to be upgraded along frontage of the development site in accordance with the current Waverley Council Development Control Plan (DCP) and Public Domain Technical Manual (PDTM) at the time of engineering plan approval. A public domain plan for the following works shall be submitted to Council and approved by the **Executive Manager, Infrastructure Services (or delegate)** prior to the issue of the relevant Construction Certificate.

- Pedestrian footpath
- Vehicular Crossing
- Road pavement
- Kerb and gutter
- Stormwater infrastructure located within the Council road reserve
- Undergrounding of electrical connections

21. PUBLIC INFRASTRUCTURE WORKS

Public infrastructure works shall be designed and constructed as outlined in this condition of consent. The approved works must be completed to Council's satisfaction at no cost to Council.

Full design engineering drawings to be prepared by a suitably qualified and experienced engineering professional must be submitted to Council and approved by the **Executive Manager, Infrastructure Services (or delegate)** prior to the issue of the relevant Construction Certificate.

The Applicant must submit plans and specifications for the following infrastructure works to Council's Public Domain Engineer:

- a) Road Pavement: The full renewal and reconstruction of asphalt pavement for full road width in Burge Street frontage of the development site. Details of the road pavement treatments and sub-grade details to be advised by Council.

- b) Footpath, Kerb and Gutter: The existing concrete footpath, kerb and gutter and grass verged traversing Burge Street frontage to be reconstructed and upgraded in accordance with the current Waverley Council Development Control Plan (DCP) and Public Domain Technical Manual (PDTM) at the time of engineering plan approval.

The proposed footpath, kerb and gutter profiles to include longitudinal and cross sections to ensure proper connections to the existing Council infrastructure traversing the development site. Any stormwater infrastructure within the extent of public domain works, inclusive of the kerb inlet pit shall be replaced.

- c) Any existing or proposed utility pillars on the site frontages to be either underground or inside the property boundary of the proposed development. Applicant must liaise with the relevant authorities for their approval and communicate to Council with written confirmation, before executing any works.
- d) All mains electrical connections to the development must be routed underground. Council will not accept the erection of newly placed electricity columns within the Council's public domain to support the new development.

STORMWATER & FLOODING

22. STORMWATER AND PUBLIC INFRASTRUCTURE MANAGEMENT

To ensure that stormwater runoff from the development is drained in an appropriate manner, without impact to neighbouring properties and downstream systems, a detailed plan and certification of the development's stormwater management system must be submitted and approved by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate.

The concept stormwater design plans prepared by GEBA Consulting, Project No. GC20092, Drawing No. SW01, SW02, SW03, SW04, SW05, SW06, SW07 & SW08, Revision B, dated 19/09/2020 are considered unsatisfactory.

The applicant must submit plans and specifications to comply with the current Waverley Council Water Management Technical Manual and Development Control Plan (DCP) at the time of engineering plan approval. The submitted plans shall be prepared by a suitably qualified and practising Civil Engineer and:

- a) Provide details of the proposed On-Site Stormwater Detention (OSD) system and its details e.g. pit dimensions, cross & long sections, significant water invert levels of inlet and outlet pipes, details of Discharge Control Pit, orifice plate details including orifice diameter, depth of water above centreline of orifice etc., pit overflow, OSD plaque, OSD warning sign and catchment plan. Councils mandatory OSD checklist as set out in page 22 of the Council's Water Management Technical Manual shall be submitted.
- b) The maximum discharge rate to Council's street gutter must not exceed 25 L/s.
- c) Show an alarm system comprising of basement pump-out failure warning sign together with a flashing strobe light and siren installed at a clearly visible location at the entrance to the basement in case of pump failure.
- d) Show a minimum of 150 mm freeboard from the basement pump out system to all parking spaces.

- e) Submit full hydraulic details and pump manufacturers specification.
- f) Deleted by DA-325/2020/A.
- g) Seepage water shall not be discharged directly or indirectly to Council's street gutter.
- h) Must achieve a minimum of 90% reduction in the post development mean annual load of total gross pollutants (greater than 5 mm); 80% reduction in the post development mean annual load of total suspended solids (SS); 55% reduction in the post development mean annual load of total phosphorus (TP) and 40% reduction in the post development mean annual load of total nitrogen (TN).
- i) Any affected Council's infrastructure as the result of construction activities within the public domain area, inclusive of stormwater, stormwater outlet/s, kerb and gutter, pavement, grass verges and vehicle crossovers within the extent works shall be replaced as per Waverley Council Public Domain Technical Manual.
- j) The stormwater management plan shall be consistent with the approved architectural drawings.
- k) The underground basement shall be protected from possible inundation by surface water from the street.
- l) Pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits and inspection openings and their location shall be provided.

Notes:

- Since a sewer main runs through the property, plans must also be presented to a Sydney Water Tap in™ for their approval.
- The Applicant is advised to consider the finished levels of the public domain, including new or existing footpaths and pavement prior to setting the floor levels for the proposed development.
- Waverley Council standard drawings for public domain infrastructure assets are available upon request. Details that are relevant may be replicated in the Engineering design submissions however, Council's title block shall not be replicated.
- Prior to commencement of works a security deposit will be made payable to Council to ensure any additional damage or unauthorised works within the Council property, not conditioned above. Council will reserve the right to withhold the cost of restoring the damaged assets from the security deposit should the applicant fail to restore the defects to the satisfaction of Council.
- Council's contact for infrastructure assessment: E-mail: assets@waverley.nsw.gov.au or Phone: 9083 8886 (operational hours between 9.30am to 4pm Monday to Friday)

(AMENDED BY DA-325/2020/A)

23. ENGINEERING PLANS ASSESSMENT AND WORKS INSPECTION FEES

The applicant is to pay to Council fees for assessment of all engineering plans and inspection of the completed works in the public domain inclusive of all stormwater assessment, in accordance with Council's Schedule of Fees & Charges at the time of engineering plan approval, prior to such approval being granted by Council.

An invoice will be issued to the applicant for the amount payable, which will be calculated based on the design plans for the subject development.

ENERGY EFFICIENCY & SUSTAINABILITY

24. ENERGY ASSESSMENT REPORT

In accordance with Part B of the Waverley Development Control Plan 2012 (Amendment 6), any mixed use development with cost of works of more than \$3 million, must provide an Energy Assessment Report which recommends design solutions to reduce the predicated operational energy demand and greenhouse gas emissions of the proposed development by 30% less than a reference building (ie. NCC, Section J compliant only).

An updated 'Energy Assessment Report' with the updated specific design, material and equipment efficiencies will need to match that of the Mechanical/Electrical and architectural documentation and must be provided to the satisfaction of Council's Co-ordinator, Sustainable Precinct prior to the issue of the relevant construction certificate. Further design and verification of energy and GHG emissions performance should be provided to verify the performance of the building to be delivered.

The construction certificate plans are to incorporate the recommendations of the approved Energy Assessment Report. Any modifications required to respond to the approved Energy Assessment Report which are not consistent with the approved plans will require the submission of a Modification Application.

25. INSTALLATION OF AIR CONDITIONING

Any air conditioning unit(s) installed within the building shall:

- a) Not be adjacent to neighbouring bedroom windows.
- b) Not reduce the structural integrity of the building.
- c) Not emit noise that is audible within a habitable room in any other residential property (regardless of whether any door or window to that room is open):
 - (i) before 8.00am and after 10.00pm on any Saturday, Sunday or public holiday; or
 - (ii) before 7.00am and after 10.00pm on any other day.
- d) Not provide noise emissions that exceed 5dBA above the ambient background noise level measured at the property boundary at any other time outside of (e).
- e) Not be located on the roof of the development without the separate consent of Council.

26. BASIX

All requirements of the BASIX Certificate and NatHERS documentation are to be shown on the Construction Certificate plans and documentation.

WASTE

27. SITE WASTE AND RECYCLING MANAGEMENT PLAN

A *Site Waste and Recycling Management Plan (SWRMP) - Part 2* is to be submitted to the Principal Certifying Authority prior to the issue of the relevant Construction Certificate, which outlines materials to be reused and/or recycled as a result of demolition and construction works. At least one copy of the *SWRMP Part 2* is to be available on site at all times during construction. Copies of demolition and

construction waste dockets that verify the facility that received the material for recycling or disposal and the quantity of waste received, must be retained on site at all times during construction.

28. WASTE STORAGE AREAS

The development must have a bin storage area with sufficient space to accommodate the following minimum number of bins for the residential and/or commercial components of the development;

6 units (2x 1 bedroom and 4x three bedroom)

- 3 x 240L Mobile Garbage Bins (MGBs) for general waste collected weekly
- 3 x 240L MGBs for paper and cardboard recycling collected fortnightly
- 3 x 240L MGBs for container recycling collected fortnightly
- 1 x 240L MGB for garden organics, should this type of waste be generated at the premises

A minimum of 4m² is also required for the on-site storage of bulky waste and problem waste awaiting collection. This room must have a minimum doorway width of 1.5m to allow for easy movement of large waste items in and out of the room

All waste and recycling storage rooms must be built to meet all appropriate design requirements set in Part B1 of the *Waverley Council Development Control Plan 2012* to the satisfaction of the Principal Certifying Authority.

LANDSCAPING & TREES

29. GREEN ROOF LANDSCAPING DETAILS

The construction certificate landscape plans are to comply with the controls for green roofs in Part B3.1 of the *Waverley Development Control Plan 2012* including;

- (a) Comprise plants that are suitable for the site in relation to the environmental conditions (sun, wind and views) and include indigenous or local native plants to Waverley (see Annexure B2 – 1).
- (b) Have a minimum soil depth of 300mm and use lightweight soil mixes that are porous, able to drain freely, and suitable for the selected plant species
- (c) The green roof is to be designed to be a non-trafficable area (with no balustrades) and must be irrigated without requiring frequent maintenance access. Any access to the roof is to be for servicing purposes only.

A qualified landscape architect must review the design and verify that it complies with the above requirements.

C. COMPLIANCE PRIOR TO AND DURING CONSTRUCTION

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies the approval of Council or a Council Officer is required.

PRIOR TO ANY WORKS

30. CONSTRUCTION SIGNS

Prior to commencement of any works on the site and during construction a sign shall be erected on the main frontage of the site detailing the name, address and contact details (including a telephone number) of the Principal Certifying Authority and principal contractor (the coordinator of the building works). The sign shall be clearly legible from the adjoining street/public areas and maintained throughout the building works.

31. DILAPIDATION REPORT

A Dilapidation report is to be prepared for any adjoining or nearby property that may be subject to potential damage as a result of any works being undertaken. The dilapidation report is to be made available to affected property owners on request.

Note: Any damage that may be caused is a civil matter. This consent does not allow or authorise any party to cause damage, trespass, or any other unlawful act and Council will not be held responsible for any damage that may be caused to adjoining buildings as a consequence of the development being carried out. Council will not become directly involved in disputes between the builder, owner, developer, its contractors and the owners of neighbouring buildings.

DEMOLITION

32. DEMOLITION – ASBESTOS AND HAZARDOUS MATERIALS

The demolition, removal, storage, handling and disposal of products and materials containing asbestos must be carried out in accordance with the relevant requirements of SafeWork NSW and the NSW Environment Protection Authority (EPA), including:

- Work Health and Safety Act 2011;
- Work Health and Safety Regulation 2017;
- SafeWork NSW Code of Practice for the Safe Removal of Asbestos;
- Australian Standard 2601 (2001) – Demolition of Structures;
- The Protection of the Environment Operations Act 1997;

At least 5 days prior to the demolition, renovation work or alterations and additions to any building, the person acting on the consent shall submit a Work Plan to the Principal Certifying Authority in accordance with Australian Standard AS 2601-2001, Demolition of Structure and a Hazardous Materials Assessment prepared by a person with suitable expertise and experience. The Work Plan and Hazardous Materials Assessment shall:

- (a) Outline the identification of any hazardous materials, including surfaces coated with lead paint;
- (b) Confirm that no asbestos products are present on the subject land; or
- (c) Particularise a method of safely disposing of the asbestos in accordance with the Code of Practice on how to safely remove asbestos published by SafeWork NSW (catalogue WC03561)
- (d) Describe the method of demolition;
- (e) Describe the precautions to be employed to minimise any dust nuisance; and
- (f) Describe the disposal methods for hazardous materials.

33. CONTROL OF DUST ON CONSTRUCTION SITES

The following requirements apply to demolition and construction works on site:

- (a) Hazardous dust is not to be allowed to escape from the site. The use of fine mesh dust proof screens or other measures are recommended. Any existing accumulations of dust (e.g.: ceiling voids and wall cavities) must be removed by the use of an industrial vacuum fitted with a high efficiency particle air (HEPA) filter. All dusty surfaces and dust created from work are to be suppressed by a fine water spray. Water must not be allowed to enter the street and stormwater systems. Demolition is not to be performed during adverse winds, which may cause dust to spread beyond the site boundaries.
- (b) All contractors and employees directly involved in the removal of hazardous dusts and substances are to wear protective equipment conforming to Australian Standard AS1716 Respiratory Protective Devices.

34. CLASSIFICATION OF WASTE/ DISPOSAL OF EXCAVATED SOILS

Prior to the exportation of waste (including fill or soil) from the site the material must be classified in accordance with the provisions of the Protection of the Environment Operations Act, 1997 and the NSW EPA Waste classification guidelines 2014.

35. EXCAVATION AND BACKFILLING

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with the appropriate professional standards and must be properly guarded and protected to prevent them from being dangerous to life or property.

If an excavation associated with the erection or demolition of a building extends below the level of the footings of a building on an adjoining allotment of land. The excavation is to be managed by a practising structural engineer.

CONSTRUCTION MATTERS

36. CONSTRUCTION HOURS

Demolition and building work must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays and 8am to 3pm on Saturdays with no work to be carried out on:

- (a) Sundays and public holidays;
- (b) Excavation works involving the use of heavy earth movement equipment including rock breakers and the like must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays with no such work to be carried out on Saturday, Sunday or a public holiday.

Noise from construction activities shall comply with the Protection of the Environmental Operations (Noise Control) Regulation 2017.

37. STOCKPILES, STORAGE OF MATERIALS AND LOCATION OF BUILDING OPERATIONS

All building materials and any other items associated with the development are to be stored within the property. No materials are to be stored on Council's footpath, nature strip, or road reserve without prior Council approval.

38. CONSTRUCTION INSPECTIONS

The building works are to be inspected during construction by the Principal Certifying Authority (PCA) in accordance with the Building Legislation Amendment (Quality of Construction) Act 2002 and 162A Critical stage inspections for building work of the Environmental Planning and Assessment Regulation 2000.

39. CERTIFICATE OF SURVEY - LEVELS

All construction works are to be in accordance with the Reduced Levels (RLs) as shown on the approved plans. Certification from a Registered Surveyor certifying ground, upper floor/s and finished ridge levels is to be submitted to the Principal Certifying Authority during construction and prior to continuing to a higher level of the building.

40. CERTIFICATE OF SURVEY - BOUNDARIES AND LOCATION OF BUILDING

A Certificate of Survey prepared by a Registered Surveyor setting out the boundaries of the site and the location of the building on the site is to be submitted to the Principal Certifying Authority to certify the building is located in accordance with the development consent plans. The Certificate is to be submitted prior to the construction of the external walls above the ground floor level of the building.

41. CONSTRUCTION OF SWIMMING POOLS AND OUTDOOR SPAS

The following applies to the construction of swimming pools and outdoor spas:

- (a) Reinforcement of the outdoor spa is to be inspected by an Accredited Officer or other suitably qualified person prior to the pouring of concrete
- (b) The electrical wiring system for any proposed underwater artificial lighting installation to the pool/spa is to be installed in accordance with the requirements of Australian Standard 3000, Part 1 - Wiring Rules
- (c) The outdoor spa water is to be treated by an approved water treatment and filtration unit
- (d) To prevent noise nuisance to surrounding properties, the swimming pool/outdoor spa filtration motor and pump unit is to be housed within a ventilated soundproof enclosure
- (e) Waste waters from the outdoor spa are to be discharged into Sydney Water's sewerage system and in this regard, approved plans MUST be submitted to Sydney Water at least 14 days prior to commencement of building operations.

TREE PROTECTION AND REMOVAL

42. TREES TO BE REMOVED

The following trees are permitted to be removed as a part of this development application;

Tree No.	Species	Location
T 1	<i>Acokanthera oblongifolia</i>	On-site
T 2	<i>Syagrus romanzoffiana</i>	On-site
T 3	<i>Metrosideros excelsa</i>	On-site
T 4	<i>Syagrus romanzoffiana</i>	On-site
T 6	<i>Ficus elastica</i>	On-site
T 14	<i>Dead Tree</i>	On-site
T 15	<i>Liquidambar styraciflua</i>	On-site

T 17	<i>Persea americana</i>	On-site
T 18	<i>Podocarpus elatus</i>	On-site

No other trees other than those specified above are permitted to be removed as a part of this development application.

43. TREE PROTECTION

All trees on site and adjoining properties, including street trees are to be retained and protected in accordance with AS4970-2009 'Protection of Trees on Construction Sites' and to be certified by an Arborist with AQF level 5 qualification or above, unless approved to be removed in this development consent.

Precautions shall be taken when working near trees to ensure their retention, including the following:

- (a) Do not store harmful or bulk materials or spoil under or near trees;
- (b) Prevent damage to bark and root system;
- (c) Do not use mechanical methods to excavate within root zones;
- (d) Do not add or remove topsoil from under the drip line;
- (e) Do not compact ground under the drip line;
- (f) Do not mix or dispose of liquids within the drip line of the tree; and
- (g) All trees marked for retention must have a protective fence/guard placed around a nominated perimeter.

Trunk protection as per AS 4970 – 2009, Section 4.5.3 is to be installed.

Padding to be used shall be non-absorbing or free draining to prevent moisture build up around the part being protected. The trunk protection shall consist of a layer of carpet underfelt (or similar) wrapped around the trunk, followed by 1.8 metre lengths of softwood timbers (90 x 45mm in section) aligned vertically and spaced evenly around the trunk at 150mm centres (i.e. with a 50mm gap) and secured together with 2mm galvanised wire or galvanised hoop strap. The timbers shall be wrapped around the trunk (over the carpet underfelt), but not fixed to the tree to avoid mechanical injury or damage to the trunk. Trunk protection must be installed prior to any site works including demolition and maintained in good condition for the duration of the construction period.

TPZ – A 1.8m chain link wire fence or the like shall be erected around the above trees to be retained to protect them from damage during construction. Fencing is not to be removed until all building work has been completed. Fencing to be installed to the dimensions outlined in the table above.

Soil levels are not to be changed around any trees.

To prevent compaction within the root zone, excavation undertaken within the specified radius of the trunks of the following trees must be hand dug. Beyond this radius, mechanical excavation is permitted, when root pruning by hand along the perimeter line of such works is completed. Any hand excavation must be carried out in the presence of experienced Arborist/Horticulturist (with a minimum of the Horticulture Certificate or Tree Surgery Certificate).

If any tree roots are exposed during any approved works then roots smaller than 30mm are to be pruned as per the specifications below. Any roots greater than 30mm are to be assessed by a qualified arborist before any pruning is undertaken.

If tree roots are required to be removed for the purposes of constructing the approved works they shall be cut cleanly by hand, by an experienced Arborist/Horticulturist (with a minimum of the Horticulture Certificate or Tree Surgery Certificate).

It is the arborist's responsibility to determine if such root pruning is suitable. If there are any concerns regarding this process then Waverley Council's Tree Management Officer is to be contacted to make final determination.

VEHICLE ACCESS & PUBLIC DOMAIN WORKS

44. NEW VEHICLE CROSSING

A new 3.0 metre wide vehicle crossing is to be provided to access the proposed basement car park. A separate application is required for the vehicle crossing, with all work to be carried out with the approval of and in accordance with the requirements of Council.

Note: Prior to the submission of the vehicle crossing application, works as executed drawings shall be submitted to Council for the approval of the Executive Manager Creating Waverley confirming the finished levels of the internal driveway between the property boundary and the garage floor comply with the approved driveway long sections.

(AMENDED BY DA-325/2020/A)

45. VEHICULAR ACCESS - FINISHED LEVEL

The finished level at the property boundary on **both** sides of the vehicle crossing is to match or be **50mm above** the level of the existing concrete footpath

(AMENDED BY DA-325/2020/A)

46. ELECTRIC VEHICLE CHARGING STATION

An electric vehicle charging station shall be located where it can be accessed by all vehicles.

47. PRE-CONSTRUCTION DILAPIDATION REPORT

To ensure Council's infrastructure is adequately protected a pre-construction dilapidation report on the existing public infrastructure within the vicinity of the proposed development and along the travel routes of all construction vehicles, up to 100m either side of the development site, is to be submitted to Council. The report shall detail, but not be limited to, the location, description and photographic record (in colour) of any observable defects to the following infrastructure where applicable:

- Road pavement
- Kerb and gutter
- Footpath
- Drainage pits and lintels
- Traffic signs
- Any other relevant infrastructure

The report is to be dated, submitted to, and accepted by Council's Public Domain Engineer, prior to any work commencing on the site. All fees and charges associated with the collation of this report shall be at the cost of the Applicant.

48. PUBLIC DOMAIN ENGINEERING INSPECTIONS

To ensure all public infrastructure engineering works required by Council under this consent will be constructed to Council satisfaction, inspection(s) will be required and compliance certificates must be obtained from Council's Public Domain Engineer for the road pavement, kerb and gutter, stormwater, footpath paving, street furniture, street trees and landscape hold points.

All applicable engineering inspection fees in accordance with Council's Management Plan are to be fully paid prior to issue of Construction Certificate for the works. A minimum 48 hours' notice will be required when booking for the site inspections.

D. COMPLIANCE PRIOR TO OCCUPATION OR DURING OCCUPATION

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies the approval of Council or a Council Officer is required, prior to the issue of an Occupation Certificate or Subdivision Certificate, whichever applies.

CERTIFICATES, LICENCES, EASEMENTS AND RESTRICTIONS

49. FINAL OCCUPATION CERTIFICATE

Prior to occupation or use of the development, the Principal Certifying Authority must issue an Occupation Certificate. The Principal Certifying Authority must be satisfied that the requirements of the Environmental Planning & Assessment Act, 1979 have been satisfied including all critical stage inspections. Documentary evidence of all required inspections is to be submitted to Council.

50. SUBDIVISION CERTIFICATE

A Subdivision Certificate must be obtained from Council in accordance with of the Environmental Planning and Assessment Act, 1979 prior to the registration of the subdivision plans.

51. CERTIFICATION OF BASIX COMMITMENTS

The Principal Certifying Authority shall certify that the all the undertakings in the approved BASIX certificate have been completed.

52. CERTIFICATION OF APPROVED DESIGN

In accordance with the Environmental Planning and Assessment Regulations 2000, the Principal Certifying Authority must not issue an occupation certificate, to authorise a person to commence occupation or use of the development unless it has received a design verification statement from an architect who is registered in accordance with the Architects Act 2003 (i.e. qualified designer) that verifies that the building achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles.

53. CERTIFICATION OF LANDSCAPING

At the completion of all works a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboriculture Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established. If relevant, the waterproofing on any green roof is to be tested and evidence of the test is to be provided with the certification.

54. CERTIFICATION OF SWIMMING POOL/OUTDOOR SPA

Prior to the pool being used, the following must be provided;

- (a) Certification that the pool has been constructed in accordance with the consulting engineers design
- (b) Evidence that the swimming pool/outdoor spa have been registered on the State Government Swimming Pool Register (<http://www.swimmingpoolregister.gov.au>)
- (c) A sign outlining details of resuscitation techniques for adults, children and infants has been placed in a prominent position, close to the pool/outdoor spa. Signs are available from Council
- (d) A copy of the occupation certificate must be submitted to Council

Note: Swimming/spa pool pumps are restricted from use between 8pm to 7am weekdays and Saturdays, 8pm to 8am on Sundays and public holidays in accordance with the requirements of the Protection of the Environment Operations (Noise Control) Regulation 2017.

55. CERTIFICATION OF STORMWATER SYSTEM

Prior to issue of an occupation certificate, certification is to be provided from a suitably qualified Hydraulics Engineer, that the stormwater system has been constructed in accordance with the approved stormwater management plans and to best engineering practice.

56. WORKS-AS-EXECUTED DRAWINGS – STORMWATER DRAINAGE

- a) A Works-As-Executed drawing (WAED) of the stormwater drainage system must be prepared by a Registered Surveyor. This drawing must detail the alignment of all pipelines, pits, the detention facilities and other drainage related infrastructure. An original or a colour copy must be submitted to Waverley Council. Where changes have occurred, the Council approved plans shall be marked-up in red ink and shall include levels and location for the drainage structures and works.
- b) A suitably qualified and practising Engineer must provide certification the WAED of the stormwater drainage system that the stormwater drainage works were constructed to their satisfaction and in accordance with the Development Consent, Water Management Technical Manual, all applicable Codes, Policies, Plans, Standards and good engineering practice.

(AMENDED BY DA-325/2020/A)

57. ON-SITE STORMWATER DETENTION CERTIFICATION

The submission of certification by a suitably qualified and practising Engineer for the on-site stormwater detention system, attesting the storage volume, discharge rate and satisfactory operation of the system prior to the release of any Occupation Certificate.

58. CREATION OF POSITIVE COVENANT/RESTRICTION FOR OSD

A Positive Covenant and Restriction on the Use of Land shall be created for the On-Site Stormwater Detention (OSD) system, under Section 88E of the Conveyancing Act 1919. This is to place a restriction on the title that the OSD system is maintained and kept free of debris/weed to allow unobstructed passage of stormwater through the site and underneath the residence. The property owner/occupant shall not modify or remove the OSD system without consent from Council.

The wording of the Instrument shall be submitted to and approved by Council's Public Domain Engineer prior to lodgement at NSW Land Registry Services. The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by the consent authority prior to the issue of an Occupation Certificate/use of the building. All associated costs shall be borne by the applicant.

59. PLANNED PREVENTATIVE MAINTENANCE SCHEDULE FOR ANY PUMP OUT SYSTEM

The registered proprietor shall be required to submit written intent to establish and maintain a Planned Preventative Maintenance (PPM) schedule pump out system prior to the issue of Occupation Certificate. Council will not be liable for any claims for damages arising from the failure of the pump out system. Evidence shall be submitted to the Executive Manager, Infrastructure Services or delegate prior to the issue of the Occupation Certificate.

(AMENDED BY DA-325/2020/A)

60. CERTIFICATION OF PUBLIC INFRASTRUCTURE WORKS

Prior to the issue of any Occupation Certificate, a final Compliance Certificate shall be obtained from Council confirming that all works in the road reserve including all public domain infrastructure works and restoration, have been completed to Council's satisfaction.

61. SUPERVISING ENGINEER FINAL CERTIFICATE – PUBLIC DOMIAN

Prior to the issue of any Occupation Certificate for the works, the Applicant shall submit to Council, a Final Certificate from the Supervising Engineer confirming that the public domain works have been constructed in accordance with the Council approved plans and Waverley Council standards and specifications. The certificate shall include commentary to support any variations from the approved drawings.

62. WORK-AS-EXECUTED PLAN – PUBLIC DOMIAN

To ensure public infrastructure works required under the consent are completed in accordance with approved plans and specifications, a Work-as-Executed plan of the works, prepared by a registered surveyor is to be submitted to the Principal certifying Authority and Council for review with any required rectification works completed and approved by Council prior to issue of any Occupation Certificate.

The W.A.E plans are to note all departures clearly in red on a copy of the approved Construction Certificate plans and certification from an experienced chartered civil engineer shall be submitted to support all variations from approved plans.

63. PLAN OF MANAGEMENT - WASTE AND RECYCLING STORAGE

A Waste Management Plan must be submitted to **Council's Executive Manager, Environmental Sustainability (or delegate)** and include including the following where relevant;

- (a) All arrangements including relevant and current contracts for recyclables and all other waste (collection and disposal)
- (b) The waste storage area and bins must be cleaned and maintained regularly with appropriate lighting.
- (c) Confer with Sydney Water regarding whether a Trade Waste Agreement is required. A copy of the agreement shall be forwarded to Council if one is entered into with Sydney Water.
- (d) The role and responsibility of managing composting facilities (if provided);
- (e) Clear signage identifying the different bin types, space for reusable items such as crates and pallets, bulky household waste and problem waste must be displayed.
- (f) The recycling bins must be placed alongside the general waste bins for ease of access and to encourage recycling habits.
- (g) Responsibilities for transporting bins from the storage points to the nominated collection area, cleaning of bins, cleaning of storage areas and booking and transporting bulky waste for Council pick up must be outlined in contracts with the building manager, cleaners and tenants.
- (h) All waste and recycling bins must only be placed out on Council footpath for collection no earlier than 5:30 p.m. on the day prior to the designated waste collection day and retrieved from the kerbside as early as possible.
- (i) The occupant/body corporate shall be provided with at least one copy of the Waste Management Plan. An additional copy of the plan is be available on site when requested.
- (j) At no times shall bins be stored on the public domain (e.g. footpaths).

VEHICLE ACCESS AND PARKING

64. CAR PARKING

A total of **10** car vehicle parking spaces are to be provided within the development, allocated in the following manner:

- (a) 8 residential parking spaces
- (b) 2 residential visitor parking spaces
- (c) At least 10% of all the car parking spaces are to be allocated as accessible parking spaces and be shared amongst the residential, visitor and commercial spaces where applicable.

Accessible parking spaces are to be designed in accordance with Australian Standard AS2890.6 - 2009 Off Street Parking for People with Disabilities.

Car parking spaces are to be allocated with the rates specified in the DCP, with no more than 2 spaces allocated to any residential unit/dwelling with 3 or more bedrooms. All car spaces and to be appropriately signposted and parked.

Car parking spaces shall not be independent lots, but rather part lots attached to units in any future Subdivision Plans.

65. BICYCLE PARKING

The bicycle spaces are to be designed in accordance with Australian Standard AS2890.3 - 2015 Parking Facilities - Bicycle Parking.

The bicycle spaces are to be provided by way of a secure lockable area, individual lockers or suitable bicycle racks and are to be located within the ground floor foyer or adjacent within any forecourt or within the basement car parking area. Signage and line-marking (way finding) is to be provided to guide visitors to the allocated bicycle parking spaces to ensure a safe path of travel to the bicycle spaces (separate to cars). Details of this are to be submitted to Council for the approval of the Executive Manager, Infrastructure Services, or delegate.

66. ALLOCATION OF STREET NUMBER

The redevelopment of the property has led to the following allocation of primary and sub-premises numbering for a strata subdivision with multiple street frontages:

- No. 12 - primary address site number
- Burge Street - primary address location.

The primary premises number for the property shall be a minimum of 75mm high and shall be positioned 600mm-1500mm above ground level, located near the entry point and be clearly visible on the site boundary that fronts Burge Street.

As the redevelopment has multi-level sub-addressing the following sub-addressing will apply;

- All sub premises numbers must be unique,
- The floor/level number will represent the first number of the sub address and the last two digits in the sub address shall be unique on each level,
- For clarity, a zero will be interposed in the number of the first nine sub address levels ie Level 2 unit 6 =206,
- Level at ground and below ground shall also be identified by prefixes to distinguish these levels ie Ground =G, Lower Ground = LG Etc

The address number for a sub-address site shall not consist of the primary address number on its own.

Sub-address numbers shall be applied in a logical sequence and within a primary address site shall be unique regardless of the type of the address.

The primary and sub-address numbers are to be positioned on the site prior to the issue of the Occupation/Subdivision Certificate.

Any variation to the above premises numbering requires a new application for a Change of street number and/or location to be lodged with Council.

E. OPERATIONAL MATTERS

67. ONGOING MAINTENANCE – STORMWATER TREATMENT SYSTEM

The stormwater treatment system must be maintained in accordance with the manufacturer's or designer's specification for the life of the development. Council will need to be provided with a Maintenance Schedule that supports the routine maintenance activities.

68. VEHICLE ACCESS

All vehicles including service vehicles entering and exiting the building are to do so in a forward direction.

Any vehicle utilising a car, motorcycle or bicycle space is to be parked fully within the confines of the site and is not to park over the public footway at any time.

69. ON SITE GARBAGE COLLECTION

The collection of residential and commercial waste and recycling is to be undertaken on the site. No bins are to be stored or left on the street for collection.

70. WASTE MANAGEMENT PLAN REVIEW

After 5 years of operation under this development consent, the Approved Waste Management Plan is to be reviewed to ensure that the details including contracts, roles and responsibilities, commercial tenants (if relevant) are current. The updated plan is to supersede the previous plan.

71. ADJUSTMENTS TO STREET SIGNS

Any street signs required to be removed as a result of the works shall be relocated at the applicant and/or owner's expense in accordance with Council's requirements.

ADVISORY MATTERS

The following advisory matters are provided as additional information to ensure compliance with the relevant legislation and requirements. You must also check other Commonwealth and NSW Acts and Regulations which may apply to the works or use approved in this application.

AD1. POST CONSENT CONDITIONS REQUIRING COUNCIL INPUT

Various conditions require further input, review or approval by Council in order to be satisfied following the determination of the application (that is, post consent). In those instances, please adhere to the following process to avoid delays:

- Please read your conditions carefully.
- Information to be submitted to Council should be either via email to info@waverley.nsw.gov.au, in person (at Council's Customer Service Centre) or via post service.
- Attention the documentation to the relevant officer/position of Council (where known/specified in condition)
- Include DA reference number
- Include condition number/s seeking to be addressed
- Where multiple conditions need Council input, please try to group the documentation / email/s into relevant subjects (multiple emails for various officers may be necessary, for example).

- Information to be submitted in digital format – refer to ‘Electronic lodgement guidelines’ on Council’s website. Failure to adhere to Council’s naming convention may result in documentation being rejected.
- Where files are too large for email, the digital files should be sent to Council via CD/USB. Council does not support third party online platforms (data in the cloud) for receipt of information.
- Please note in some circumstances, additional fees and/or additional documents (hard copy) may be required.
- Council’s standard for review (from date the relevant officer receives documentation) is 14days. Times may vary or be delayed if information is not received in this required manner.
- Any queries, please contact Council’s Duty Planner on duty.planner@waverley.nsw.gov.au

AD2. SYDNEY WATER REQUIREMENTS

You are required to submit your plans to the appropriate Sydney Water office to determine whether the development will affect Sydney Water’s sewer and water mains, stormwater drains and/or easements.

If you are increasing the density of the site, a Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained. The application must be made through an authorised Water Servicing Coordinator, for details see the Sydney Water website.

Following application a "Notice of Requirements" will be forwarded detailing water and sewer extensions to be built and charges to be paid. Please make early contact **with the Coordinator**, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

AD3. DIAL BEFORE YOU DIG

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual’s responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

AD4. TELECOMMUNICATIONS ACT 1997 (COMMONWEALTH)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra’s network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra’s infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra’s assets in any way, you are required to contact: Telstra’s Network Integrity Team on Phone Number 1800810443.

AD5. EXCAVATION TO BE LIMITED

Excavation shall be limited to that shown in the approved plans. Any further excavation will require Council approval.

AD6. BONDİ - ROSE BAY SAND BODY

This site may be located within the Bondi - Rose Bay Sand Body as identified in Council's Aboriginal Cultural Heritage Study 2009. Should an object of potential Aboriginal or archaeological significance be discovered during the demolition, excavation or construction period associated with this development, works are to immediately cease and the NSW National Parks and Wildlife Service must be contacted.

Waverley Council must be notified of any referral to the NSW National Parks and Wildlife Service and be provided with a copy of any subsequent response.

AD7. TREE REMOVAL/PRESERVATION

Any trees not identified for removal in this application have not been assessed and separate approval may be required. Any pruning of trees on adjoining properties required for the erection of scaffolding and/or the construction of the building may also require approval.

AD8. WORK OUTSIDE PROPERTY BOUNDARY

This consent does not authorise any work outside the property boundary.

AD9. SYDNEY WATER CERTIFICATE

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained. **Application must be made through an authorised Water Servicing Coordinator, for details see the Sydney Water website.**

Following application a "Notice of Requirements" will be forwarded detailing water and sewer extensions to be built and charges to be paid. Please make early contact **with the Coordinator**, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

AD10. STRATA SUBDIVISION

This consent includes approval for strata subdivision of the development. In respect to the allocation of car parking and storage spaces, those spaces are not permitted to be subdivided as individual allotments and are to be part lots allocated to individual residential allotments or identified as common property as shown on the approved plans. Parts allotments are to be generally allocated in accordance with the parking and storage requirements of Waverley Development Control Plan 2012. No exclusive use of common property shall occur without the prior consent of Council.

AD11. PUBLIC UTILITIES AND SERVICE ALTERATIONS

Any utility services and all public infrastructure which require alteration due to works associated with the development, both internally and externally of the development boundary, shall be altered at the Applicant's expense. This includes both temporary and permanent alterations. Upon notifying Council, the Applicant must comply with the requirements (including financial costs) of the relevant utility service provider (e.g. Ausgrid, Sydney Water, Telstra, RMS or similar) in relation to any connections, repairs, relocations, replacements and/or adjustments to public infrastructure or services affected by the proposed works.

AD12. NOTICE OF INTENTION TO COMMENCE PUBLIC DOMAIN WORKS

Prior to commencement of the public domain works notice shall be submitted to Council's Public Domain Engineer. This notice shall include the name and insurance details of the Contractor who will be responsible for the construction works, and details of the managing site supervisor/engineer. The applicant is also responsible for obtaining all Road Activity Permits required for the works, from the respective authorities.

AD13. PUBLIC DOMAIN PRE-CONSTRUCTION MEETING

To ensure all public infrastructure works approved under this consent will be completed to Council's satisfaction and a program of required inspections is established, a preconstruction meeting shall be arranged with Council's engineering inspector/s prior to works commencing on site.

AD14. CERTIFICATION OF PUBLIC INFRASTRUCTURE WORKS

The refund of any damage and/or security deposits will be subject to satisfactory restoration and rectification of all civil infrastructure that have dilapidated as a result of the construction activities associated with this development consent.

To ensure satisfactory performance of the public domain works, a defects liability period of twelve (12) months shall apply to the works completed by the applicant/developer following completion of the development. The defects liability period shall commence from the date of issue of the Occupation Certificate for the development. The applicant shall be liable for any part of the work which fails to perform in a satisfactory manner as outlined in Council's standard specification, during the twelve (12) months' defects liability period.

Address	12 BURGE STREET
Site Area	784m²
Land Use	R3 Medium Density Residential

	CONTROL	PROPOSED
Building Height (m)	12.5m	11.1m to 15.4m
Setbacks	<p>Front – Consistent with the predominant line setback along the street</p> <p>Side – Up to 4.5m:0.9m; 4.5m up to 12.5m:1.5m; Above 12.5m: 1.5-2.5m</p> <p>Rear – Min.6m, no further to the rear than the predominant rear building line</p>	<p>Burge Street – Consistent with the predominant line setback along the street (8-10 Burge Street) – 4.6 to 5.7m</p> <p>Side (8-10 Burge Street) – 4m</p> <p>Side (1-7 Young Street) – 2.2m</p> <p>Rear – 7m to 7.6m AND no further to the rear than the predominant rear building line</p>
Car Parking	<p>1 Bed: 1 space/unit</p> <p>2 Bed: 1.2 spaces/unit</p> <p>3+Bed: 1.5 spaces/unit</p> <p>Visitor: 1 space/5 units</p>	<p>1 Bed: 0 (0 x 1)</p> <p>2 bed: 2.4 (2 x 1.2)</p> <p>3 bed: 6 (4 x 1.5)</p> <p>Visitor: 1.2 (6/5)</p> <p>Total: 10 Carspaces</p>
Motorcycle Parking	1 space/3 space (including visitor)	Total: 3 Motorbike spaces
Bicycle Parking	<p>1 space/unit</p> <p>Visitor: 1 space/10 units</p>	<p>Resident: 6 (6 x 1)</p> <p>Visitor: 1</p> <p>Total: 7 Bicycle spaces</p>
Landscaped Area	Min 30% of site area (235.2m ²)	235.0m ² = 30%
Deep Soil Landscaped Area	Min 50% of landscaped area (117.6m ²)	153.4m ² = 65%

	CONTROL	PROPOSED
4A.1 Solar Access	Min. 70% of apartments between 9am and 3pm to receive a minimum of 2 hrs direct sunlight	66.7% (4/6 Apartments)
	Max. 15% no solar access	0% (No apartments without solar access)
4B.3 Natural Cross Ventilation	At least 60%	100% (6/6 Apartments)
3D.1 Deep Soil	7% of site area	19.6% of site area

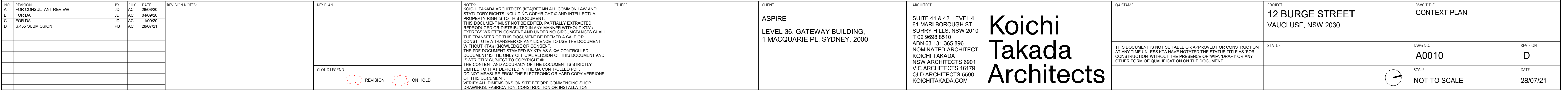
LOWER GROUND 02	154 m ²
LOWER GROUND 01	64 m ²
GROUND FLOOR	268m ²
LEVEL 01	179m ²
LEVEL 02	138m ²
TOTAL	802m ²
FSR	1.02:1

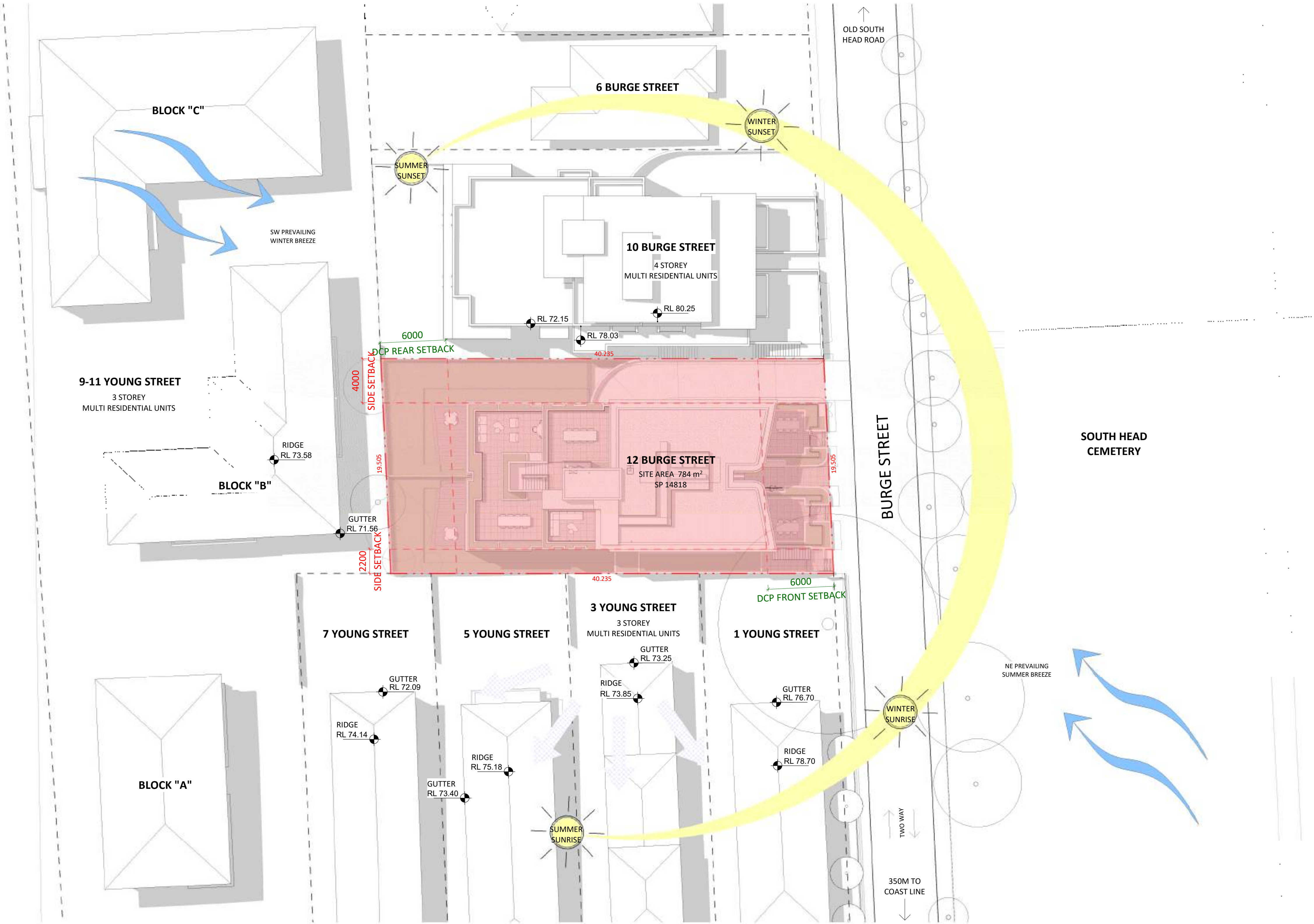
	1 BED	2 BED	3 BED
LOWER GROUND 02	0	2	0
LOWER GROUND 01	0	0	0
GROUND FLOOR	0	0	2
LEVEL 01	0	0	1
LEVEL 02	0	0	1
TOTAL	0	2 (33.3%)	4 (66.7%)





[illegible]



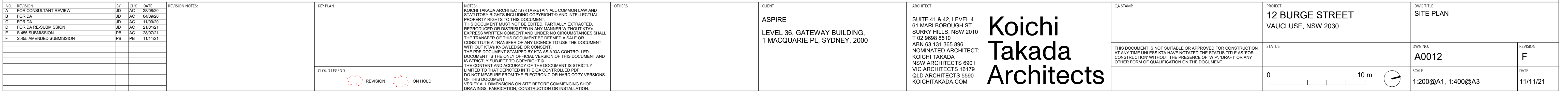
NO. REVISION		BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.	OTHERS	CLIENT ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	ARCHITECT SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 385 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	PROJECT 12 BURGE STREET VAUCLUSE, NSW 2030	DWG TITLE PERSPECTIVE		
A	FOR DA	JD	AC	04/09/20										
B	FOR DA	JD	AC	11/09/20										
C	S-455 SUBMISSION	PB	AC	28/07/21										
					<div>CLOUD LEGEND</div> <div><div></div> REVISION</div> <div><div></div> ON HOLD</div>					Koichi Takada Architects	STATUS THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS 'FOR CONSTRUCTION' WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.	DWG NO A0002	REVISION C	
													SCALE NOT TO SCALE	DATE 28/07/21





NO. REVISION				REVISION NOTES:				KEY PLAN				ARCHITECT				CLIENT				ARCHITECT				PROJECT				DWG TITLE																											
A FOR CONSULTANT REVIEW				JD AC 28/08/20				B FOR DA				JD AC 04/09/20				C FOR DA				JD AC 11/09/20				D FOR DA RE-SUBMISSION				JD AC 21/01/21				E S.455 SUBMISSION				PB AC 28/07/21				F S.455 AMENDED SUBMISSION				PB PB 11/11/21											
<p>MOCHI TAKADA ARCHITECTS (KIA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.</p> <p>THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KIA'S KNOWLEDGE OR CONSENT.</p> <p>THE PDF DOCUMENT STAMPED BY KIA AS A 'QA CONTROLLED' DOCUMENT IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.</p> <p>THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DESPECTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.</p> <p>VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.</p>								<p>OTHERS:</p>								<p>ASPIRE</p> <p>LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000</p>								<p>SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510</p> <p>ASBN 63 131 365 896</p> <p>NOMINATED ARCHITECT: KOICHI TAKADA</p> <p>NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM</p>								<p>12 BURGE STREET</p> <p>VAUCLUSE, NSW 2030</p>								<p>12 BURGE STREET</p> <p>VAUCLUSE, NSW 2030</p>								<p>SITE ANALYSIS PLAN</p>							
<p>CLOUD LEGEND</p> <p> REVISION</p> <p> ON HOLD</p>								<p>STATUS</p> <p>0  10m</p> <p></p>								<p>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION IF ANY OF THE UNLESS KIA HAVE NOTATED THE STATUS TITLE AS 'FOR CONSULTANT REVIEW', 'FOR DA', 'FOR DA RE-SUBMISSION', 'FOR DA SUBMISSION', 'FOR DA AMENDED SUBMISSION</p>																																							

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



AMENDED PLANS

RECEIVED
Waverley Council

Application No: DA-325/2020/A

Date Received: 25/11/2021

LEGEND

**EXISTING STRUCTURE TO
BE DEMOLISHED**





**EXISTING FENCE TO BE
DEMOLISHED**

**EXISTING TREES TO BE
RETAINED**

EXISTING TREES TO BE REMOVED

BASED ON SURVEY BY
PEAK SURVEYING
SERVICES PTY LTD
JOB NO. 19-1257

LEGEND

-  - TELSTRA PIT
-  - GAS METER
-  - WATER METER
-  - BOUNDARY TRAP

NOTES

(LIN) DENOTES LINTEL LEVEL

TOF DENOTES TOP OF FENCE

TOW DENOTES TOP OF WALL

TOR DENOTES TOP OF RAIL

BALC USS DENOTES BALCONY UNDER SIDE OF SLAB

LINTEL HEIGHTS SHOWN WHERE SIL INACCESSIBLE
FOR MEASUREMENT

SP 2077

No. 7
3 STOREY
BRICK UNIT BUILDING
(TILED ROOF)

SP 895

No. 5
3 STOREY
RENDERED BRICK UNIT BUILDING
(TILED ROOF)

SP 56917

No. 3
2 STOREY
RENDERED BRICK UNIT BUILDING
(METAL ROOF)

SP10929

No. 1
3 STOREY
BRICK UNIT BUILDING
(TILED ROOF)

STREET

BURGE

EXISTING CONCRETE
FOOTPATH AND
GARDEN TO BE
DEMOLISHED FOR
NEW VEHICLE ENTRY

[illegible]

REVISION NOTES

KEY PLAN

CLOUD LE

LEGEND

NOTES:
KONCHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT
THIS DOCUMENT MAY BE USED OR REPRODUCED PARTIALLY OR FULLY, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE CONTENTS OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENSE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.
THE PDF DOCUMENT STAMPED BY KTA AS A "A" CONTROLLED DOCUMENT IS THE ONLY VALID VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.
THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THE DESIGN INFORMATION CONTAINED IN THE PDF. IT DOES NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.

	OTHERS
--	--------

CLIENT

ASPIRE

LEVEL 36, GATEWAY BUILDING,
1 MACQUARIE PL, SYDNEY, 2000

ARCHITECT

SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
NOMINATED ARCHITECT
KOICHI TAKADA
NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHTAKADA.COM

Koichi
Takada
Architects

QA STAMP

THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION
AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS 'FOR
CONSTRUCTION' WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY
OTHER FORM OF QUALIFICATION ON THE DOCUMENT.

PROJECT
12 BURGE STREET
VAUCLUSE, NSW 2030

N	STATUS
---	--------

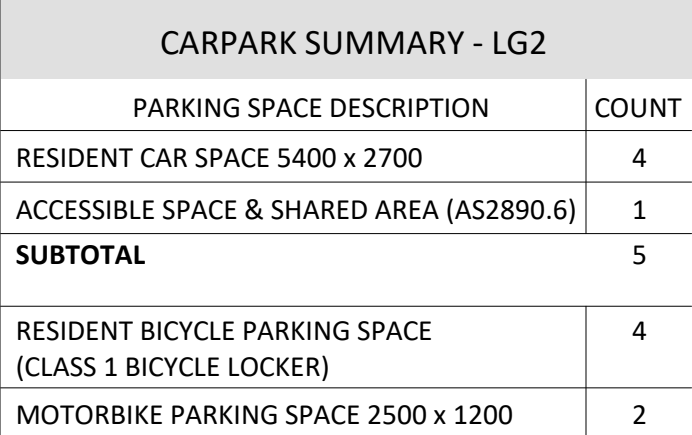
A horizontal number line is shown, starting at 0 on the left and ending at 5 m on the right. The line is divided into 5 equal segments by 4 vertical tick marks. The segments are currently empty.

DWG TITLE	DEMOLITION PLAN
-----------	-----------------

DWG NO.	A0013
---------	-------

SCALE
1:100@A1, 1:200@A3


RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021


[illegible]

REVISION NOTES:

KEY PLAN

CLOUD LEGEND

 REVISION

 ON HOLD

NOTES:
KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.
THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S WRITTEN PERMISSION. ANY UNAUTHORIZED REUSE OF THIS SHALL BE THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.
THE FOLLOWING DOCUMENT IS A PDF FILE WITH A QA CONTROLLED NUMBER. THIS IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.
THE CONTENT AND ACCURACY OF THIS DOCUMENT IS STRICTLY LIMITED TO WHAT IS DEPICTED TO THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.

	OTHERS

CLIENT

ASPIRE



LEVEL 36, GATEWAY BUILDING,
1 MACQUARIE PL, SYDNEY, 2000

ARCHITECT

SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 896
NOMINATED ARCHITECT:
KOICHI TAKADA
NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHI TAKADA.COM

Koichi
Takada
Architects

QA STAMP	
THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS "FOR CONSTRUCTION" WITHOUT THE PRESENCE OF "WIP", "DRAFT" OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.	

PROJECT	12 BURGE STREET VAUCLUSE, NSW 2030	
STATUS		
0	5 m	
		

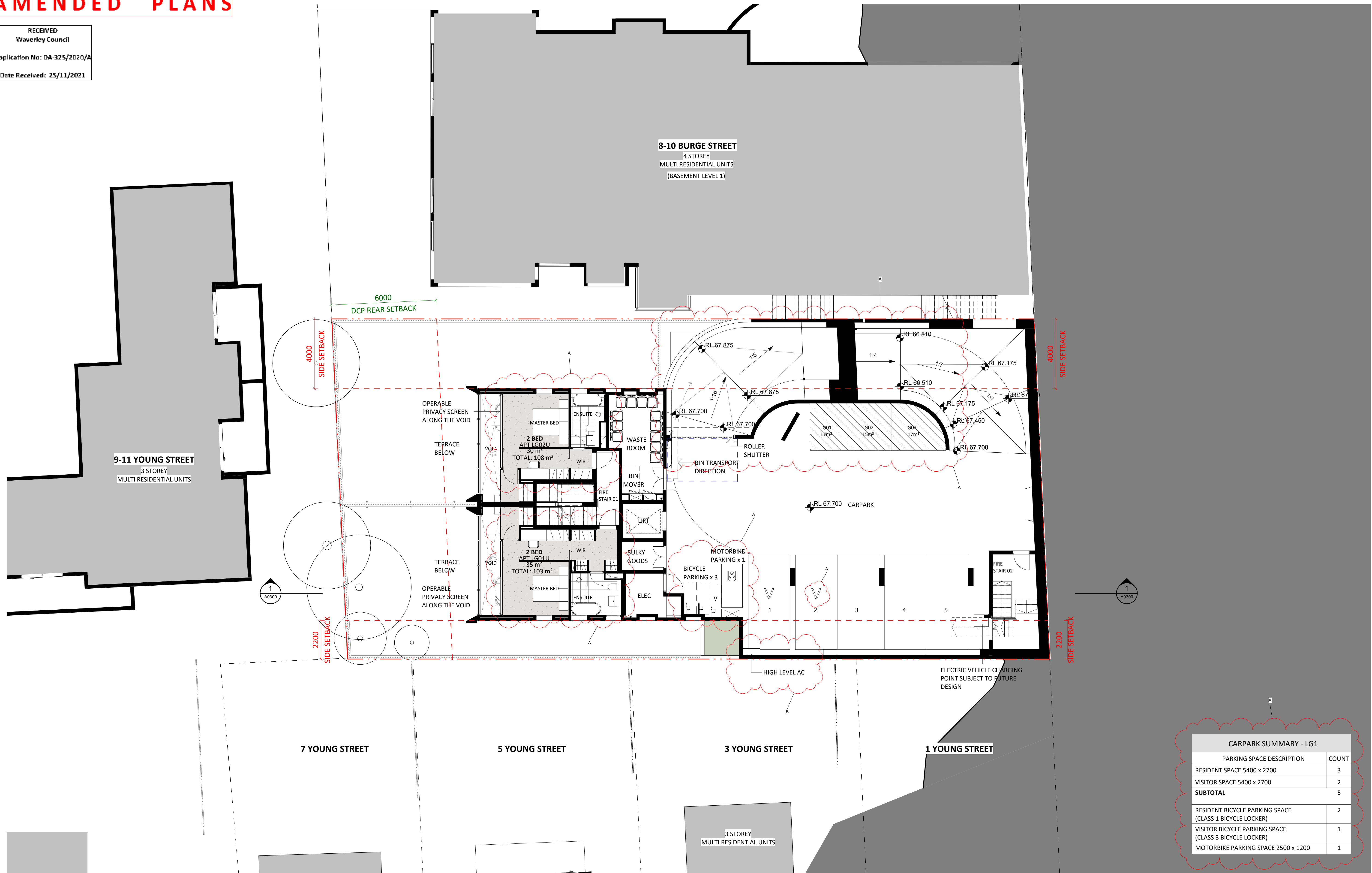
DWG TITLE	
LOWER GROUND 02 FLOOR PLAN	
DWG NO.	REVISION
A0098	G
SCALE	DATE
1:100@A1, 1:200@A3	11/11/21

AMENDED PLANS

Waverley Council

Application No: DA-325/2020/A

Date Received: 25/11/2021





CARPARK SUMMARY - LG1	
PARKING SPACE DESCRIPTION	COUNT
RESIDENT SPACE 5400 x 2700	3
VISITOR SPACE 5400 x 2700	2
SUBTOTAL	5
RESIDENT BICYCLE PARKING SPACE (CLASS 1 BICYCLE LOCKER)	2
VISITOR BICYCLE PARKING SPACE (CLASS 3 BICYCLE LOCKER)	1
MOTORBIKE PARKING SPACE 2500 x 1200	1

[illegible][illegible]

KEY PLAN

CLOUD LEGEND

 REVISION  ON HOLD

NOTES:
KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.
THIS DOCUMENT IS PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.
THE PDF DOCUMENT STAMPED BY KTA AS A QA CONTROLLED DOCUMENT IS THE ONLY VALID VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.
THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THE INFORMATION PROVIDED AND IT IS NOT GUARANTEED TO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWING, FABRICATION, CONSTRUCTION OR INSTALLATION.

OTHERS

CLIENT

ASPIRE


LEVEL 36, GATEWAY BUILDING,
1 MACQUARIE PL, SYDNEY, 2000

ARCHITECT

SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURREY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 365 596
NOMINATED ARCHITECT:
KOICHI TAKADA
NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHI TAKADA.COM

Koichi
Takada
Architects

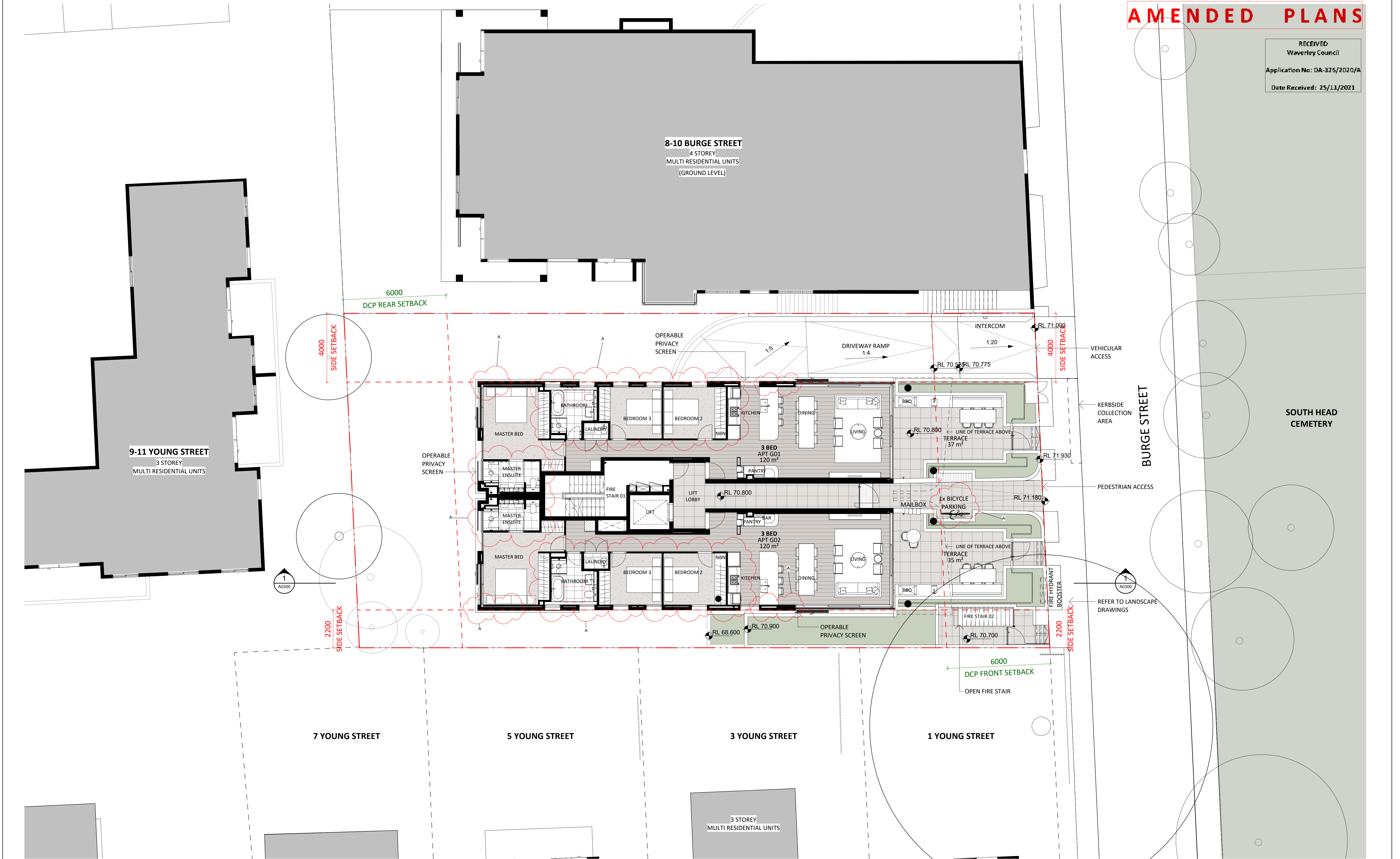
QA STAMP	
THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KIA HAVE NOTATED THE STATUS TITLE AS 'FOR CONSTRUCTION WITHOUT THE PRESENCE OF WIP', DRAFT OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.	

PROJECT	
12 BURGE STREET	
VAUCLUSE, NSW 2030	
STATUS	
0	5 m
	

DWG TITLE	
LOWER GROUND 01 FLOOR PLAN	
DWG NO.	REVISION
A0099	G
SCALE	DATE
1:100@A1, 1:200@A3	11/11/21

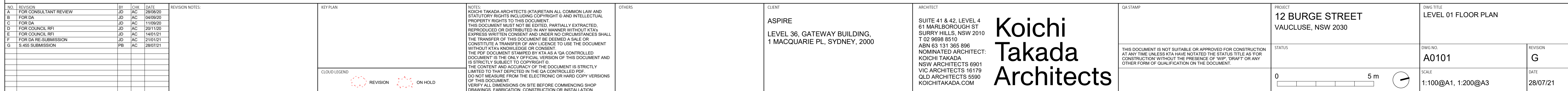
AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



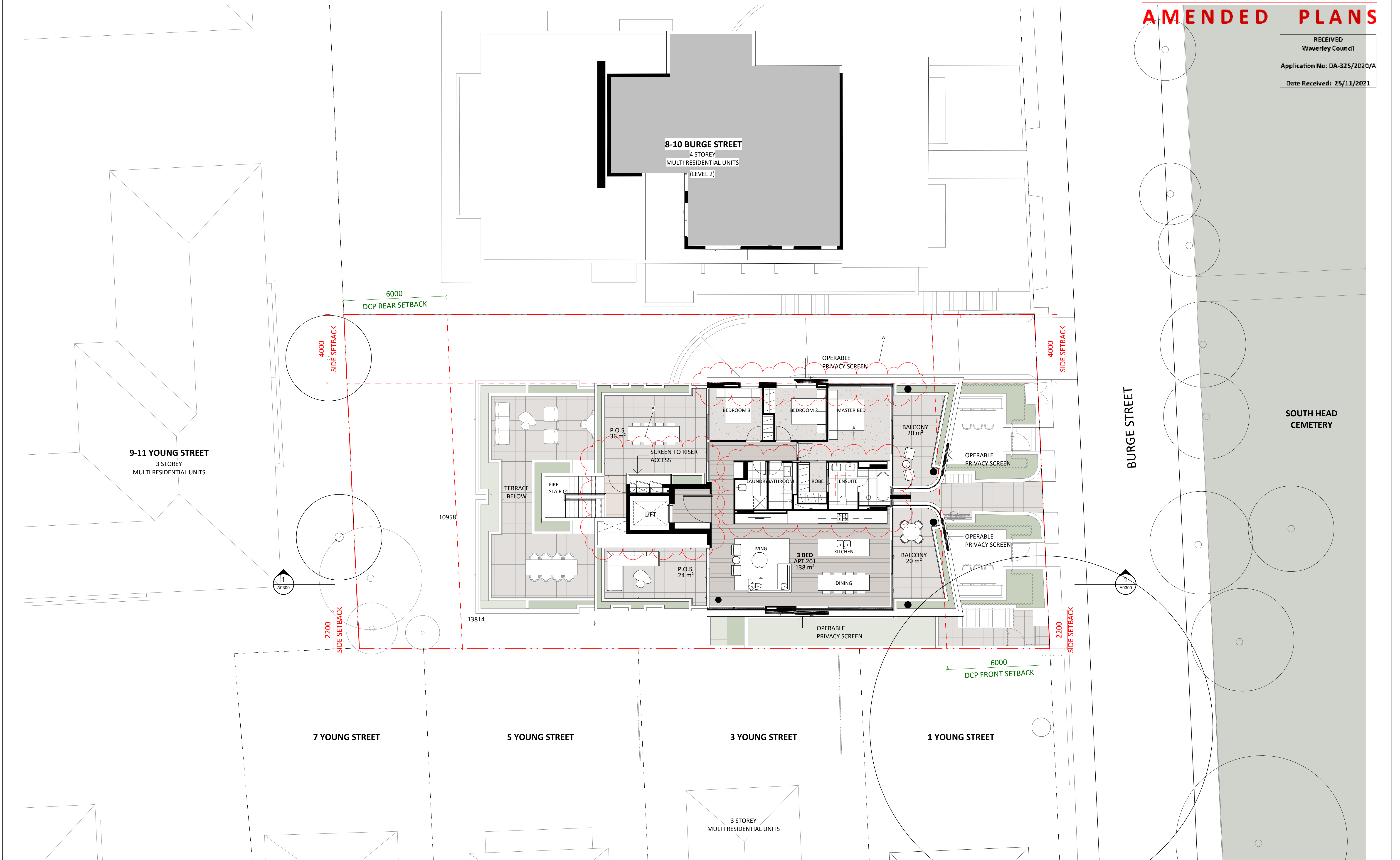
<table><tr><td>NO.</td><td>REVISION</td><td>BY</td><td>CHK</td><td>DATE</td></tr><tr><td>A</td><td>FOR CONSULTANT REVIEW</td><td>JD</td><td>AC</td><td>28/08/20</td></tr><tr><td>B</td><td>FOR DA</td><td>JD</td><td>AC</td><td>04/09/20</td></tr><tr><td>C</td><td>FOR DA</td><td>JD</td><td>AC</td><td>11/09/20</td></tr><tr><td>D</td><td>FOR COUNCIL REF</td><td>JD</td><td>AC</td><td>20/11/20</td></tr><tr><td>E</td><td>S-455 SUBMISSION</td><td>JB</td><td>AC</td><td>28/07/21</td></tr></table>				NO.	REVISION	BY	CHK	DATE	A	FOR CONSULTANT REVIEW	JD	AC	28/08/20	B	FOR DA	JD	AC	04/09/20	C	FOR DA	JD	AC	11/09/20	D	FOR COUNCIL REF	JD	AC	20/11/20	E	S-455 SUBMISSION	JB	AC	28/07/21	REVISION NOTES:				KEY PLAN				NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.				OTHERS:				CLIENT: ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL., SYDNEY, 2000				ARCHITECT: SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST. SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 385 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI.TAKADA.COM				PROJECT: 12 BURGE STREET VAUCLUSE, NSW 2030				DWG TITLE: GROUND FLOOR PLAN			
NO.	REVISION	BY	CHK	DATE																																																													
A	FOR CONSULTANT REVIEW	JD	AC	28/08/20																																																													
B	FOR DA	JD	AC	04/09/20																																																													
C	FOR DA	JD	AC	11/09/20																																																													
D	FOR COUNCIL REF	JD	AC	20/11/20																																																													
E	S-455 SUBMISSION	JB	AC	28/07/21																																																													
CLOUD LEGEND REVISION ON HOLD												STATUS: THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.				DWG NO. A0100				REVISION E																																													
SCALE 1:100@A1, 1:200@A3												0 5 m				DATE 28/07/21																																																	

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



NO. REVISION					BY	CHK	DATE	REVISION NOTES:					KEY PLAN					NOTES:					OTHERS:					CLIENT					ARCHITECT					PROJECT					DWG TITLE					REVISION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
A FOR CONSULTANT REVIEW					JD	AC	28/06/20	FOR KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.					CLOUD LEGEND					THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.					ASPIRE					SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 385 896 NOMINATED ARCHITECT: KOICHI TAKADA					12 BURGE STREET					LEVEL 02 FLOOR PLAN					REVISION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
B FOR DA					JD	AC	04/09/20						REVISION					THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.					LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000					KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM					VAUCLUSE, NSW 2030										DATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
C FOR DA					JD	AC	11/09/20						ON HOLD					THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									



RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



AL 01	DARK COLOUR ALUMINIUM BATTEN	RND 01	DARK CONCRETE LOOK FINISH
AL 02	OPERABLE TIMBER LOOK ALUMINIUM SCREEN	RND 02	WHITE CONCRETE LOOK FINISH
AL 03	DARK COLOUR ALUMINIUM	STN 01	SANDSTONE
GL 01	CLEAR GLASS		
GL 02	GLASS BALUSTRADE		

ID	REVISION	R#	CHK	DATE	REVISION NOTES	KEY PLAN
A	FOR CLIENT REVIEW	JY	GW	04/08/20		
B	FOR CONSULTANT REVIEW	JD	JAC	29/09/20		
C	FOR DA	JY	JAC	04/10/20		
D	FOR DA	JY	JAC	11/06/20		
E	\$ 455 SUBMISSION	PB	JAC	28/07/21		
F	\$ 455 AMENDED SUBMISSION	PB	PB	11/11/21		

NOTES:
KOICHI TAKADA ARCHITECTS (KT) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.
THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KT'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KT's KNOWLEDGE OR CONSENT.
IF THE PDF DOCUMENT STAMPED BY KTA AS A "QA CONTROLLED DOCUMENT" IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT.
THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DETECTED IN THE QA-CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP OR FINISH LAYOUT, CONNECTION OR INSTALLATION.

OTHERS

CLIENT
ASPIRE
LEVEL 36, GATEWAY BUILDING,
1 MACQUARIE PL., SYDNEY, 2000

ARCHITECT
SUITE 41 & 42, LEVEL 4
61 MARLBOROUGH ST
SURRY HILLS, NSW 2010
T 02 9698 8510
ABN 63 131 385 896

PROJECT TITLE
12 BURGE STREET VAUCLUSE, NSW 2030

STATUS
THIS DOCUMENT IS NOT SUITABLE FOR CONSTRUCTION UNLESS IT HAS BEEN APPROVED FOR CONSTRUCTION BY KTA AS A "QA CONTROLLED DOCUMENT".
CONSTRUCTION WITHOUT THE PRESENCE OF "WIP," DRAFT" OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.

DWG NO.
A0200

SCALE
0 5 m

DATE
11/11/21



AL 01	DARK COLOUR ALUMINIUM BATTEN	RND 01	DARK CONCRETE LOOK FINISH
AL 02	OPERABLE TIMBER LOOK ALUMINIUM SCREEN	RND 02	WHITE CONCRETE LOOK FINISH
AL 03	DARK COLOUR ALUMINIUM	STN 01	SANDSTONE
GL 01	CLEAR GLASS		
GL 02	GLASS BALUSTRADE		

NO. REVISION				BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	QA STAMP	PROJECT	DWG TITLE			
A FOR CLIENT REVIEW				JD	GW	04/08/20			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE COPIED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENSE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THIS PDF DOCUMENT STAMPED BY KTA AS A QA CONTROLLED DOCUMENT IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND SHALL BE USED TO PROTECT THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT CONTROLLED PDF. IT DOES NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP OF THIS DOCUMENT.		ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9898 8510 ABN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16119 QLD ARCHITECTS 5590 KOICHI TAKADA .COM	<div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</div>	12 BURGE STREET VAUCLUSE, NSW 2030	EAST ELEVATION			
B FOR CONSULTANT REVIEW				JD	JAC	28/06/20												
C FOR DA				JD	JAC	04/08/20												
D FOR DA				JD	JAC	11/09/20												
E FOR DA RE-SUBMISSION				JD	JAC	SURRY HILLS												
F S 455 SUBMISSION				PB	JAC	28/07/21												
G S 455 AMENDED SUBMISSION				PB	PB	11/11/21												
								CLOUD LEGEND										
								<div><div></div> REVISION</div> <div><div></div> ON HOLD</div>										



1 SOUTH ELEVATION
1 : 100

LEGEND


- | | | | |
|-------|---------------------------------------|--------|----------------------------|
| AL 01 | DARK COLOUR ALUMINIUM BATTEN | RND 01 | DARK CONCRETE LOOK FINISH |
| AL 02 | OPERABLE TIMBER LOOK ALUMINIUM SCREEN | RND 02 | WHITE CONCRETE LOOK FINISH |
| AL 03 | DARK COLOUR ALUMINIUM | STN 01 | SANDSTONE |
| GL 01 | CLEAR GLASS | | |
| GL 02 | GLASS BALUSTRADE | | |

NO.		REVISION		BY	CHK	DATE	REVISION NOTES:		KEY PLAN		NOTES:		OTHERS		CLIENT		ARCHITECT		QA STAMP		PROJECT		DWG TITLE	
A		FOR CLERK REVIEW		JD	JD	04/06/20					KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.				ASPIRE		SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 385 896		THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.		12 BURGE STREET		SOUTH ELEVATION	
B		FOR CLERK REVIEW		JD	JAC	29/06/20					THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.				LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000		NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM		STATUS		0		5 m	
C		FOR DA		JD	JAC	04/06/20					THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.										SCALE		1:100@A1, 1:200@A3	
D		FOR DA		JD	JAC	11/06/20					THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.										DATE		11/11/21	
E		FOR DA RE-SUBMISSION		JD	JAC	21/01/21					VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.													
F		S.655 AMENDED		PB	JAC	29/07/21																		
G		S.655 AMENDED SUBMISSION		PB	PB	11/11/21																		

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



AL 01	DARK COLOUR ALUMINIUM BATTEN	RND 01	DARK CONCRETE LOOK FINISH
AL 02	OPERABLE TIMBER LOOK ALUMINIUM SCREEN	RND 02	WHITE CONCRETE LOOK FINISH
AL 03	DARK COLOUR ALUMINIUM	STN 01	SANDSTONE
GL 01	CLEAR GLASS		
GL 02	GLASS BALUSTRADE		

NO. REVISION		BY	CHK	DATE	REVISION NOTES	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	QA STAMP	PROJECT	DWG TITLE	REVISION
A	FOR CLIENT REVIEW	JD	GW	04/08/20			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.		ASPIRE	SUITE 41 & 42, LEVEL 4 12 MARLBOROUGH ST SURREY HILLS, NSW 2010 T 02 9698 8510		12 BURGE STREET VAUCLUSE, NSW 2030	WEST ELEVATION	
B	FOR CONSULTANT REVIEW	JD	JAC	28/08/20			THIS DOCUMENT MUST NOT BE COPIED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE AND CONSENT.		LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	ABN 63 131 365 896 NOMINATED ARCHITECT:				
C	FOR DA	JD	JAC	04/09/20			THIS DOCUMENT IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT.			KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16170 QLD ARCHITECTS 5590 KOICHI TAKADA.COM				
D	FOR DA	JD	JAC	11/09/20			THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY SUBJECT TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.							
E	FOR CONSULTANT RFI	JD	JAC	28/11/20										
F	FOR DA RE-SUBMISSION	JD	JAC	21/01/21										
G	S 442 SUBMISSION	PJB	JAC	21/07/21										
H	S 442 AMENDED SUBMISSION	PJB	PJB	10/11/21										

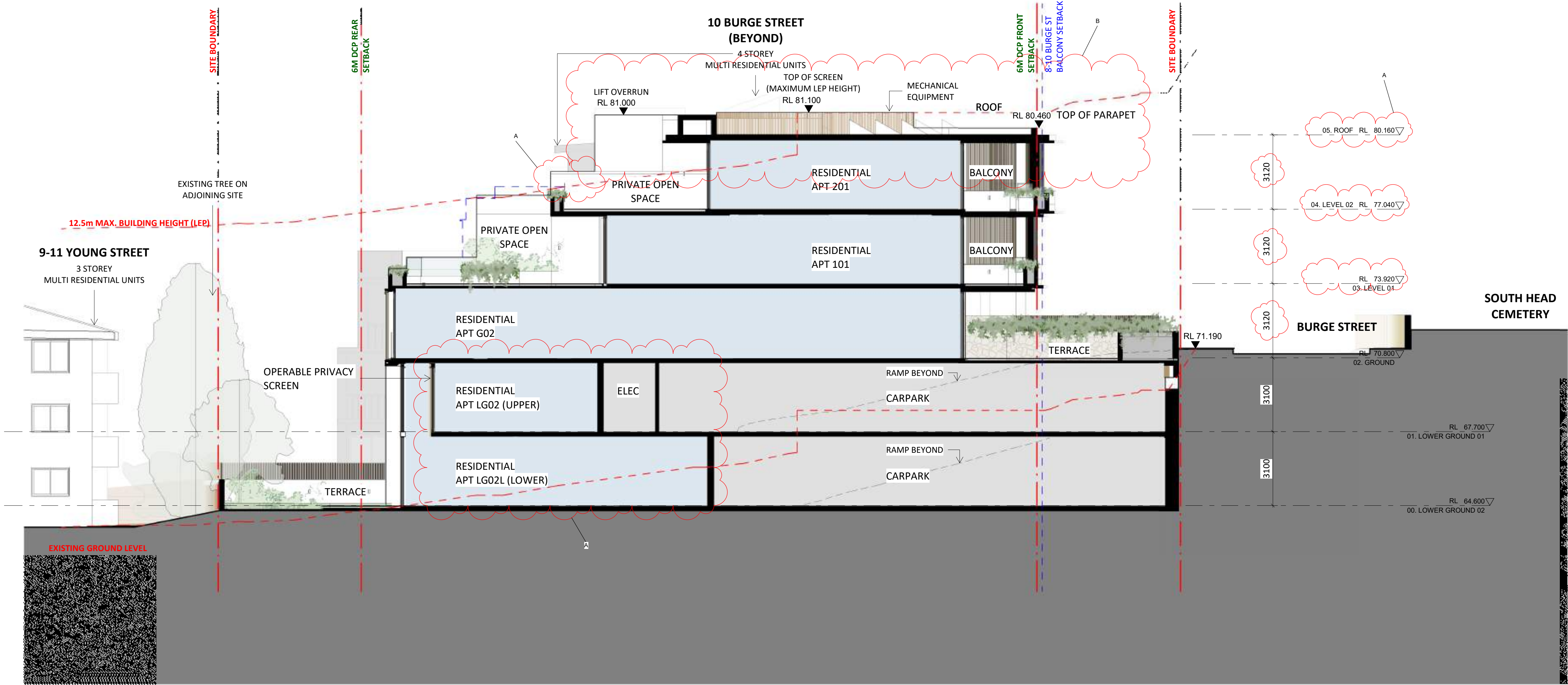
CLOUD LEGEND

REVISION

ON HOLD

/

0
5 m



1 SECTION 01
1 : 100

NO. REVISION					BY	CHK	DATE	REVISION NOTES:	KEY PLAN	ARCHITECT	NOTES:	OTHERS	CLIENT	ARCHITECT	QA STAMP	PROJECT	DWG TITLE	
1 FOR CLIENT REVIEW					NZ	AC	30/06/20				KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.		ASPIRE	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 385 896	<div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF "WIP", "DRAFT" OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</div>	12 BURGE STREET	SECTION 01	
A FOR CLIENT REVIEW					JD	AC	17/07/20			THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.		LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL., SYDNEY, 2000	NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	STATUS		DWG NO.	REVISION	
B FOR CLIENT REVIEW					JD	GW	04/08/20							0		A0300	1	
C FOR CONSULTANT REVIEW					JD	AC	28/08/20							5 m		SCALE	DATE	
D FOR DA					JD	AC	04/09/20							1:100@A1, 1:200@A3		11/11/21		
E FOR DA					JD	AC	11/09/20											
F FOR COUNCIL REF					JD	AC	20/11/20											
G FOR DA RE-SUBMISSION					JD	AC	21/01/21											
H S.455 SUBMISSION					PB	AC	28/07/21											
I S.455 AMENDED SUBMISSION					PB	PB	11/11/21											
CLOUD LEGEND																		
<div><div></div>REVISION</div> <div><div></div>ON HOLD</div>																		



AMENDED PLANS

Page 533 of 856

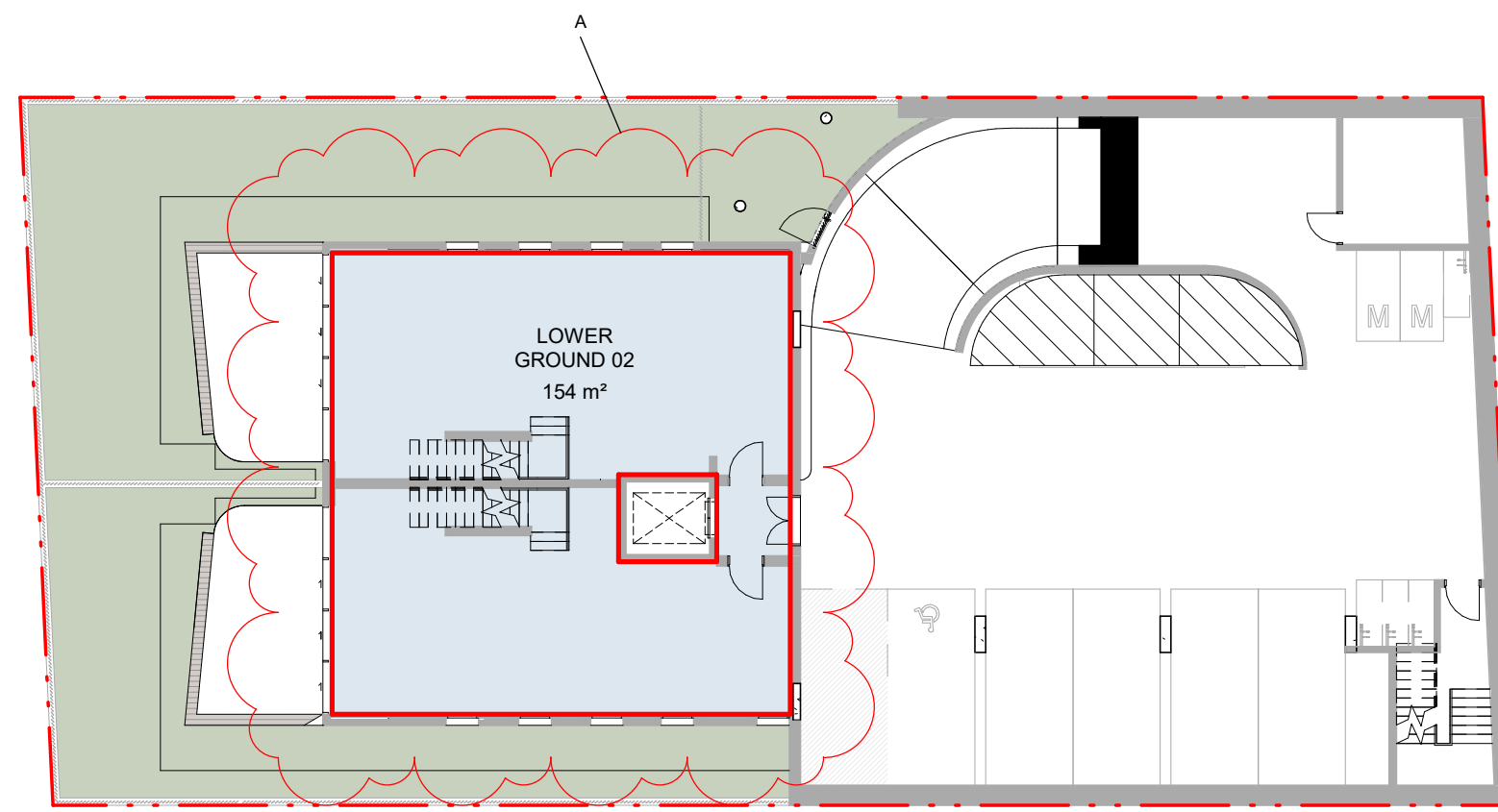


AMENDED PLANS

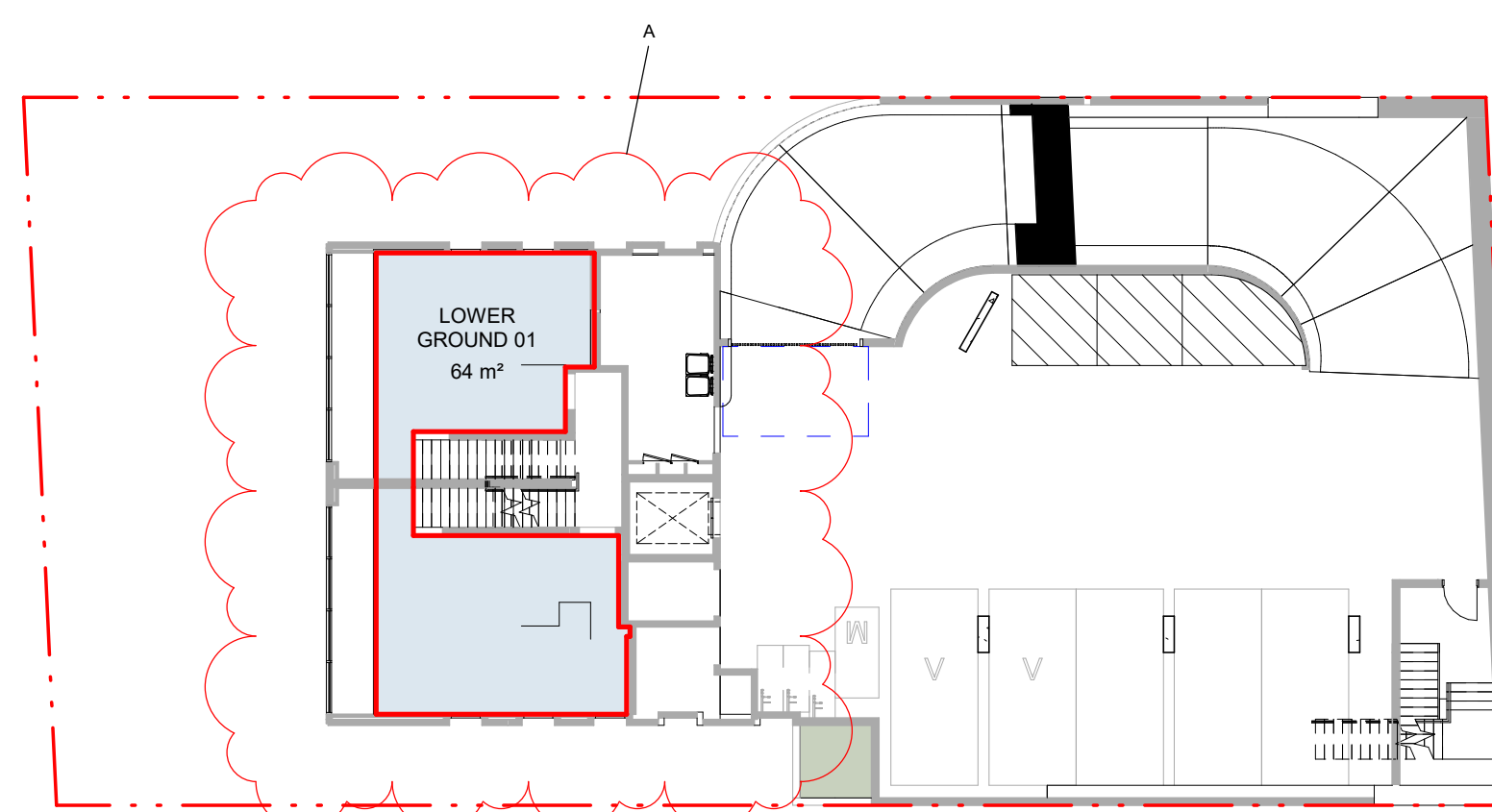
<div>NO. REVISION</div> <div>A FOR CONSULTANT REVIEW</div> <div>B FOR DA</div> <div>C FOR DA</div> <div>D 4:55 SUBMISSION</div>				<div>BY CHK DATE</div> <div>JD JAC 26/06/20</div> <div>JD JAC 04/06/20</div> <div>JD JAC 11/06/20</div> <div>PB AC 26/07/21</div>	<div>REVISION NOTES</div> <div>KEY PLAN</div> <div>NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE REPRODUCED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT. UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENSE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THIS FOR THE DESIGNER'S STAMPED PDF KTA AS A QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT SHOWN IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.</div>		<div>OTHERS</div> <div>CLIENT</div> <div>ASPIRE</div> <div>LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000</div>	<div>ARCHITECT</div> <div>SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 161176 QLD ARCHITECTS 5590 KOICHI TAKADA, COM</div>	<div>PROJECT</div> <div>12 BURGE STREET VAUCLUSE, NSW 2030</div> <div>STATUS</div> <div>02.5 m</div>			<div>DWG TITLE</div> <div>DRIVEWAY SECTION DIAGRAM 02</div> <div>DWG NO.</div> <div>A0302</div> <div>REVISION</div> <div>D</div> <div>SCALE</div> <div>1:50@A1, 1:100@A3</div> <div>DATE</div> <div>28/07/21</div>	
<div>DA STAMP</div> <div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION UNLESS IT IS ACCOMPANIED BY THE PRESENCE OF WIP, DRAFT OR ANY OTHER FORM OF QUALIFICATION OR THE DOCUMENT.</div>				<div>CLOUD LEGEND</div> <div>REVISION</div> <div>ON HOLD</div>		<div>Koichi Takada Architects</div>							

AMENDED PLANS

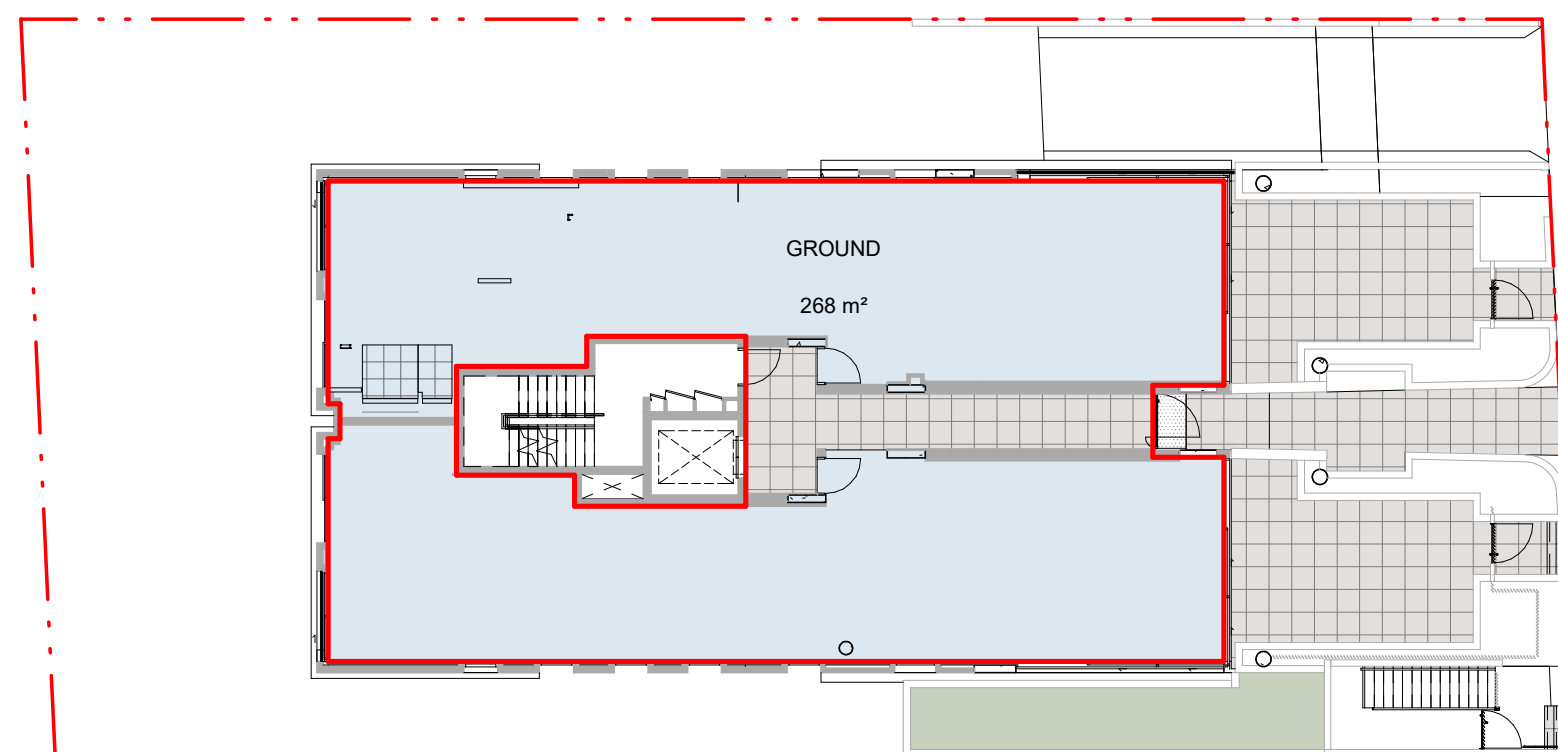
RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



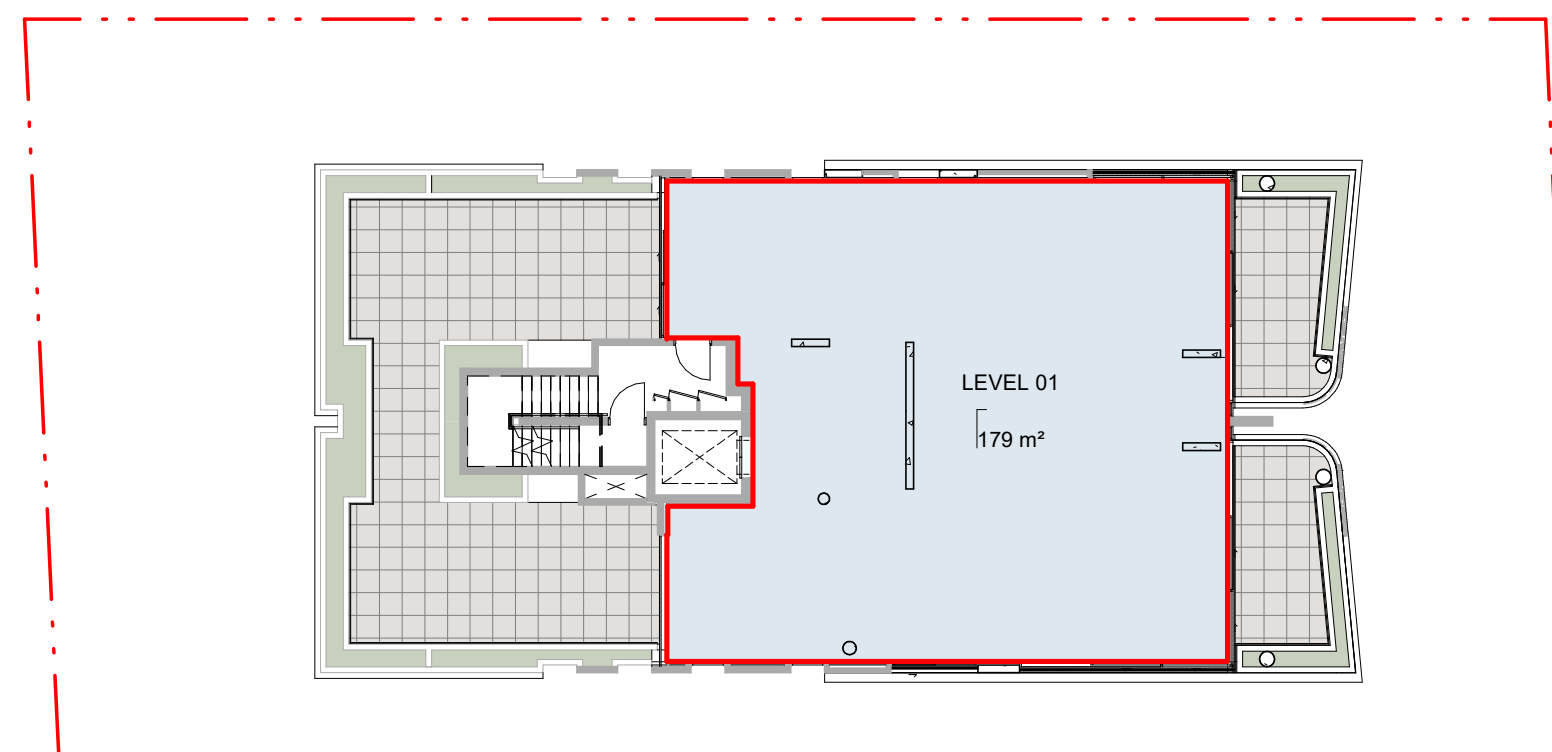
1 GFA DIAGRAM - LG02
1 : 200



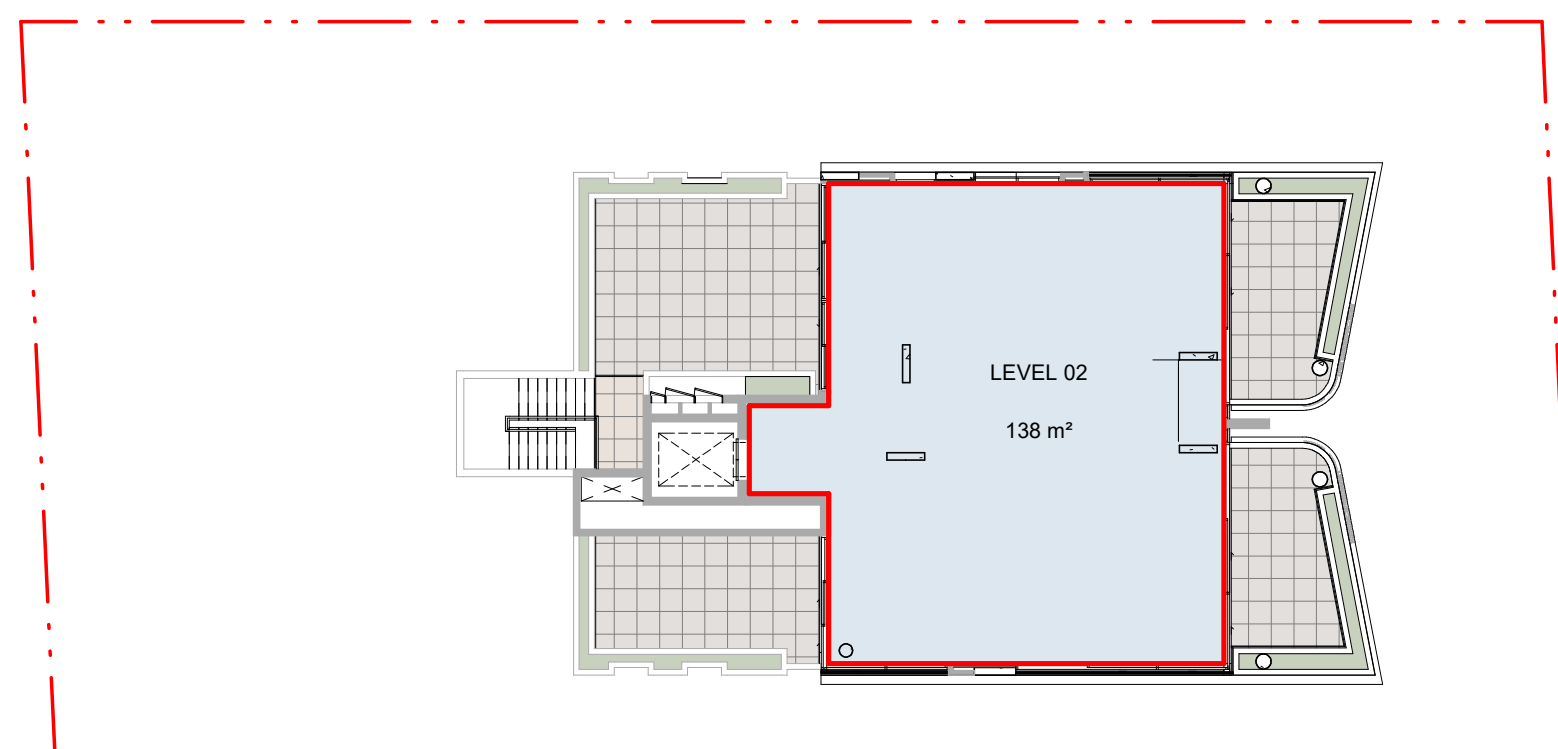
2 GFA DIAGRAM - LG01
1 : 200



3 GFA DIAGRAM - GROUND
1 : 200



4 GFA DIAGRAM - L01
1 : 200






5 GFA DIAGRAM - L02
1 : 200

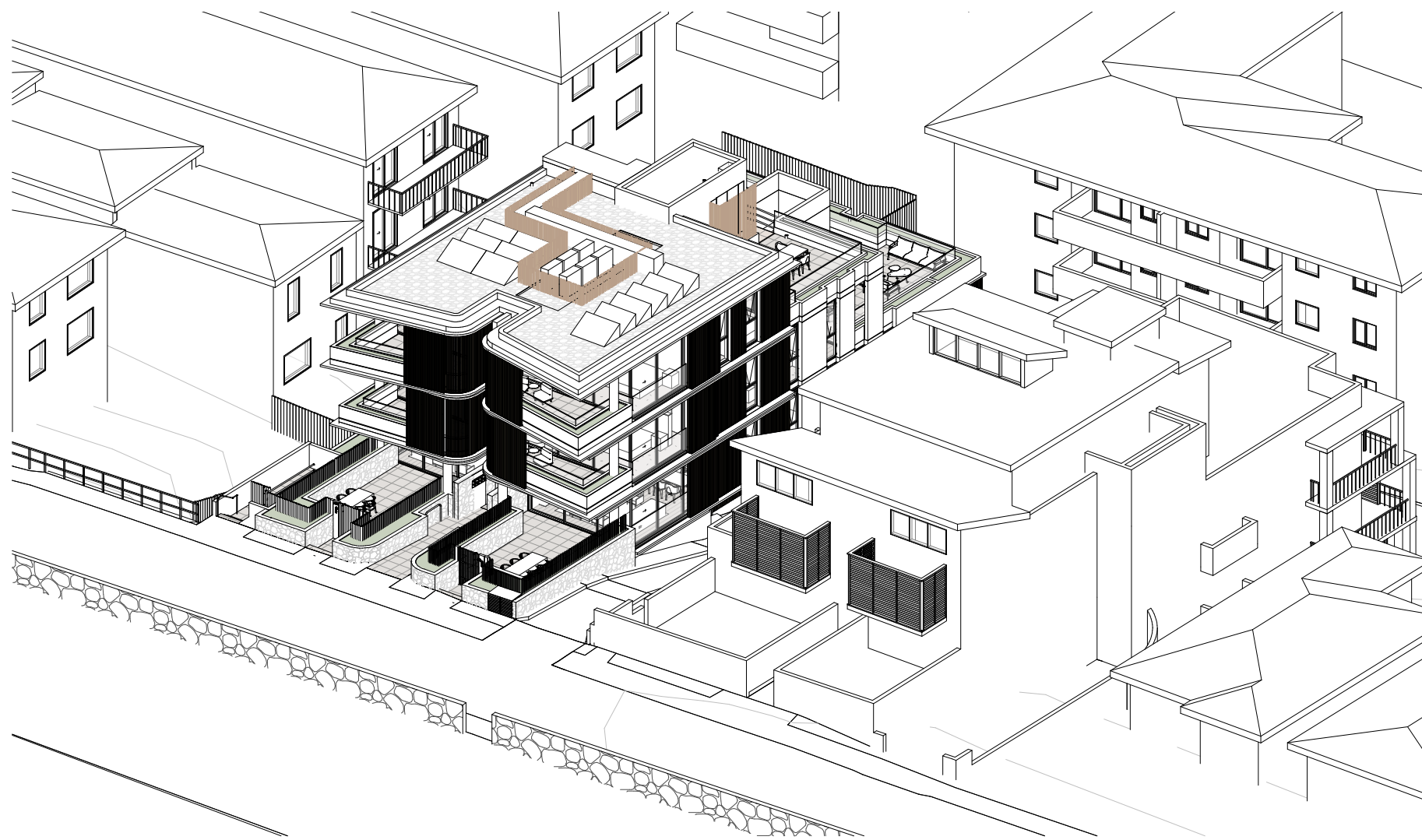
GROSS FLOOR AREA	
LOWER GROUND 02	153.65 m ²
LOWER GROUND 01	64.46 m ²
GROUND	267.93 m ²
LEVEL 01	178.68 m ²
LEVEL 02	137.63 m ²
TOTAL	802.35 m ²
SITE AREA	
FSR	1.02:1

NO. REVISION A FOR CLIENT REVIEW B FOR CONSULTANT REVIEW C FOR DA D FOR DA E FOR DA RE-SUBMISSION F S.455 SUBMISSION				BY CHK DATE JW GW 04/08/20 JD AC 28/08/20 JD AC 04/09/20 JD AC 11/09/20 JD AC 21/01/21 JB AC 28/07/21	REVISION NOTES: KEY PLAN CLOUD LEGEND REVISION ON HOLD	NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE COPIED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. ANY TIME DELAYS OR STAMPS BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY TESTED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP OR FIXING, SCHEDULING, CONSTRUCTION OR INSTALLATION.	OTHERS CLIENT ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	ARCHITECT SUITE 41 & 42, LEVEL 4 1 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16170 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	PROJECT 12 BURGE STREET VAUCLUSE, NSW 2030 STATUS DWG NO. A0401 SCALE 1:100@A1, 1:200@A3 DATE 28/07/21	QA STAMP THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION UNLESS ANY TIME DELAYS OR STAMPS BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT. DWG TITLE GROSS FLOOR AREA DIAGRAMS REVISION F DATE 28/07/21
--	--	--	--	---	--	--	---	--	---	---

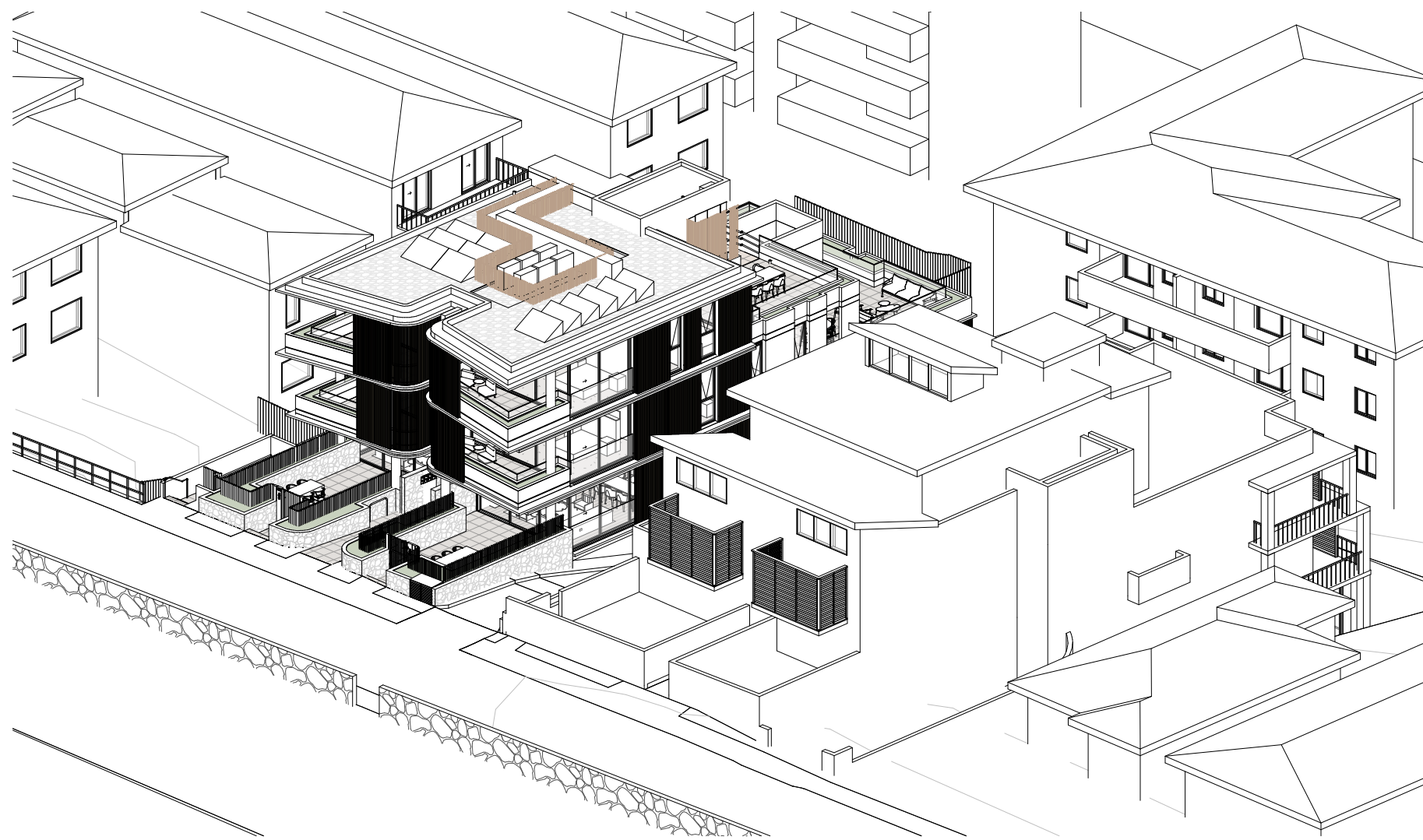
RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



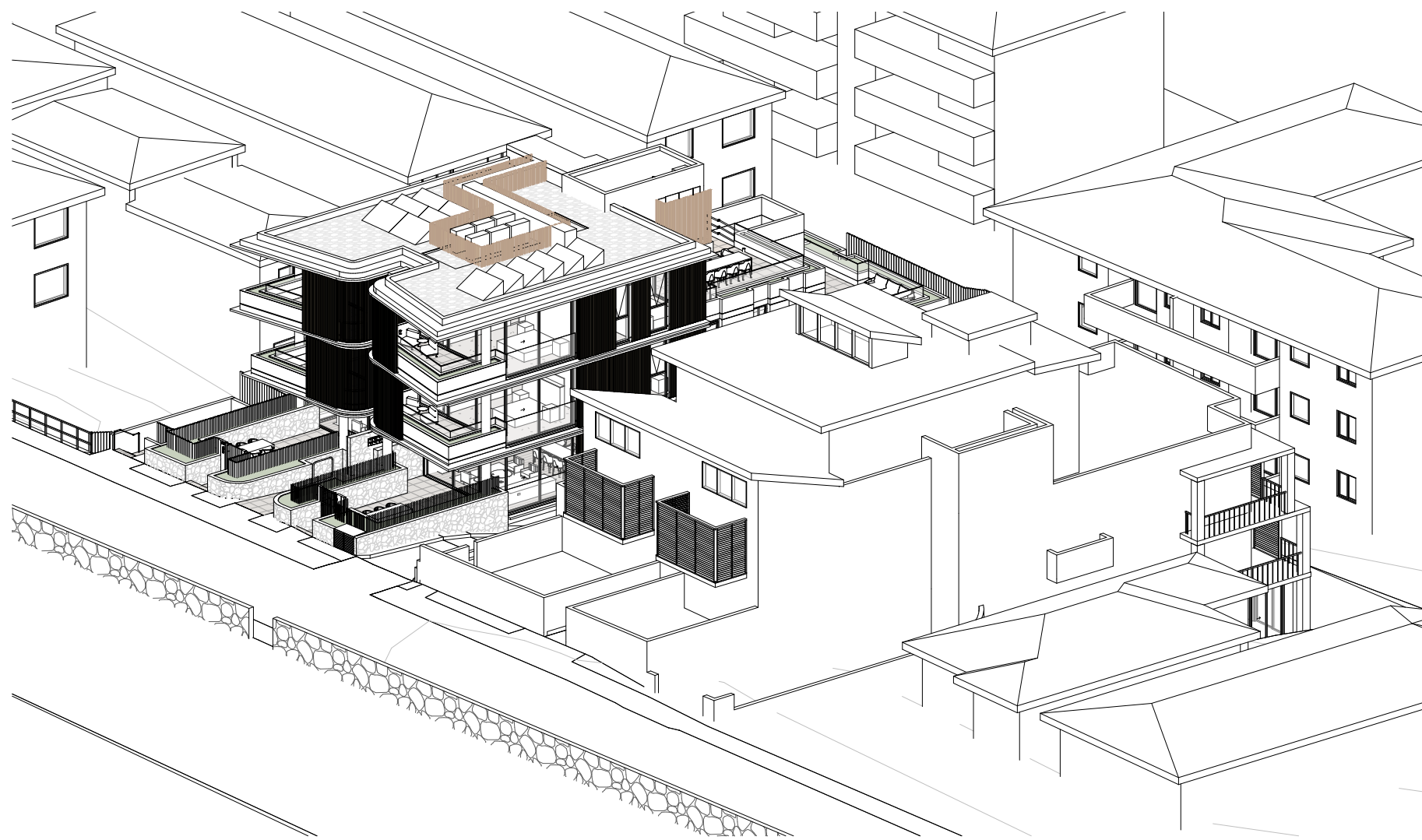
NO.	REVISION	BY	CHK	DATE	REVISION NOTES:	KEYPLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	PROJECT	QA STAMP	DWG NO	REVISION
A	FOR CONSULTANT REVIEW	JD	AC	28/08/20			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A QA CONTROLLED DOCUMENT IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.		ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9588 8510 RBN 63 131 355 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6691 VIC ARCHITECTS 16170 OLD ARCHITECTS 5590 KOICHI TAKADA.COM	12 BURGE STREET VAUCLUSE, NSW 2030		A0450	F
B	FOR CONSULTANT REVIEW	JD	AC	24/09/20										
C	FOR DA	JD	AC	11/06/20										
D	FOR DA RE-SUBMISSION	JD	AC	21/01/21										
E	S 455 SUBMISSION	PB	AC	28/07/21										
F	S 455 AMENDED SUBMISSION	PB	PB	11/11/21										
<div> <div>  REVISION  ON HOLD </div> <div>  CLOUD/LEGEND </div> </div>														
												THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS THIS DOCUMENT CONSTRUCTION WITHOUT THE PRESENCE OF "WIP", "DRAFT" OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.	DATE	11/11/21
												STATUS DWG NO A0450 SCALE NOT TO SCALE	DATE	11/11/21
												Koichi Takada Architects		



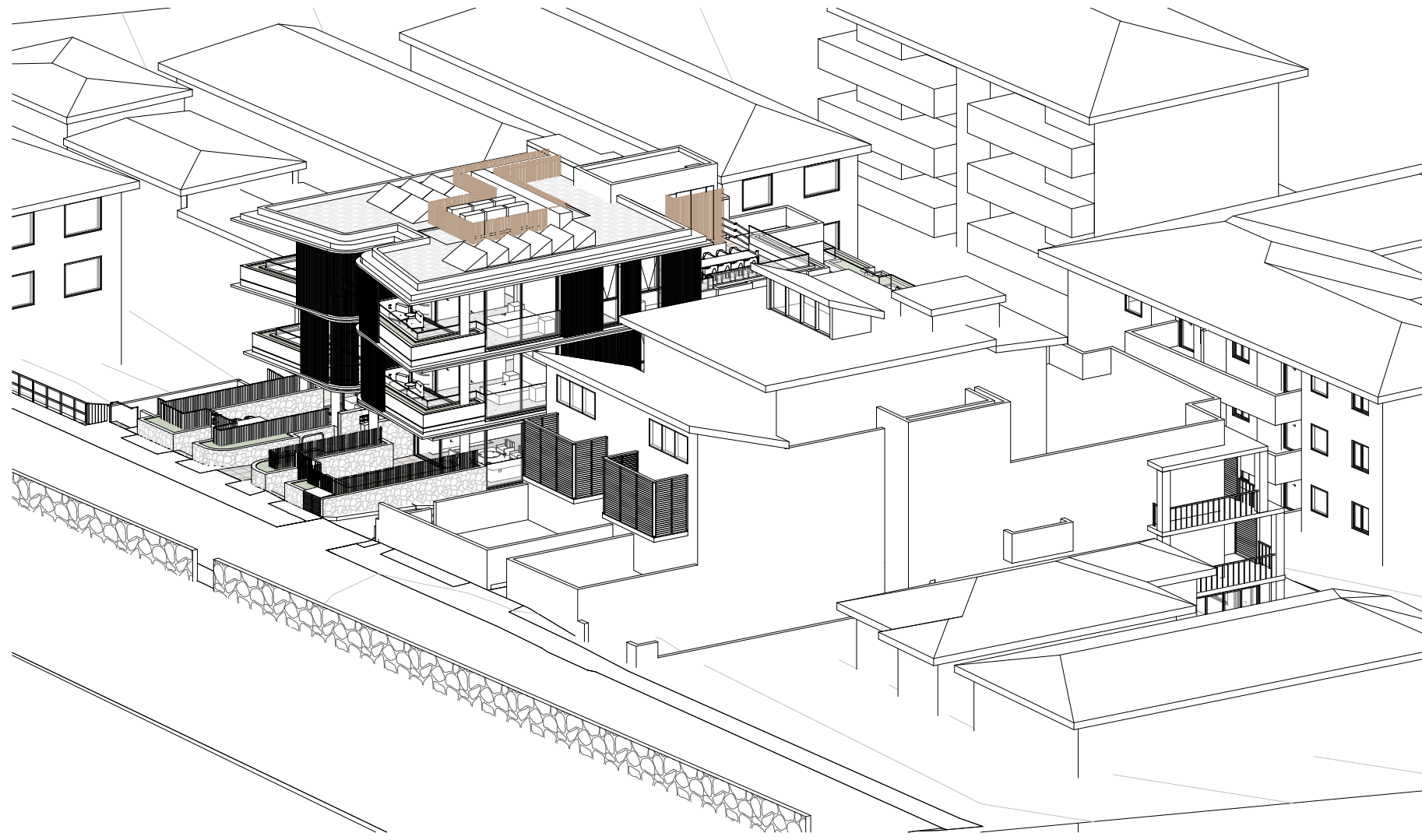
JUNE 21ST - 1:30PM



JUNE 21ST - 2:00PM



JUNE 21ST - 2:30PM



JUNE 21ST - 3:00PM



AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021

SOLAR ACCESS

CONTROL
Min. 70% of apartments between 9am and 3pm
to recieve a minimum of 2 hrs direct sunlight
Max. 15% no solar access

PROPOSED
66.7% (4/6 Apartments)
No apartments without solar access

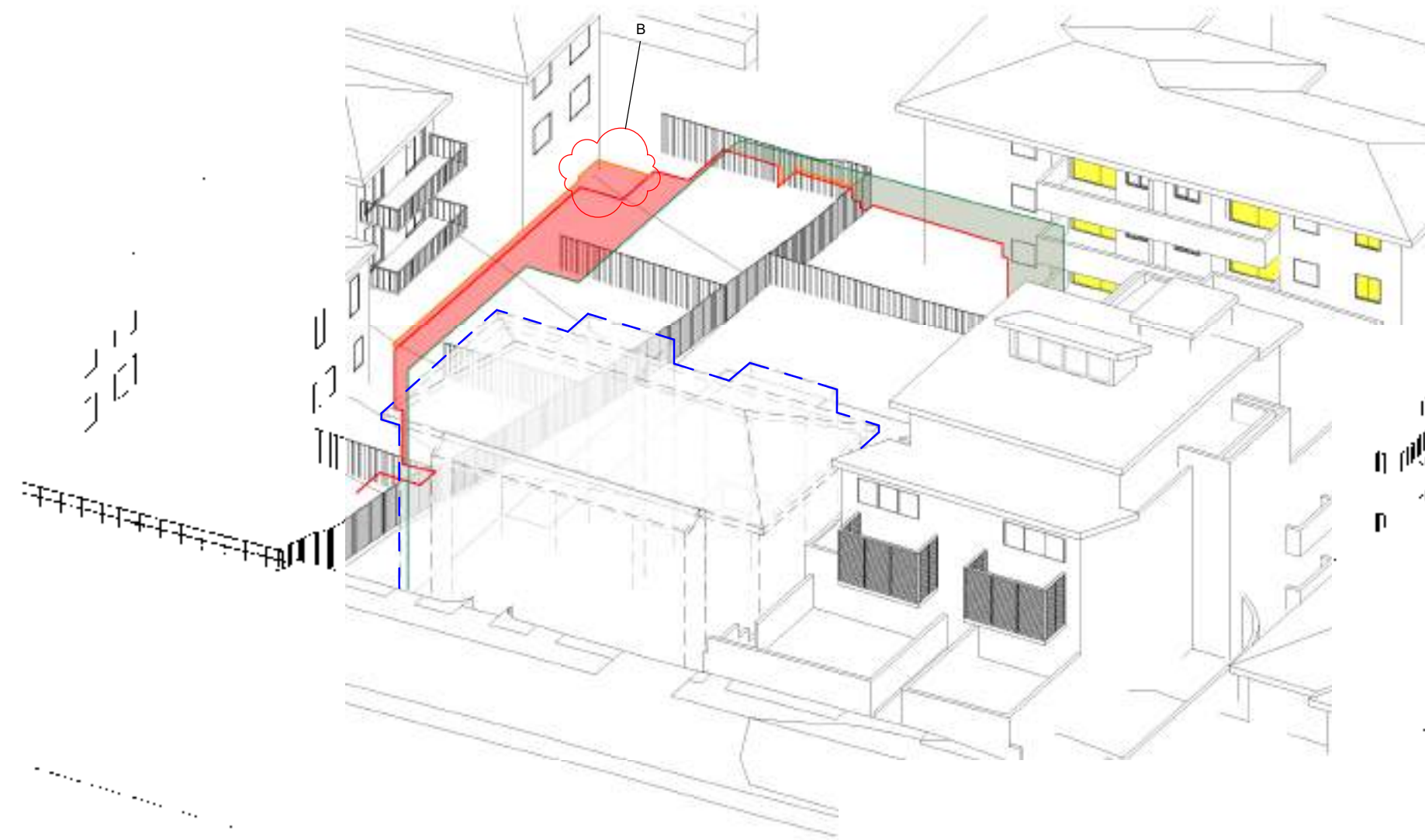
NO. REVISION		BY	CHK	DATE	REVISION NOTES:	KEY PLAN	ARCHITECT	CLIENT	ARCHITECT	GA STAMP	PROJECT	DWG TITLE		
A FOR CONSULTANT REVIEW		AD	JAC	26/06/20	KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.						12 BURGE STREET	SUN EYE VIEWS - WINTER SOLSTICE 02		
B FOR CA		JD	JAC	04/05/20				ASPIRE	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM					
C FOR CA		JD	JAC	11/06/20				LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000						
D FOR CA RE-SUBMISSION		AD	JAC	17/01/21										
E S.455 SUBMISSION		PB	JAC	28/07/21										
F S.455 AMENDED SUBMISSION		PB	PB	11/11/21										
CLOUD LEGEND														
 REVISION						 ON HOLD								
												0 5 m		
												NOT TO SCALE		
												DATE		
												11/11/21		



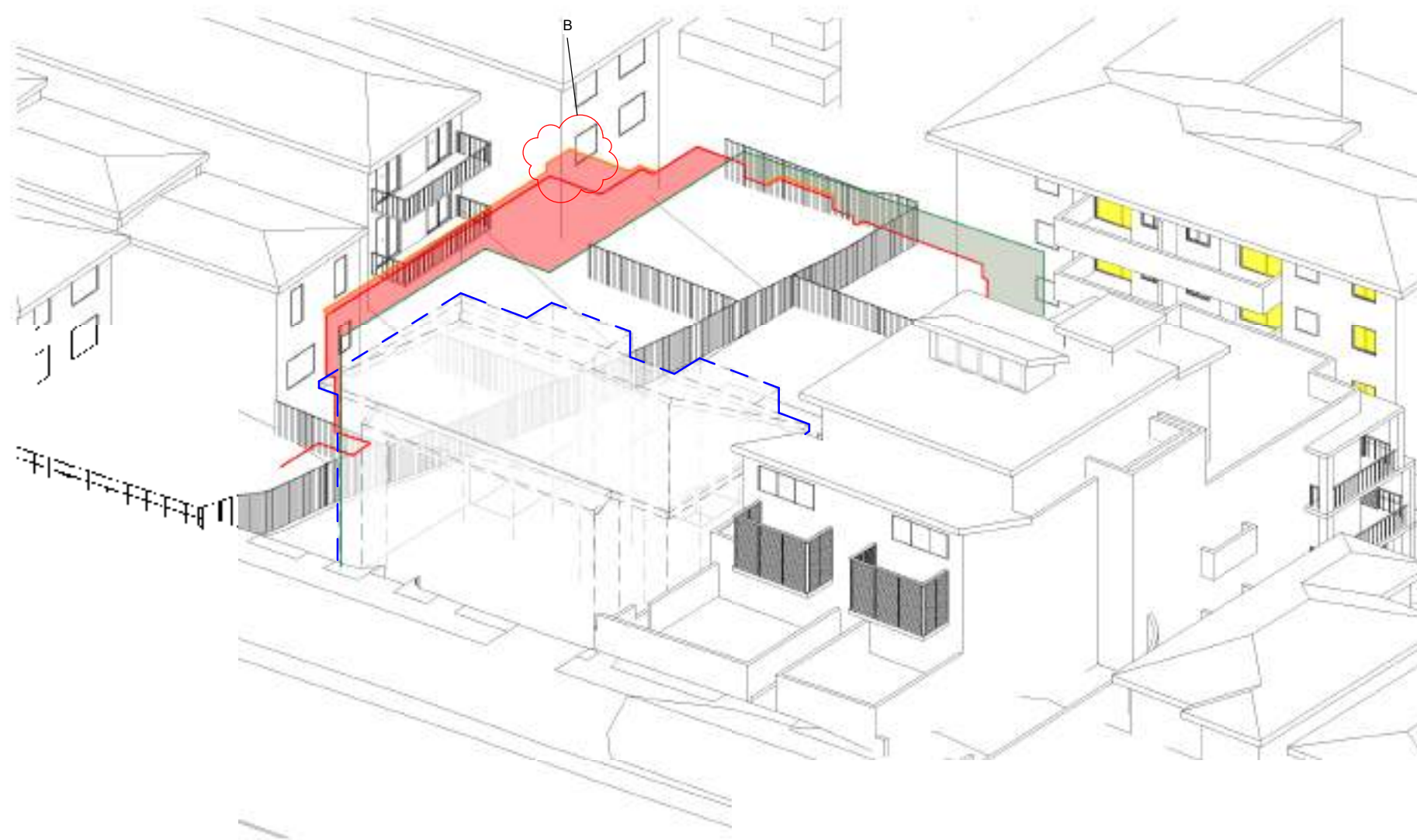
LEGEND

- OUTLINE OF PROPOSED DESIGN (FSR=1.02)
- OUTLINE OF APPROVED DA (FSR=0.93)
- OUTLINE OF COMPLIANT ENVELOPE (MULTI-DWELLING FSR=0.9)
- OUTLINE OF EXISTING DWELLING TO BE DEMOLISHED
- LIVING AREAS WITH DIRECT SUN LIGHT
- ADDITIONAL SHADOW COMPARING THE COMPLIANT ENVELOPE
- REDUCED SHADOW COMPARING THE COMPLIANT ENVELOPE

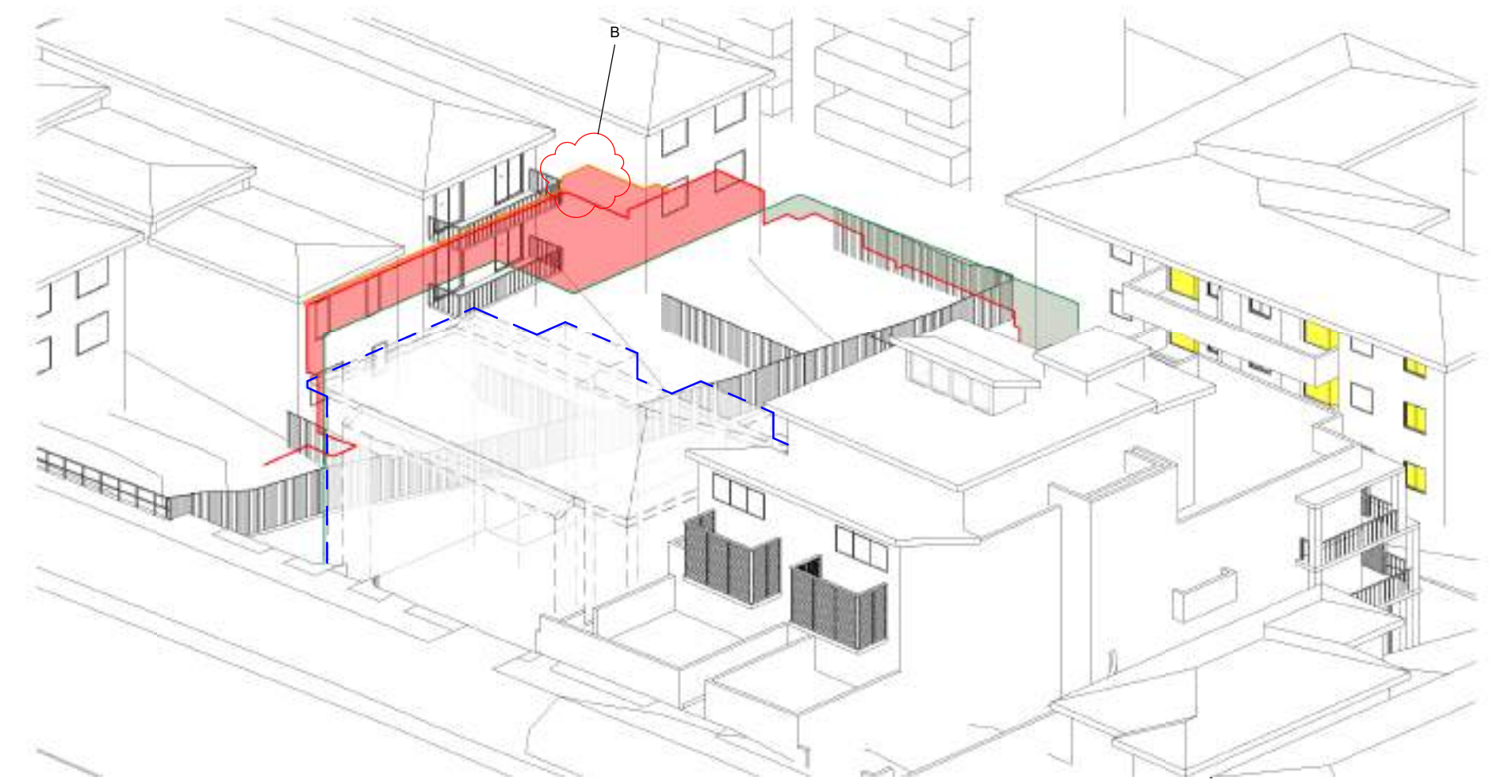
NO.		REVISION		BY	CHK	DATE	REVISION NOTES	KEY PLAN		NOTES:		OTHERS	CIENT	ARCHITECT	Q&A STAMP	PROJECT	DWG TITLE		
A	FOR DA		JD	CHK		11/06/20				KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.									
B	FOR COUNCIL RFI		JD	CHK		29/11/20													
C	FOR DA RE-SUBMISSION		JD	CHK		21/01/21													
D	5.405 SUBMISSION		PB	CHK		28/07/21													
E	5.405 AMENDED SUBMISSION		PB	CHK		11/11/21													
CLOUD LEGEND									REVISION									ON HOLD	
12 BURGE STREET VAUCLUSE, NSW 2030																			
ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL., SYDNEY, 2000																			
SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9688 8510 ABN 65 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18177 QLD ARCHITECTS 5590 KOICHI TAKADA.COM																			
Koichi Takada Architects																			
THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTIFIED YOU IN WRITING OF CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.																STATUS			
A0453																REVISION E			
SCALE NOT TO SCALE																DATE 11/11/21			



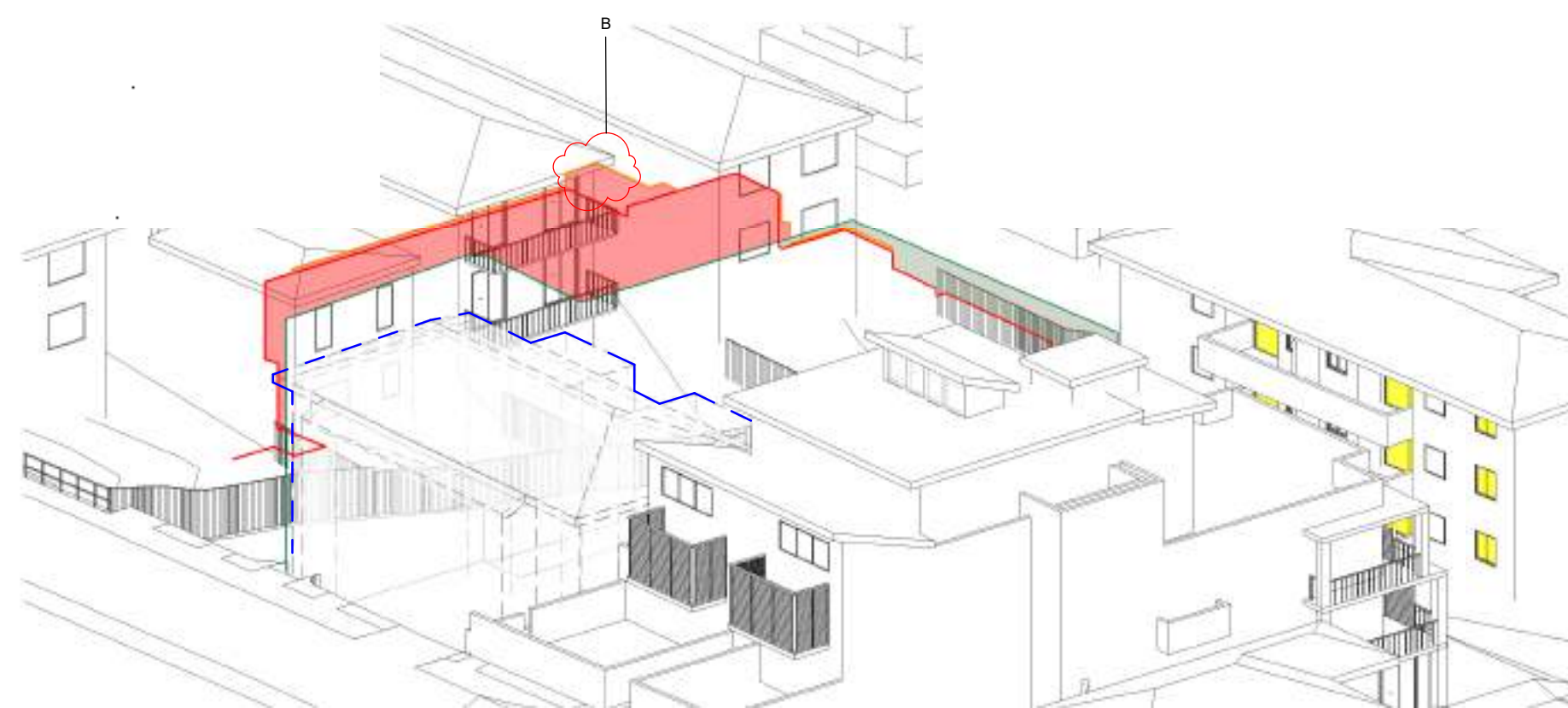
JUNE 21ST - 1:00PM



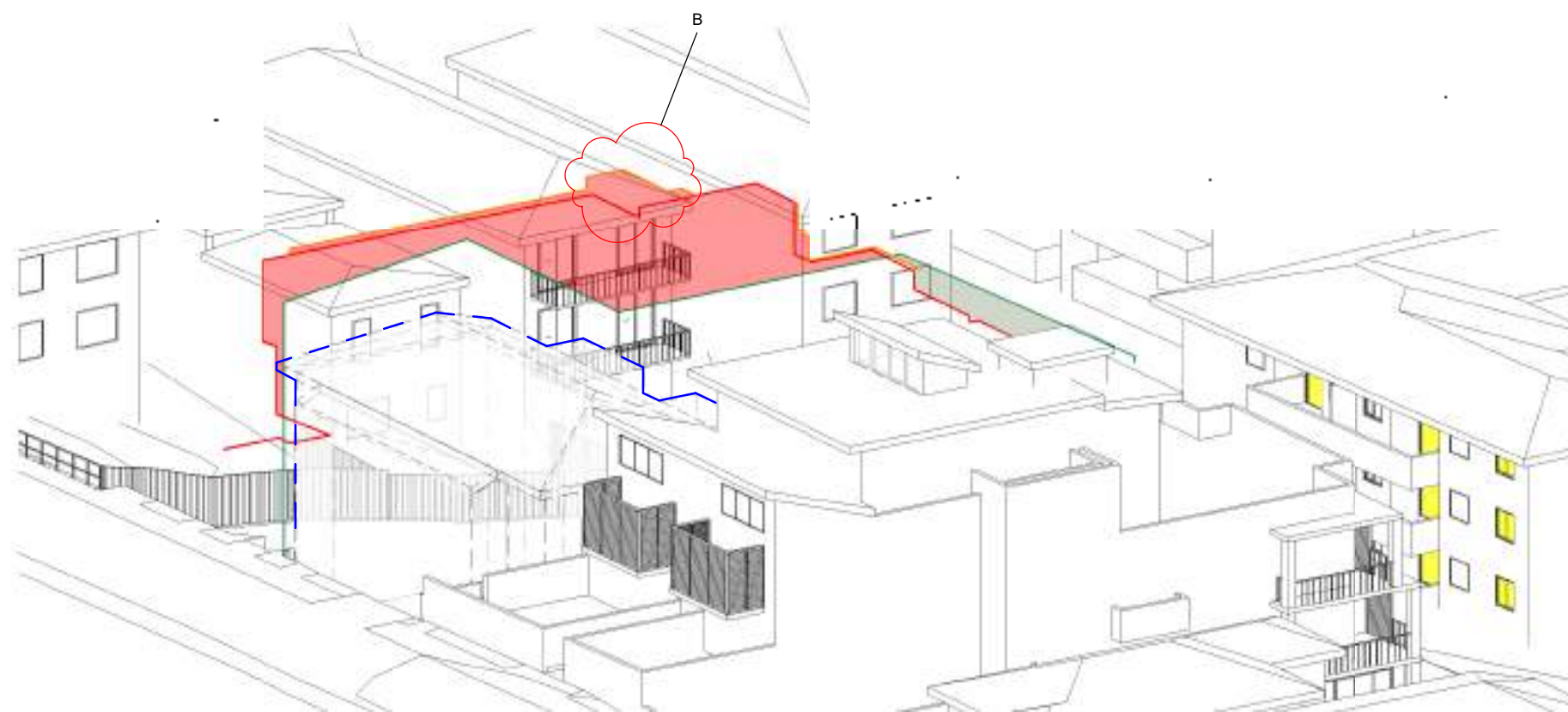
JUNE 21ST - 1:30PM



JUNE 21ST - 2:00PM



JUNE 21ST - 2:30PM



JUNE 21ST - 3:00PM

LEGEND

OUTLINE OF PROPOSED DESIGN
(FSR=1.02)

OUTLINE OF APPROVED DA
(FSR=0.93)

OUTLINE OF COMPLIANT ENVELOPE
(MULTI-DWELLING FSR=0.9)

OUTLINE OF EXISTING DWELLING
TO BE DEMOLISHED

LIVING AREAS WITH DIRECT SUN LIGHT

ADDITIONAL SHADOW COMPARING THE
COMPLIANT ENVELOPE

REDUCED SHADOW COMPARING THE
COMPLIANT ENVELOPE

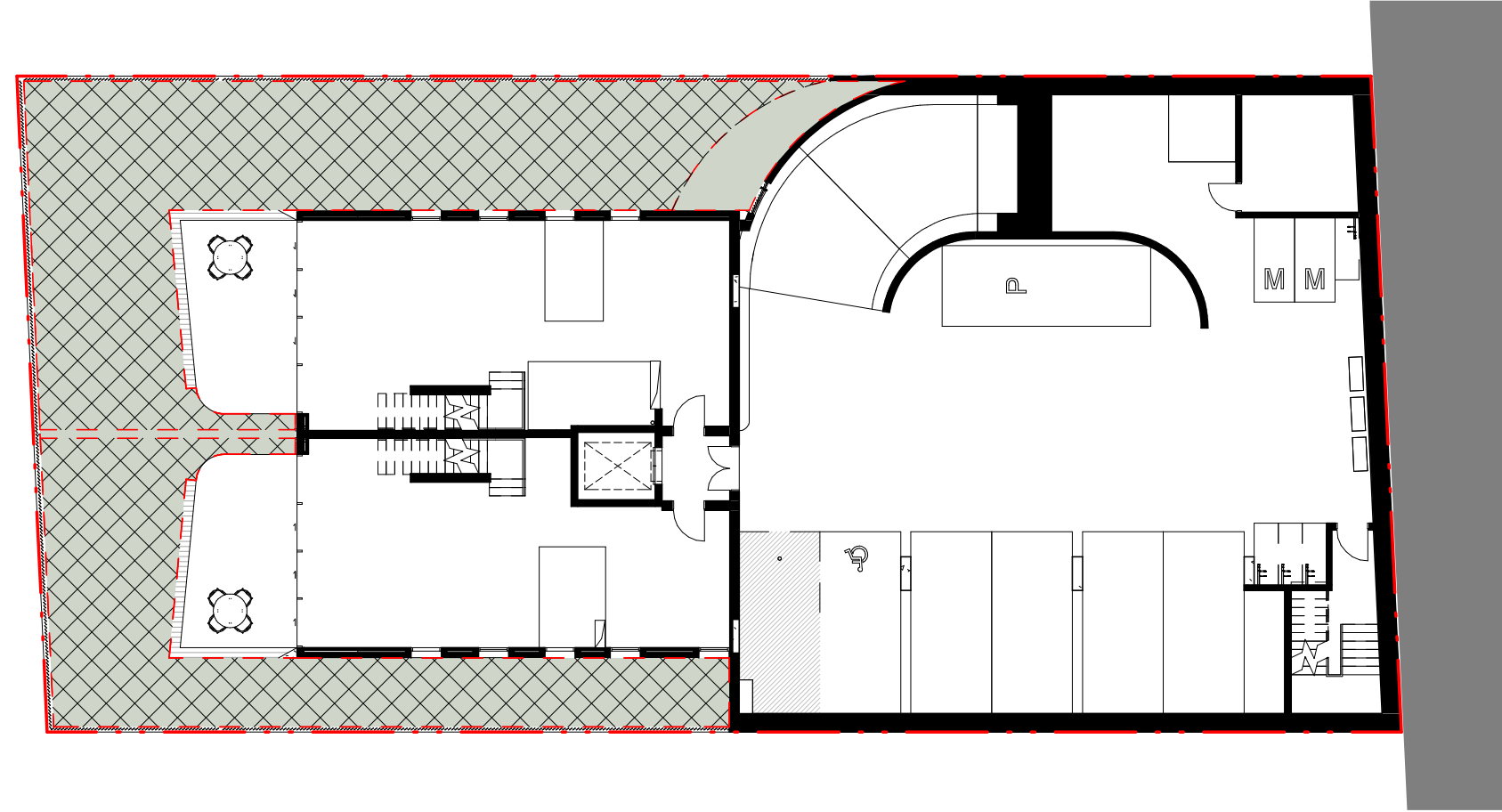
RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021

<table><tr><th>NO.</th><th>REVISION</th><th>BY</th><th>CHK</th><th>DATE</th></tr><tr><td>A</td><td>FOR DA</td><td>JD</td><td>AC</td><td>11/09/20</td></tr><tr><td>B</td><td>FOR COUNCIL REF</td><td>JD</td><td>AC</td><td>20/11/20</td></tr><tr><td>C</td><td>FOR DA RE-SUBMISSION</td><td>JD</td><td>AC</td><td>21/01/21</td></tr><tr><td>D</td><td>S.455 SUBMISSION</td><td>PB</td><td>AC</td><td>28/07/21</td></tr><tr><td>E</td><td>S.455 AMENDED SUBMISSION</td><td>PB</td><td>PB</td><td>11/11/21</td></tr></table>				NO.	REVISION	BY	CHK	DATE	A	FOR DA	JD	AC	11/09/20	B	FOR COUNCIL REF	JD	AC	20/11/20	C	FOR DA RE-SUBMISSION	JD	AC	21/01/21	D	S.455 SUBMISSION	PB	AC	28/07/21	E	S.455 AMENDED SUBMISSION	PB	PB	11/11/21	REVISION NOTES:				KEY PLAN				NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT'S AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.				OTHERS:				CLIENT: ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL., SYDNEY, 2000				ARCHITECT: SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST. SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM				PROJECT: 12 BURGE STREET VAUCLOSE, NSW 2030				DWG TITLE: SUN EYE VIEWS - SOLAR STUDY 02			
NO.	REVISION	BY	CHK	DATE																																																													
A	FOR DA	JD	AC	11/09/20																																																													
B	FOR COUNCIL REF	JD	AC	20/11/20																																																													
C	FOR DA RE-SUBMISSION	JD	AC	21/01/21																																																													
D	S.455 SUBMISSION	PB	AC	28/07/21																																																													
E	S.455 AMENDED SUBMISSION	PB	PB	11/11/21																																																													
<table><tr><th>NO.</th><th>REVISION</th><th>BY</th><th>CHK</th><th>DATE</th></tr><tr><td>A</td><td>FOR DA</td><td>JD</td><td>AC</td><td>11/09/20</td></tr><tr><td>B</td><td>FOR COUNCIL REF</td><td>JD</td><td>AC</td><td>20/11/20</td></tr><tr><td>C</td><td>FOR DA RE-SUBMISSION</td><td>JD</td><td>AC</td><td>21/01/21</td></tr><tr><td>D</td><td>S.455 SUBMISSION</td><td>PB</td><td>AC</td><td>28/07/21</td></tr><tr><td>E</td><td>S.455 AMENDED SUBMISSION</td><td>PB</td><td>PB</td><td>11/11/21</td></tr></table>												NO.	REVISION	BY	CHK	DATE	A	FOR DA	JD	AC	11/09/20	B	FOR COUNCIL REF	JD	AC	20/11/20	C	FOR DA RE-SUBMISSION	JD	AC	21/01/21	D	S.455 SUBMISSION	PB	AC	28/07/21	E	S.455 AMENDED SUBMISSION	PB	PB	11/11/21	CLOUD LEGEND <div></div> REVISION <div></div> ON HOLD				STATUS: THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.				DWG NO. A0454				REVISION E											
NO.	REVISION	BY	CHK	DATE																																																													
A	FOR DA	JD	AC	11/09/20																																																													
B	FOR COUNCIL REF	JD	AC	20/11/20																																																													
C	FOR DA RE-SUBMISSION	JD	AC	21/01/21																																																													
D	S.455 SUBMISSION	PB	AC	28/07/21																																																													
E	S.455 AMENDED SUBMISSION	PB	PB	11/11/21																																																													
												SCALE NOT TO SCALE				DATE 11/11/21																																																	

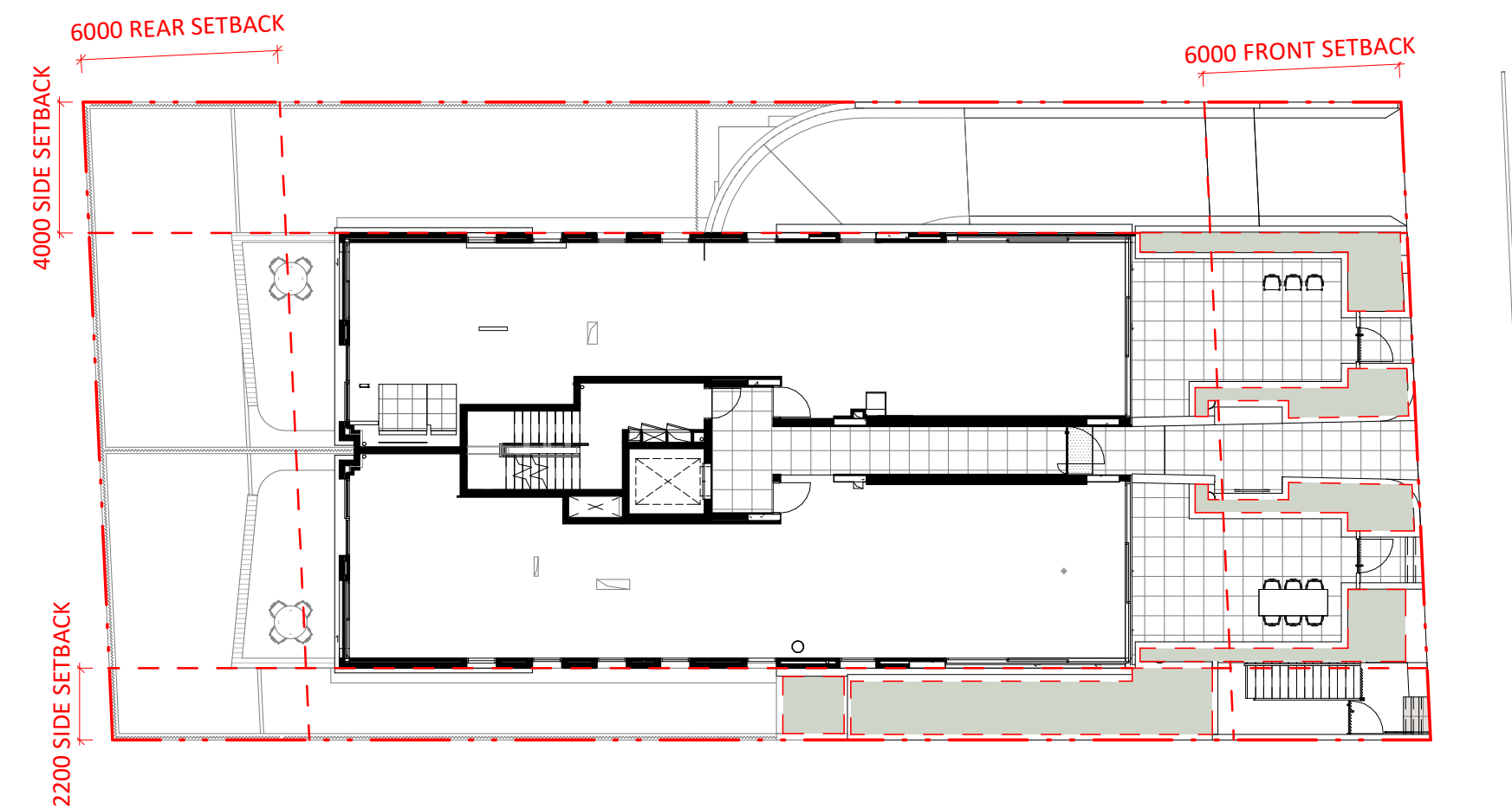
AMENDED PLANS

Koichi
Takada
Architects



Page 539 of 856



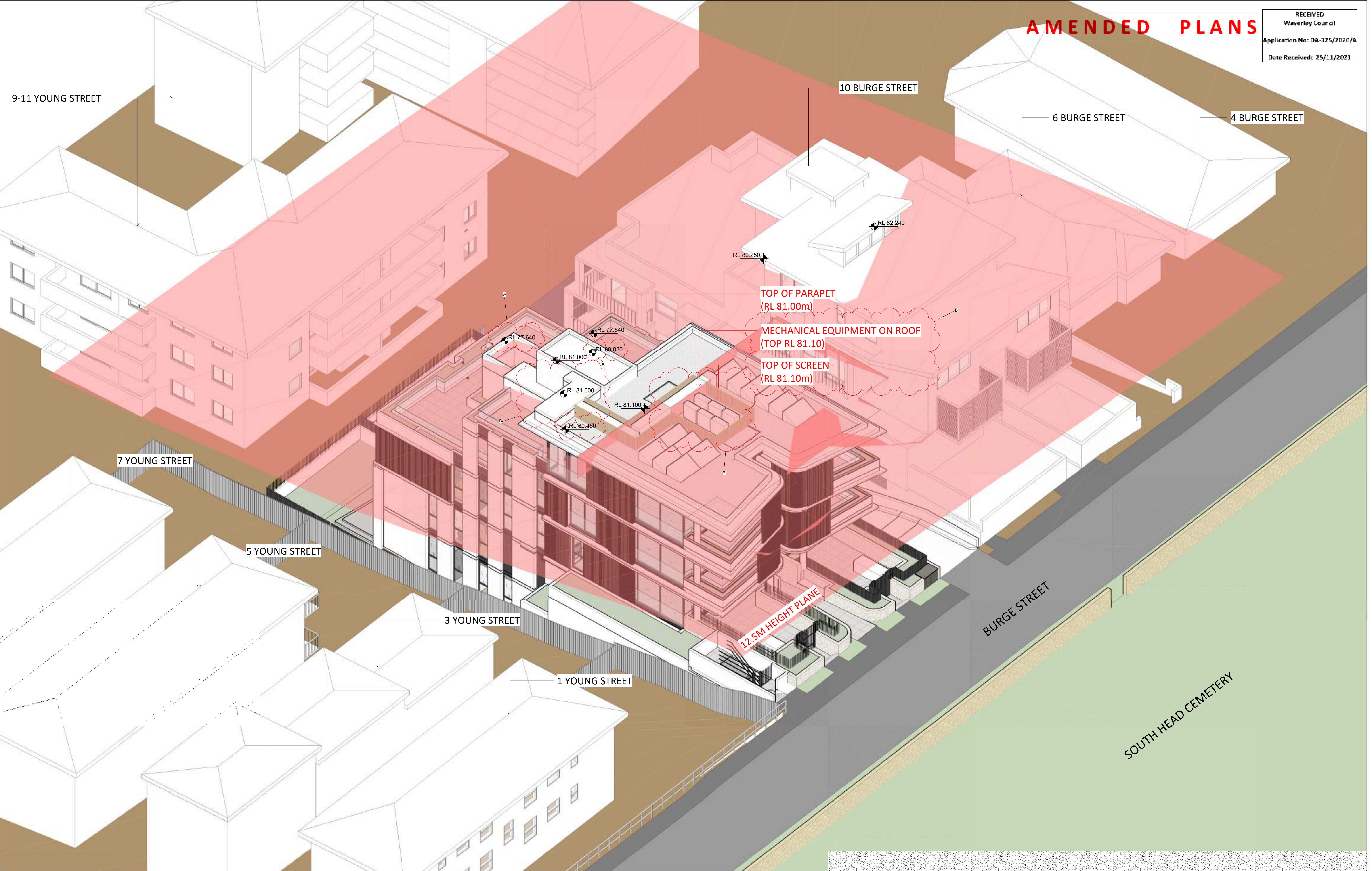
1 : 200


$$2) \frac{2}{1:20}$$

TOTAL SITE AREA 784m²

	REQUIRED LANDSCAPE AREA (MIN.)	235.2m ²	= 30% OF SITE AREA
	PROPOSED LANDSCAPED AREA	235.0m ²	= 30% OF SITE AREA
	DEEP SOIL AREA (MIN.)	117.6m ²	= 50% OF LANDSCAPE AREA
	PROPOSED DEEP SOIL AREA (MIN. 2m IN DIMENSION)	153.4m ²	= 65% OF LANDSCAPE AREA

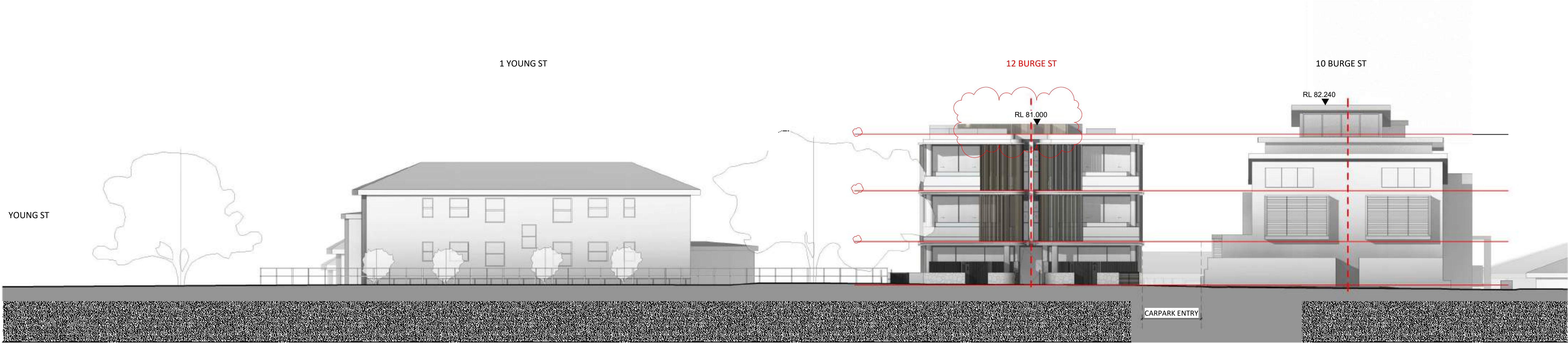
NO.	REVISION	BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES: KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KITA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KITA'S KNOWLEDGE OR CONSENT. IF ANY TIME DELAY IS INCURRED BY KTA AS A SA CONTROLLED DOCUMENT IT IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, ERECTATION, CONSTRUCTION OR INSTALLATIONS.	OTHERS	CLIENT ASPIRE LLEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	ARCHITECT SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS NSW 2010 T 02 9698 8510 ABN 83 131 385 898 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS- 16179 QLD ARCHITECTS 5590 KOICHITAKADA.COM	QA STAMP	PROJECT 12 BURGE STREET VAUCEUSE, NSW 2030	DWG TITLE LANDSCAPE DIAGRAMS
A	FOR CONSULTANT REVIEW	JQ	JAC	26/08/20								DWG NO. A0456	REVISION D
B	FOR DA	JQ	JAC	04/06/20									DATE 28/07/21
C	FOR DA	JQ	JAC	11/06/20									
D	S ASS SUBMISSION	PB	AC	28/07/21									



NO. / REVISION					BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	QA STAMP	PROJECT	DWG TITLE
A FOR CLIENT REVIEW					JD	GW	04/08/20			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.		ASPIRE	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ASN 63 131 365 896	<div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</div>	12 BURGE STREET VAUCLUSE, NSW 2030	HEIGHT PLANE DIAGRAM
B FOR CONSULTANT REVIEW					JD	AC	28/08/20		THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.		LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL, SYDNEY, 2000	NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI.TAKADA.COM				
C FOR DA					JD	AC	04/09/20									
D FOR DA					JD	AC	11/09/20									
E FOR COUNCIL RFI					JD	AC	20/11/20									
F FOR DA RE-SUBMISSION					JD	AC	21/01/21									
G S.455 SUBMISSION					PB	AC	26/07/21									
H S.455 AMENDED SUBMISSION					PB	PB	11/11/21									
CLOUD LEGEND														STATUS	DWG NO.	REVISION
<div><div></div> REVISION</div> <div><div></div> ON HOLD</div>															A0457	H
														SCALE	DATE	
														NOT TO SCALE	11/11/21	



BURGE STREET SOUTH ELEVATION - EXISTING (STREETSCAPE)

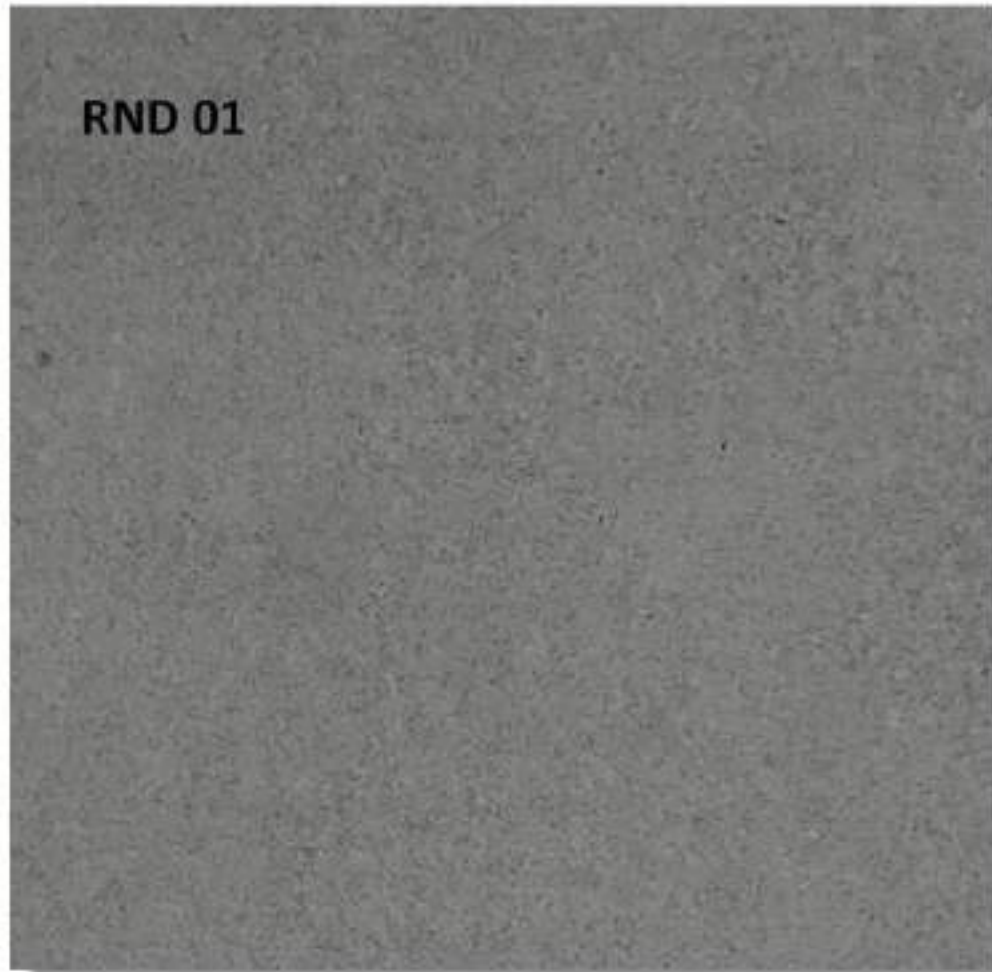


BURGE STREET SOUTH ELEVATION - PROPOSED

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CLIENT	ARCHITECT	QA STAMP	PROJECT	DWG TITLE			
A	FOR DA	JD	AC	04/09/20			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT & INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT. THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT. THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©. THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.		ASPIRE LEVEL 36, GATEWAY BUILDING, 1 MACQUARIE PL., SYDNEY, 2000	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 385 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	<div>THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS FOR CONSTRUCTION WITHOUT THE PRESENCE OF 'WIP', 'DRAFT' OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.</div>	12 BURGE STREET VAUCLUSE, NSW 2030	STREETSCAPE ANALYSIS			
B	FOR DA	JD	AC	11/09/20								STATUS	DWG NO. A0458	REVISION C		
C	S.455 SUBMISSION	PB	AC	28/07/21								SCALE NOT TO SCALE	DATE 28/07/21			
						CLOUD LEGEND	<div><div></div> REVISION</div> <div><div></div> ON HOLD</div>									

AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-325/2020/A
Date Received: 25/11/2021



AL 01
AL 03



GL 01
GL 02

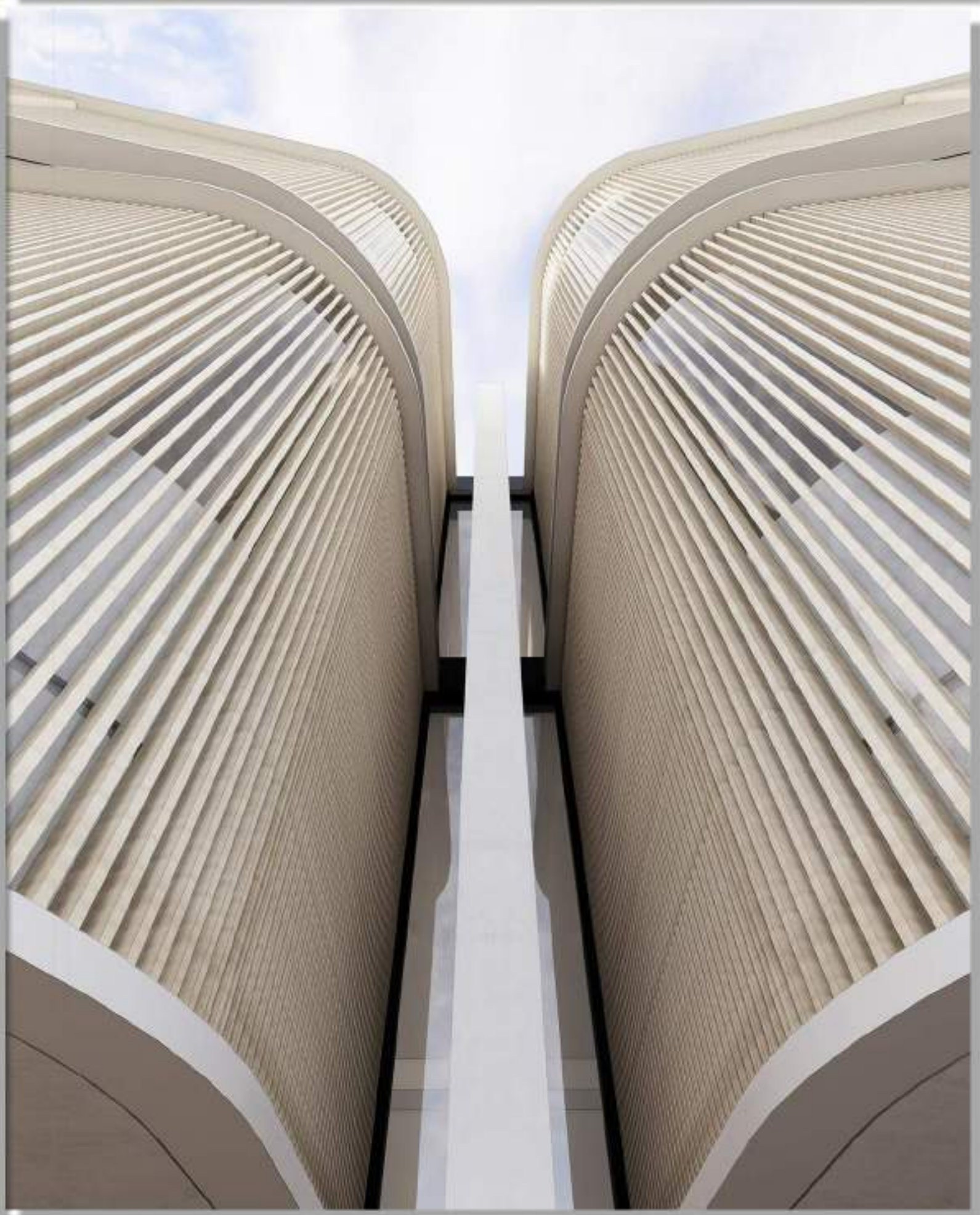
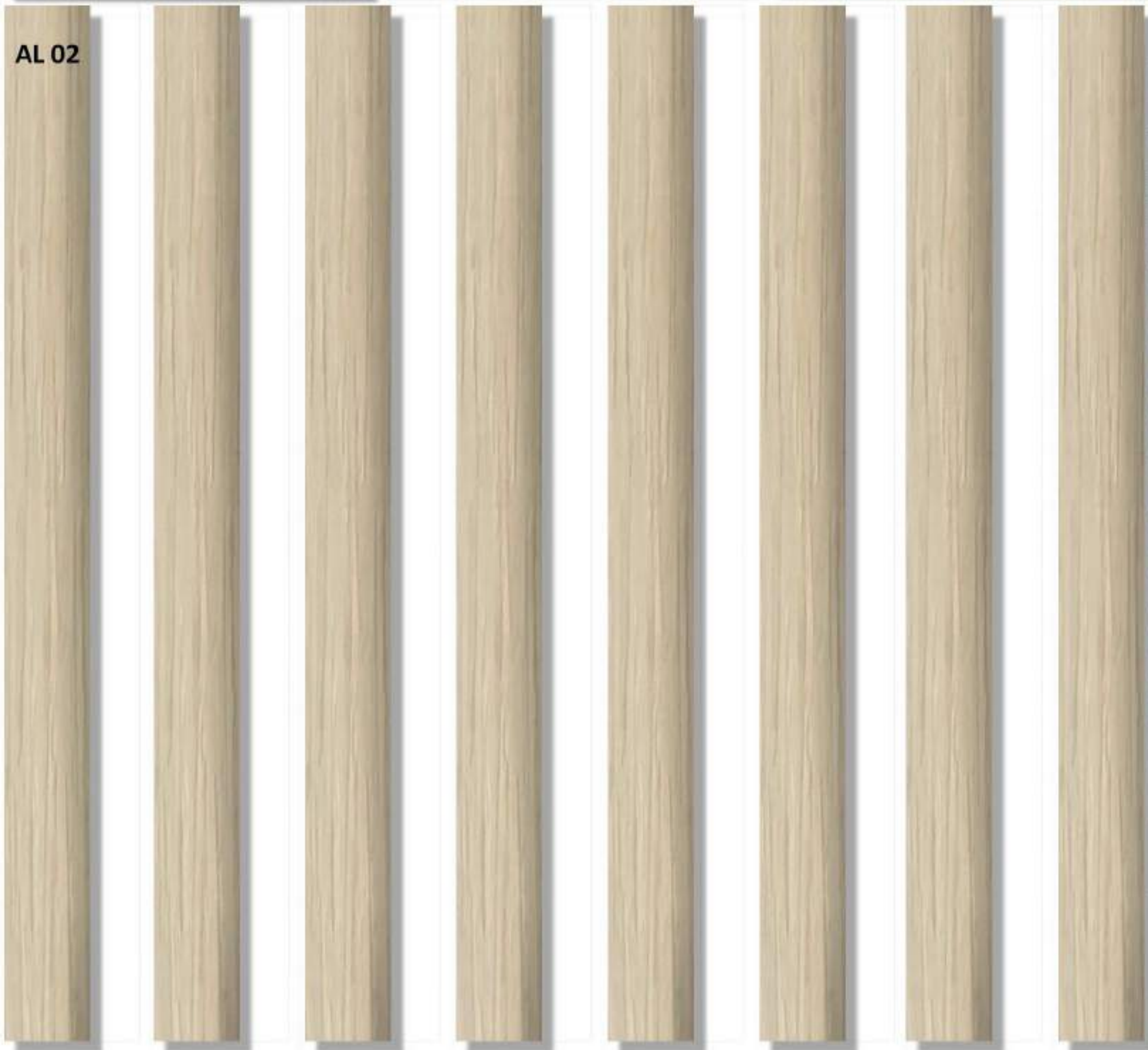


STN 01



RND 02

AL 02

[*Vaclave*]

LEGEND

AL 01
AL 02
AL 03
GL 01
GL 02

**DARK COLOUR ALUMINIUM BATTEN
OPERABLE TIMBER LOOK ALUMINIUM SCREEN
DARK COLOUR ALUMINIUM
CLEAR GLASS
GLASS BALUSTRADE**

RND 01
RND 02
STN 01

DARK CONCRETE LOOK FINISH
WHITE CONCRETE LOOK FINISH
SANDSTONE

[illegible]



Report to the Waverley Local Planning Panel

Application number	DA-79/2021
Site address	43 Ramsgate Avenue, Bondi Beach
Proposal	Alterations and additions to existing residential flat building including an additional floor level comprising a 2 bedroom apartment and provision of 3 existing apartments as affordable rental housing units.
Date of lodgement	8 March 2021
Owner	Forest Knoll Holdings Pty Ltd
Applicant	Forest Knoll Holdings Pty Ltd
Submissions	Eighteen (18) submissions
Cost of works	\$1,723,122
Principal Issues	<ul style="list-style-type: none"> • Side and rear setbacks • Building wall height • Landscaping • Heritage impacts • Privacy impacts • View loss • Car parking • Front fence height
Recommendation	That the application be APPROVED in accordance with the conditions contained in the report.

SITE MAP

1 PREAMBLE

1.1 Executive Summary

The development application seeks consent for alterations and additions to the existing 2 storey residential flat building including alterations to the lower ground level at the rear, an additional floor level comprising a 2 bedroom apartment and provision of 3 existing apartments as affordable rental housing at the site known as 43 Ramsgate Avenue, Bondi Beach.

The principal issues arising from the assessment of the application are as follows:

- Side and rear setbacks
- Building wall height
- Landscaping
- Heritage impacts
- Privacy impacts
- View loss
- Car parking
- Front fence height

The assessment finds these issues acceptable as the constraints presented by the proposed retention of the existing Interwar building results in non-compliances with planning controls that do not result in any significant building bulk or scale, streetscape, amenity, view loss or heritage impacts. On balance, the ability to retain the existing Interwar building will contribute positively to the character of the heritage conservation area and Bondi Beachfront Area. The proposal has adequately demonstrated that the proposed alterations and additions are generally consistent with the form and scale of immediately adjoining properties and is suitable for the site and the locality.

A total number of 18 submissions were received including 12 submissions from the original notification, 4 submissions from the re-notification of amended plans and 2 submissions from the second renotification period, and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation. No Councillor submissions were received.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for approval subject to conditions of consent.

1.2 Site and Surrounding Locality

A site visit was carried out on 22 April 2021.

The site is identified as Lot B in DP 315032, known as 43 Ramsgate Avenue, BONDI BEACH.

The site is rectangular in shape with a frontage to Ramsgate Avenue, measuring 12.19m. It has an area of 345.7m² and falls from the northern (front) boundary towards the southern (rear) boundary by approximately 3m.

The site is occupied by a 2 storey Inter War residential flat building containing 4 x 2 bedroom apartments and a lower ground level accessed from the rear of the building containing storage areas. The site has no vehicular access or parking.

The site is adjoined by a 4 storey residential flat building to the west at 41 Ramsgate Avenue and a 4 storey residential flat building (including affordable housing) with one level of basement car parking is currently under construction to the east at 45-47 Ramsgate Avenue.

The locality is characterised by a variety of low to medium density residential development including a 3 storey residential flat buildings, 2 storey semi-detached dwellings, single storey detached dwellings on the northern side of Ramsgate Avenue, 3 to 4 storey residential flat buildings immediately to the south and south-west fronting Warners Avenue, two storey detached dwellings to the south and south-east fronting Campbell Parade as well as 3 to 4 storey residential flat buildings further to the south-east. **Figures 1 to 9** are photos of the site and its context.



Figure 1: View of subject site and existing residential flat building from Ramsgate Avenue



Figure 2: View of residential flat building to the west at 41 Ramsgate Avenue from Ramsgate Avenue



Figure 3: View of 45-47 Ramsgate Avenue looking south from Ramsgate Avenue (dwellings have since been demolished and construction has commenced for a 4 storey residential flat building)



Figure 4: Existing developments to the east of the site viewed from Ramsgate Avenue



Figure 5: View of existing developments on the opposite the site on the northern side of Ramsgate Avenue



Figure 6: Existing two storey dwellings on the northern side of Ramsgate Avenue, looking north-east from the site



Figure 7: View north-west from rear courtyard of subject site



Figure 8: View south-east from rear courtyard of subject site



Figure 9: Existing northern elevation of 144 Warners Avenue looking south-west at rear of subject site

1.3 Relevant Development History

A search of Council's records revealed no recent or relevant development history for the site.

1.4 Proposal

The development application seeks consent for alterations and additions to the existing 2 storey residential flat building, specifically the following:

- A new second floor addition consisting of a 2 bedroom apartment with a terrace to the rear;
- Alterations to the lower ground level to provide storage rooms and a communal garbage and laundry rooms;
- Landscaping to the rear communal outdoor area; and
- Change of use of 3 existing apartments on the ground and first floor levels to affordable rental housing apartments.

1.5 Background

The development application was lodged on 8 March 2021 and deferred on 14 May 2021 for the following reasons:

1. Bulk, scale and design amendments recommended by the Waverley Design Excellence Panel to reduce building bulk from the streetscape, impacts on views, and enhance the amenity of adjoining properties and future occupants.
2. Visual prominence of the additional floor level to be reduced by reducing front and side setback and reduce the number of apartments on the roof level to 1 apartment.
3. View loss analysis impact on surrounding properties.
4. Privacy impacts on adjoining properties from proposed rear balconies.
5. Additional elevational shadow diagrams to show impacts on adjoining properties.
6. Variation to FSR Development Standard is not supported due to proposed building bulk and amenity impacts on adjoining properties.
7. Insufficient waste storage facilities.

At the time of preparing the deferral letter, Council's Heritage Advisor comments were pending. Subsequently, the applicant sought an extension of time to respond to the issues raised, upon receipt of comments from Council's Heritage Advisor.

The applicant submitted amended bin storage drawings, view analysis and draft design options for the roof level for consideration on 2 June 2021. Council provided feedback advising that further reductions in bulk and scale of the upper level was required. Furthermore, additional stormwater management details were requested to be submitted as part of the amended set of plans.

On 13 July 2021, amended plans were submitted to address Council's deferral letter including:

- reconfiguration of the lower ground floor to include bicycle storage, direct access from garbage storage room to the eastern side boundary and designated bulk waste and problem waste storage areas;
- privacy screening to rear balconies on the ground and first floors;
- increased front and side setbacks on the new second floor level including reconfiguration from 2 x 1 bedroom apartments to 1 x 2 bedroom apartment with 2 front terraces and a rear terrace area.

On 28 July 2021, the applicant submitted evidence that a reasonable attempt had been made to obtain consent of adjoining property owners for the creation of a stormwater easement towards Warners Avenue. Subsequently, consent was not granted by the owners of adjoining properties. Council's Stormwater Engineer is satisfied with the attempt made by the applicant and raises no objection to the proposed stormwater management plan, subject to conditions which have been included in Appendix A.

Following further discussions with Council's assessment officer, the applicant sought to amend the scope of the proposal to include the provision of 3 affordable rental housing apartments within the development in accordance with the requirements for affordable rental housing under the State Environmental Planning Policy (Affordable Rental Housing) (ARH SEPP) 2009. Subsequently, the proposal was deferred on 26 October 2021 to enable the applicant to submit amended plans and additional information addressing relevant provisions of the SEPP (ARH) 2009.

On 11 November 2021, the applicant submitted amended plans including amending the proposal to provide 3 affordable rental housing apartments comprising of existing ground and first floor apartments and addressing FSR by achieving compliance with the maximum permitted FSR under Clause 13 of the SEPP (ARH) 2009. The amended proposal has provided adequate information to enable a proper assessment against relevant planning controls under the SEPP (ARH) 2009, Waverley LEP 2012 and Waverley DCP 2012.

2 ASSESSMENT

The following matters are to be considered in the assessment of this development application under section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act).

2.1 Planning Instruments and Development Control Plans

The following is an assessment against relevant legislation, environmental planning instruments, including State environmental planning policies (SEPPs), and development control plans.

2.1.1 State Environmental Planning Policies (SEPPs)

The following SEPPs apply and have been considered acceptable in the assessment of this development application:

- SEPP (Building Sustainability Index – BASIX) 2004.
- SEPP 55 Remediation of Land.
- SEPP (Affordable Rental Housing) 2009.
- SEPP (Housing) 2021.

A detailed discussion is provided for relevant SEPPs as follows:

SEPP (Affordable Rental Housing) 2009

The proposed and amended development is defined as ‘infill affordable housing’ and is subject to the provisions of Part 2, Division 1 of SEPP (Affordable Rental Housing) 2009 or the ARH SEPP. Having regard to the Savings Provisions contained in SEPP (Housing) 2021, the proposal is assessed against SEPP (Affordable Rental Housing) 2009, being the applicable SEPP at time of lodgement of the application.

Table 1 of this report is an assessment of the proposed development against standards that cannot be used to refuse consent that are outlined by clause 29 of the ARH SEPP.

Table 1: Standards that cannot be used to refuse under the ARH SEPP

Development Standard	Compliance	Comment
Clause 13(2) of ARH SEPP FSR <i>(2) The maximum floor space ratio for development to which this Division applies is the existing maximum floor space ratio for any form of residential accommodation permitted on the land on which the development is to occur, plus—</i> <i>(a) if the existing maximum floor space ratio is 2.5:1 or less—</i> <i>(i) 0.5:1—if the percentage of the gross floor area of the development that is used for affordable housing is 50 per cent or higher,</i>	Yes	The proposal has a FSR of 1.39:1 which is consistent with the maximum FSR of 1.4:1 permitted under the bonus afforded under this SEPP as 3 apartments with a gross floor area of 257m ² (representing 53% of the development) will be provided as affordable rental housing.
Clause 14(1)(b) of ARH SEPP Site Area <i>if the site area on which it is proposed to carry out the development is at least 450 square metres,</i>	No	The site has an area of 345.6m ² which does not achieve the minimum site area under the SEPP. However, given that the site is currently occupied by a residential flat building that will be substantially retained, the site area is considered acceptable and should not be a reason for refusal.

Development Standard	Compliance	Comment
<p>Clause 14(1)(c) of ARH SEPP</p> <p>Landscaped area</p> <p><i>if—</i></p> <p><i>(ii) in any other case—at least 30 per cent of the site area is to be landscaped,</i></p>	No	Existing landscaping on the site is limited to landscaping within the front setback and a raised planter in the rear open space. The proposal maintains existing landscaping in the front setback and seeks to increase landscaping within the rear open space comprising of turf and additional planters. The proposal provides 15.1% of landscaped area to the site and does not comply with the minimum 30% requirement, however given the retention of the existing building footprint and additional landscaping provided at the rear of the site, the non-compliance is acceptable in this instance
<p>Clause 14(1)(d) of ARH SEPP</p> <p>Deep soil</p> <p><i>if, in relation to that part of the site area (being the site, not only of that particular development, but also of any other associated development to which this Policy applies) that is not built on, paved or otherwise sealed—</i></p> <p><i>(i) there is soil of a sufficient depth to support the growth of trees and shrubs on an area of not less than 15 per cent of the site area (the deep soil zone), and</i></p> <p><i>(ii) each area forming part of the deep soil zone has a minimum dimension of 3 metres, and</i></p> <p><i>(iii) if practicable, at least two-thirds of the deep soil zone is located at the rear of the site area,</i></p>	Yes	The proposal will provide a total deep soil area of 15.1% of the site area and complies with the requirement of the SEPP. Approximately 79.1% of the deep soil area is located at the rear of the site within the communal open space.

Development Standard	Compliance	Comment
<p>Clause 13(1)(e) of ARHSEPP</p> <p>Solar access</p> <p><i>if living rooms and private open spaces for a minimum of 70 per cent of the dwellings of the development receive a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.</i></p>	<p>No – acceptable on merit</p>	<p>All existing and proposed apartments will receive at least 3 hours of solar access to north and north-west facing habitable rooms between 9am and 2pm in midwinter. No change is proposed to the existing internal layout of the ground and first floor apartments which comprises bedrooms to the north and living areas to the south (with window openings on the north-western elevation).</p> <p>No change is proposed to existing solar access to living area windows to the ground and first floor apartments, noting some solar access is currently provided between 10am and 11am in mid-winter.</p> <p>The proposed south facing balconies to the ground and first floor apartments will not receive any direct solar access. This is considered acceptable in this instance, having regard to the constraints presented by retaining the existing layout and external façade of the ground and first floor levels.</p> <p>The new apartment on the upper floor level will achieve compliance with solar access requirements for living area and private open space in mid-winter and is acceptable.</p>
<p>Clause 14(2)(a) of ARHSEPP</p> <p>Parking</p> <p><i>if:</i></p> <p><i>(ii) in any other case—at least 0.5 parking spaces are provided for each dwelling containing 1 bedroom, at least 1 parking space is provided for each dwelling containing 2 bedrooms and at least 1.5 parking spaces are provided for each dwelling containing 3 or more bedrooms,</i></p>	<p>No – acceptable on merit</p>	<p>The site does not currently contain any on-site parking. No change to the existing is proposed.</p> <p>The provision of car parking on the site will adversely affect the retention of the existing Inter War building and will not result in a desirable outcome for the site or the streetscape. The site is accessible to public transport and maintaining no on site car parking is considered acceptable in this circumstance.</p>

Development Standard	Compliance	Comment
Clause 14(2)(b) of ARHSEPP Dwelling size <i>if each dwelling has a gross floor area of at least—</i> <i>(iii) 70 square metres in the case of a dwelling having 2 bedrooms, or</i>	Yes	The proposal comprises 5 x 2 bedroom apartments with gross floor areas of 85.67m ² (existing apartments on the ground and first floors) and 81.4m ² (new upper floor apartment). The proposal provides apartments with areas measuring greater than the minimum requirement for 2 bedroom apartments.

Clause 16A Character of local area

Clause 16A of the ARH SEPP states the following:

A consent authority must not consent to development to which this Division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.

The planning principle of ‘compatibility of proposal with surrounding development’ arising from the NSW Land and Environment Court case of *Project Venture Developments v Pittwater Council [2005] NSWLEC 191* provides a framework to consider the design compatibility of proposal development with the character of the surrounding local area. Two key questions asked in that planning principle to test the compatibility of a development within its context are as follow:

- *Are the proposal’s physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.*
- *Is the proposal’s appearance in harmony with the buildings around it and the character of the street?*

The physical impacts of the proposed development, in terms of overshadowing, view affectation, privacy and visual amenity, upon surrounding development are deemed acceptable on the principal basis that the development complies with key built form development standards such as building height and FSR, and is compatible with the setbacks of immediately adjoining properties. The proposal maintains and upgrades an existing Inter War residential flat building, which is considered to be an appropriate response to the site in maintaining the character of the local area.

SEPP 65 (Design Quality of Residential Apartment Design)

The application was referred to the Waverley Design Advisory Excellence Panel (DEAP) on 14 April 2021. The DEAP’s comment of the proposed development against the nine design quality principles under Schedule 1 of SEPP 65 and a planning response to each comment are set out in **Table 2** of this report.

Table 2: Assessment against the Nine Design Quality Principles under SEPP 65

Principle	Panel's Comment	Planning Comment
1. Context and Neighbourhood	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• The retention of the existing character building with discreet setback upper level preserves the building character whilst enabling continued development. This approach is supported by the Panel.</i> <i>• The Panel expressed concern about potential view impedance from surrounding properties and recommended that a view loss analysis is undertaken to determine whether the proposed built form will result in adverse outcomes for neighbours.</i> <i>• A precinct plan that shows wider context would assist in the preparation and analysis of any view loss impacts.</i> 	<p>The amended proposal seeks to retain the existing floor levels and external walls of the Inter War building. Notwithstanding the removal of the existing pitched roof and construction of a new upper level with a flat roof form, the new floor level is appropriately recessed from the existing external walls of the two storey residential flat building and will not dominate the façade.</p> <p>The amended proposal has increased the front and side setbacks at the upper floor level to minimise the extent of the new building envelope which extends beyond the area currently occupied by the pitched roof form. As demonstrated by the submitted view analysis, the proposal will not result in any detrimental view loss impacts from surrounding properties given the approved built forms of developments immediately to the east, south-east and south of the site.</p>
2. Built form and Scale	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• The setback upper level is not overly visible from the street.</i> <i>• The overall massing is aligned to adjacent buildings.</i> <p><i>The proposal does not achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• There is an overall exceedance of the height and FSR, and while this does not appear to create any adverse environmental impacts this should be carefully assessed against view and solar access and shadowing on the neighbouring buildings, as well as impacts on solar access to private open space which may be a positive.</i> <i>• The rear opening from living areas to the terrace is facing west to</i> 	<p>Noted.</p> <p>The amended proposal presents a built form of lesser visual impact than the originally submitted proposal as the front and side setbacks have been increased. The scale of the proposal complements the built form and scale of immediately adjoining residential flat buildings to the west (41 Ramsgate Avenue) and the proposed four storey residential flat building currently under construction to the east (45-47 Ramsgate Avenue).</p> <p>The amended proposal which seeks to provide infill affordable rental housing under the provisions of the SEPP (ARH) 2009, complies with the maximum permitted FSR under Clause 13 of the SEPP. The proposal has demonstrated that the additional floor level will not result in any adverse amenity impacts</p>

Principle	Panel's Comment	Planning Comment
	<i>north-west and will be exposed to extremes of summer sun and wind driven rain. It is recommended that a simple profiled hood is provided over the large sliding doors to address this issue.</i>	on adjoining properties particularly with regards to overshadowing or loss of privacy and is acceptable.
3. Density	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• The proposal consists of 2x additional dwellings which will not result in an increased density creating negative environmental impacts as noted elsewhere.</i> <i>• Retention of the existing building fabric as part of continued development in a complementary manner is supported by the panel</i> <i>• Further consideration could be given to ceiling fans for living areas and bedrooms, p/v solar panels, water re-use and additions to the existing building to increase sustainable approach.</i> 	<p>Noted.</p> <p>The amended proposal has reduced the number of new apartments on the upper level to contain a 1 x 2 bedroom apartment. The front and side setbacks of the upper floor level have been increased to provide greater building separation and reduce building bulk, and minimise amenity impacts to adjoining properties.</p> <p>The proposal will improve the amenity of existing apartments on the ground and first floors with private balconies accessed directly from principal living areas.</p> <p>The proposal for a total of 5 x 2 bedroom apartments on the site is consistent with the density and scale of developments in the surrounding area and is suitable for the site.</p>
4. Sustainability	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• Retention of the existing building as part of continued development is supported by the Panel and is a good example of utilizing and enhancing existing building stock.</i> <i>• Further consideration could be given to ceiling fans for living areas and bedrooms, solar panels, water re-use and additions to the existing building to complement a sustainable design approach.</i> 	<p>Noted.</p> <p>The retention of the existing Inter War building is supported as it results in positive environmental outcome in comparison to demolition of the existing building and construction of a new residential flat building.</p> <p>A Basix Certificate has been prepared and submitted with the proposal which satisfactorily achieves minimum sustainability requirements.</p>
5. Landscape	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>• Removal of concrete at rear yard will allow deep soil for quality landscaping.</i> 	Agreed.

Principle	Panel's Comment	Planning Comment
	<ul style="list-style-type: none"> <i>The panel supports the sophisticated use of additional tree and shrub planting in deep soil zones and in planters.</i> 	
6. Amenity	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>Basement sub-floor storage levels are reconsidered to provide bicycle parking.</i> <i>Rear stair access is removed to provide private open space to dwellings.</i> <p><i>The Panel would also recommend:</i></p> <ul style="list-style-type: none"> <i>Consideration be given to connecting living spaces with proposed balconies, but this would require some structural consideration.</i> <i>Consideration be given to protecting living spaces with sun hoods over the opening to proposed balconies.</i> 	<p>The amended proposal has included bicycle parking and storage within the existing lower ground floor at the rear of the site.</p> <p>There is no change to the internal layout of existing apartments on the ground and first floors. The amended proposal has incorporated sun shading to the rear first floor balconies.</p>
7. Safety	<p><i>The proposal does not change the existing conditions with regard to this principle. Rejuvenation should include additional lighting at the main entry address and communal stairs, and the communal garden design should include lighting and wayfinding to ensure safe and inviting use.</i></p>	<p>Noted.</p> <p>No change is proposed to the setback or access between the public domain and the primary entry to the existing building. Given the proximity of the building to the street boundary (between 4m and 4.2m) no additional treatments are considered necessary to maintain or enhance safety.</p>
8. Housing Diversity and Social Interaction	<p><i>The proposal does achieve this principle in the following ways:</i></p> <ul style="list-style-type: none"> <i>By providing additional housing however consideration and in a format that is different to the existing and meets more modern apartment design standards.</i> 	<p>The amended proposal includes provision of 3 of the 5 apartments for affordable rental housing under the ARH SEPP which will contribute to affordable housing stock within the Waverley LGA.</p> <p>The alterations to the rear open space will provide a landscaped communal open space that will be accessible for all residents.</p>
9. Aesthetics	<p><i>The proposal does achieve this principle in the following ways:</i></p>	<p>Agreed.</p>

Principle	Panel's Comment	Planning Comment
	<ul style="list-style-type: none"> • <i>Retention of the existing character and integrating this character into the new built form.</i> • <i>Material differentiation between new and old building elements, including use of materials with reference to site and contextual history.</i> • <i>Renewal of the front garden and street walls.</i> 	

Apartment Design Guide

Clause 6A of SEPP 65 requires that development control plans (DCPs) cannot be inconsistent with the Apartment Design Guide (ADG) in respect of the following:

- (a) visual privacy,
- (b) solar and daylight access,
- (c) common circulation and spaces,
- (d) apartment size and layout,
- (e) ceiling heights,
- (f) private open space and balconies,
- (g) natural ventilation,
- (h) storage.

If a DCP contains provisions that specify requirements, standards or controls in relation to a matter to which this clause applies, those provisions are of no effect. An assessment against the provisions within the ADG is provided in **Table 3** of this report.

Table 3: Apartment Design Guide

Design Criteria	Compliance	Comment
3F Visual privacy		
<ul style="list-style-type: none"> • Min separation distances from buildings to side and rear boundaries: • Up to 12m (4 storey) – 6m habitable & 3m non-habitable 	Partially complies - acceptable on merit	No change is proposed to the existing setbacks on the lower ground, ground and first floor levels (0.8m along the western side boundary, 1m along the eastern side boundary and 3m to the rear boundary). The existing rear setback at lower ground level measures 7.3m and 5.8m on the ground and first floors and will be retained. The existing rear setbacks do not comply with the minimum separation of 12m from the adjoining property to the south as the existing residential flat building at 144 Warners Avenue is setback approximately 2.7m from the boundary. The rear setback of the upper floor level measures 7.3m

Design Criteria	Compliance	Comment
		<p>from the edge of the proposed terrace and does not comply with the minimum building separation control between habitable rooms and balconies however, it is considered acceptable as the proposed terrace does not provide direct sightlines to window openings at 144 Warners Avenue, with principal outlook across the pitched roof of 144 Warners Avenue towards Bondi Beach.</p> <p>Given that the existing building is being retained, the non-compliant side setbacks are acceptable.</p>
4A Solar and daylight access		
<ul style="list-style-type: none"> Living rooms and private open spaces of at least 70% of units receive minimum of 2 hours direct sunlight between 9am-3pm mid-winter A maximum of 15% receive no direct sunlight between 9am-3pm mid-winter. 	Yes	<p>All apartments will receive at least 2 hours of sunlight in mid-winter however, only the private open space of the new apartment on the upper floor level will receive direct sunlight as the rear (southern elevation) of the existing building is currently overshadowed by adjoining development and does not receive direct sunlight.</p> <p>All apartments are dual aspect and as such all receive some direct sunlight mid-winter.</p> <p>The proposal is consistent with the remaining objectives of this part of the ADG ensuring that daylight access is satisfactory and incorporating shading in the warmer months.</p>
4B Natural ventilation		
<ul style="list-style-type: none"> All habitable rooms are naturally ventilated Number of units with natural cross ventilation is maximised: <ul style="list-style-type: none"> At least 60% of units naturally ventilated 	Yes	<p>All apartments are naturally cross ventilated. All habitable rooms are provided with at least one window for natural ventilation.</p>
4C Ceiling heights		
<ul style="list-style-type: none"> Habitable rooms – 2.7m Non-habitable rooms – 2.4m 	Yes	<p>All apartments have a minimum 2.7m ceiling heights.</p>
4D Apartment size and layout		
<p>The following minimum internal areas apply:</p> <ul style="list-style-type: none"> 2 Bed = 70 m² Add 5m² for each additional bathroom (above 1) 	Yes	<p>The existing apartments on the ground and first floor have gross floor areas of 85.67m² which complies with the minimum apartment size for 2 bedroom apartments.</p> <p>The proposed new 2 bedroom apartment on the upper floor level has an area of 81.4m² and complies with the minimum apartment size for a 2 bedroom apartment including an additional ensuite bathroom.</p>

Design Criteria	Compliance	Comment
<p>Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room.</p> <p>Bedrooms to have a minimum dimension of 3m (excluding wardrobe space).</p> <p>Wardrobes are to have a minimum length of 1.5m</p> <p>Living rooms or combined living/dining rooms have a minimum width of:</p> <ul style="list-style-type: none"> 4m for 2 and 3 bedroom apartments 		<p>The Applicant states the proposal achieves compliance with the minimum glazed area to each habitable room.</p> <p>All bedrooms achieve the minimum required dimension of 3m.</p> <p>All robes are a minimum of 2.2m.</p> <p>The living areas within the existing and proposed apartments comply with the minimum width of 4m.</p>
4E Private open space and balconies		
<p>All apartments provide primary balcony as follows:</p> <ul style="list-style-type: none"> 2-bed - 10m² & 2m depth 	Yes	<p>All apartments are provided with private balconies to the rear on the ground and first floor levels measuring 4.7m² with a depth of 1.3m. The proposed depth and area of the new balconies do not comply with the minimum balcony designs however, the balconies will provide additional amenity for occupants of the ground and first floor apartments without adverse impacts on the amenity of adjoining properties as privacy screens as privacy screens are provided to enhance privacy.</p> <p>The apartment on the upper floor level has two front terraces with depths of 1m and are 3.1m² in area, accessed from bedrooms and a rear 15m² terrace (2.4m in depth) accessed directly from the principal living areas. The terrace areas adjacent to bedrooms have a northern aspect and will provide additional amenity to occupants with outlook towards the street. The front terraces are not intended as principal private open space therefore the proposed dimensions and areas are acceptable. The proposed rear terrace provides a greater depth and area than the minimum 10m² and 2m depth and is acceptable.</p>
4F Common circulation and spaces		
<ul style="list-style-type: none"> Max of 8 units accessed off a circulation core on a single level 	Yes	<p>The existing building has 2 apartments per floor level and the new upper floor level consists of 1 apartment.</p>

Design Criteria	Compliance	Comment
4G Storage		
In addition to kitchens, bathrooms and bedrooms, the following is provided: <ul style="list-style-type: none"> • 2-bed – 8m³ 	Yes	Storage is provided within each apartment with additional storage is proposed within existing storage areas on the lower ground floor level. A condition has been imposed to ensure that adequate storage is provide for each apartment within the lower ground floor level and meets the requirements of the ADG.

The following is a detailed discussion of the issues identified in **Table 3** of this report in relation to the ADG.

Side Setbacks

The side setback of the upper level to the eastern and western side boundary has been maximised while providing an adequate internal apartment width to provide good internal amenity for future occupants. Notwithstanding the numerical non-compliance of the upper level side setbacks, it is noted that the proposed side setbacks are greater than the existing setback of the ground and first floor levels and will provide greater building separation to adjoining properties. The eastern side setback of 2.39m from the eastern boundary is acceptable in this circumstance as the approved setback for the residential flat building at 45-47 Ramsgate Avenue measures approximately 2m to the shared property boundary and comprises of a solid blank wall with off set windows that will not be directly overlooked by the proposal. The proposed setback to the eastern boundary at the upper level complements the setback at 45-47 Ramsgate Avenue when viewed from the public domain and is contextually appropriate.

The proposed setback of the upper floor level to the western boundary measures 2.28m and is setback approximately 7.34m from existing window openings at 41 Ramsgate Avenue. The side setback of 41 Ramsgate Avenue to the subject site is approximately 5.1m comprising of a driveway from Ramsgate Avenue to the basement car park. The existing residential flat building on the subject site is setback 0.8m from the western side boundary and does not provide compliant building separation required under the ADG. Having regard to the narrow width of the site (12.2m), the proposed side setbacks are considered appropriate in maintaining balance of the built form and contributing to building separation from adjoining properties. The proposed window openings on the western elevation will not result in any unacceptable amenity impacts to 41 Ramsgate Avenue, subject to privacy treatments which have been included as a condition in Appendix A.

2.1.2 Waverley Local Environmental Plan 2012 (Waverley LEP 2012)

The relevant matters to be considered under the Waverley LEP 2012 for the proposed development are outlined below:

Table 4: Waverley LEP 2012 Compliance Table

Provision	Compliance	Comment
Part 1 Preliminary		
1.2 Aims of plan	Yes	The proposal is consistent with the aims of the Plan, particularly the provision of affordable rental housing apartments contributes to the range of housing stock to meet the needs of the community.
Part 2 Permitted or prohibited development		
Land Use Table <ul style="list-style-type: none"> R3 Medium Density Residential Zone 	Yes	The proposal is defined as residential flat building, which is permitted with consent.
Part 4 Principal development standards		
4.3 Height of buildings <ul style="list-style-type: none"> 12.5m 	Yes	The proposal has a height of 9.5m to 9.64m at the front elevation and between 10.22m and 11.51m at the rear, which is well within the maximum height control for the site.
4.4 Floor space ratio <ul style="list-style-type: none"> 0.9:1 1.4:1 with bonus under the ARH SEPP 	Yes	The proposal has a FSR of 1.39:1 which exceeds the FSR development standard under the Waverley LEP 2021, however it does not exceed the maximum additional FSR permitted for infill affordable rental housing under Clause 13 of the ARH SEPP as discussed previously in this report.
Part 5 Miscellaneous provisions		
5.10 Heritage conservation	Yes	The site is not identified as a heritage item however, the existing building is identified as a contributory building within the Bondi Beach Heritage Conservation Area (C2) in Schedule 5 of the Waverley LEP 2021. As previously discussed, the plans originally lodged were referred to Council's Heritage Advisor for comment and the application was subsequently amended to address the concerns raised by Council's Heritage Advisor. The scope of works as demonstrated by the amended plans does not detrimentally impact the character or contribution of the Inter War building within the conservation area or streetscape.
Part 6 Additional local provisions		
6.1 Acid sulfate soils	Yes	The site is identified as containing Class 5 Acid Sulfate soils. The proposed scope of works does not include any significant excavation and will not result in any environmental impacts.

2.1.3 Waverley Development Control Plan 2012 (Waverley DCP 2012) – Amendment No.9

The relevant matters to be considered under the Waverley DCP 2012 for the proposed development are outlined below:

Table 5: Waverley DCP 2012 – Part B General Provisions Compliance Table

Development Control	Compliance	Comment
1. Waste	Yes	Satisfactory.
2. Ecologically Sustainable Development	Yes	Satisfactory.
3. Landscaping and Biodiversity	Yes	Satisfactory.
6. Stormwater	Yes	Satisfactory.
7. Accessibility and Adaptability	Yes	Satisfactory. The proposal seeks to retain the existing building that consists of walk up apartments. Accessible paths of travel are provided to ground floor apartments from the street. A ramp along the eastern side boundary seeks to improve accessibility within the site to the lower ground floor facilities and rear open space.
8. Transport <u>Zone 2</u> Minimum parking rate: <ul style="list-style-type: none"> Nil Maximum parking rate: <ul style="list-style-type: none"> 6 spaces Visitor parking: <ul style="list-style-type: none"> 1 space Motorcycle parking: <ul style="list-style-type: none"> 2 Bicycle parking: <ul style="list-style-type: none"> 1 	Yes	<p>The proposal does not seek to provide any on site car parking or motorcycle parking spaces. The site does not currently have vehicular access and is in a locality with good access to public transport and services, therefore the proposal to maintain no vehicular access, is acceptable.</p> <p>The proposal includes bicycle storage for 3 bicycles within the lower ground floor storage areas and is compliant with the bicycle parking requirements.</p>
9. Heritage	Yes	<p>The substantial retention of the existing Inter War building maintains a positive contribution to the character of the conservation area.</p> <p>The proposal to include a new floor level does not detract from the character or significance of the Bondi Beach Conservation Area (C2) as the form and scale of the proposal is consistent with contemporary developments immediately adjoining properties on the southern side of Ramsgate Avenue. The proposed alterations and additions are appropriately setback from the existing external walls of the Inter War building</p>

Development Control	Compliance	Comment
		<p>façade and will not dominate the front façade which will retain the architectural features of the existing building. The removal of the existing pitched roof and replacement with a new floor level consisting of a flat roof form is acceptable in this instance as it facilitates the retention and upgrade of the existing building, and the new addition is predominantly contained within the roof space occupied by the pitched roof. As such, the proposed addition is of an appropriate scale to the existing building, complements the surrounding streetscape which is undergoing a period of transition with contemporary built forms and architectural style developments.</p> <p>The proposed landscaping within the front building setback is consistent with the landscaped character of adjoining properties on the southern side of Ramsgate Avenue and is supported.</p> <p>The proposed new front fence comprising of palisade fencing above a low height solid base is generally consistent with the style of front fences within the conservation area and existing streetscape. However, due to the slope of the street from west to east, the height of the front fence measures 1m high at the north-western corner and 1.5m high at the south-eastern corner of the front boundary. Notwithstanding the non compliance, the design of the front fence complements the architectural character of the building, does not detract from the streetscape and is acceptable.</p>
10. Safety	Yes	Satisfactory.
12. Design Excellence	Yes	Satisfactory.
17. Inter War Buildings	Yes	<p>The existing building is identified as an Interwar building and the proposal is consistent with the objectives of the DCP as it seeks to retain the building, except for the pitched roof form. Original building fabric, particularly the front façade on the ground and first floor levels will be retained with new building works setback behind a new parapet and does not dominate the presentation of the existing building from the public domain.</p> <p>On balance that the proposal enables an upgrade of the existing building whilst substantially retaining original building fabric, the proposed alterations and additions do not detract from the</p>



Figure 11: Proposed eastern elevation showing projection of new floor level beyond existing pitched roof form

Controls		
(a) Planting should utilise minimum maintenance species growing to no more than 1m in height at maturity. The overall appearance and species selection should be compatible with the adjoining gardens. Growth must not encroach up on the footpath or obstruct pedestrian access.	No – acceptable subject to conditions	The proposed landscaping in the front setback includes the planting of 2 x <i>Livistona australis</i> (Cabbage Tree Palms), 2 x <i>Aloe barbarae</i> (Tree Aloe) and a range of low scale plant species. The proposed range of low scale plantings are consistent with the landscaped character within the street and is acceptable. However, the two Cabbage Tree Palms and Tree Aloes have the potential to grow to a mature height of up to 10m and 3m respectively, and is not appropriate in this location as the palms may impact views from surrounding properties and are inconsistent with this control. A condition has been imposed requiring the submission of amended plans that delete these trees within the front setback area and replace them with alternative species that do not grow to a mature height greater than 1m.
(b) Communal landscaped gardens are required within the front setback.	Yes	The front setback is appropriately landscaped, subject to conditions as per discussion above.
(e) Buildings should have pitched roofs with red tiles in keeping with the existing character of the area.	No – acceptable on merit	The proposal seeks to remove the existing pitched roof and construct a new floor level with a flat roof. Whilst the removal of the pitched roof is inconsistent with the control under the DCP, the proposal allows for reasonable redevelopment of the land whilst retaining the form and architectural character of the Interwar building, maintaining its contribution to the character of the heritage conservation area.

(g) The established patterns of materiality and colour where there are existing rows of consistency along a street are to be maintained.	Yes	The proposal schedule of external materials and finishes complements the Interwar character of the existing building and will not detract from the streetscape.
--	-----	---

Table 7: Waverley DCP 2012 – Part C3 Other Residential Development Compliance Table

Development Control	Compliance	Comment
3.1 Site, scale and frontage		
<ul style="list-style-type: none"> Minimum frontage: 15m – R3 zone 	No – acceptable on merit	The site has a frontage of 12.19m and does not achieve the minimum frontage for a residential flat building development under the DCP. However, the site is currently occupied by a 2 storey Interwar residential flat building and the building and use for residential purposes is being retained as part of the proposal. As there is not change to the existing building footprint or use, non-compliance with the minimum 15m frontage control is acceptable in this circumstance.
3.2 Height		
<ul style="list-style-type: none"> Maximum external wall height: R3- 12.5m – 9.5m 	No – acceptable on merit	<p>The proposal has a building wall height of 7.54m on the northern elevation fronting the street and a height of 8.47m on the southern elevation at the rear which complies with the maximum wall height control. As the existing topography of the site falls to the rear, the building wall height along part of the eastern elevation increases to 9.76m exceeding the wall height control.</p> <p>The proposal satisfactorily addresses matters for consideration for variation to the wall height control under control (c) of the DCP, as discussed below, and is acceptable.</p>
3.3 Setbacks		
<p>3.3.1 - Street setbacks</p> <ul style="list-style-type: none"> Consistent street setback 	Yes	No change is proposed the front building setback of the existing building. The existing front building setback is consistent with the setback of the immediately adjoining residential flat buildings to the west and the approved residential flat building to the east.
<p>3.3.2- Side and rear setbacks</p> <ul style="list-style-type: none"> Minimum side setback: 1.5m 	Partially complies – acceptable on merit	The existing side setbacks are 0.8m to the western boundary and 1m to the eastern boundary. As no change is proposed to the layout of the ground or first floor levels or to the external walls adjacent to the side boundaries, the existing setbacks are acceptable.

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Minimum rear setback: 6m or predominant rear building line, whichever is the greater setback 	No – acceptable on merit	<p>The new upper level has side setbacks measuring 2.28m to the western boundary and 2.39m to the eastern boundary which complies with the minimum side setback of 1.5m and is supported.</p> <p>The existing rear setbacks on the lower, ground and first floor levels range between 4.4m and 4.6m to the rear boundary and 3.1m to the rear boundary respectively, and do not achieve the minimum required rear setback. However, as no change is sought to the existing rear setback of the retained Interwar building and the rear building line does not extend beyond the rear setback of the residential flat building at 41 Ramsgate Avenue, the rear setbacks are acceptable in the context of the site.</p> <p>The new upper level apartment has a rear setback measuring 7.3m from the rear terrace to the rear boundary and complies with the minimum rear setback control. As this component is a new structure, compliance with the rear setback controls under the DCP is reasonable and supported.</p>
<ul style="list-style-type: none"> Deep soil along side boundary min 2m wide 	No – acceptable on merit	<p>Given the retention of the existing Interwar building including the existing building footprint, provision of deep soil with a minimum width of 2m is not achievable. There is currently no deep soil provided along the side boundaries. The proposal seeks to maintain deep soil areas within the front building setback and at the rear of the site within the communal open space which contributes to additional landscaping on the site and is supported.</p>
3.4 Length and depth of buildings		
<ul style="list-style-type: none"> Maximum building length: 24m 	Yes	The existing building has a width of approximately 10.4m as viewed from the street. The proposed upper floor level, beyond the parapet has a width of 7.5m.
<ul style="list-style-type: none"> Façade to be articulated 	Yes	The facade of the existing Interwar building on the ground and first floor levels will be retained to maintain the architectural character of the building. The proposed alterations and additions contribute to the style of the building without dominating or detracting from the characteristics of the Interwar building.

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Maximum residential flat building depth: 18m 	Partially complies – acceptable on merit	<p>The existing building has a depth of 19.9m (excluding the rear balconies). As no change is proposed to the existing footprint and configuration of apartments on the ground and first floors, the existing building depth is acceptable in this circumstance.</p> <p>The apartment on the upper floor level has a depth of 13.4m which complies with the maximum building depth and will not contribute to any additional non-compliance with this DCP control.</p>
3.5 Building design and streetscape		
<ul style="list-style-type: none"> Respond to streetscape 	Yes	The proposed built form and scale complements the scale of immediately adjoining developments, particularly on the southern side of Ramsgate Avenue and is appropriate within the streetscape.
<ul style="list-style-type: none"> Sympathetic external finishes 	Yes	The proposed materials and finishes do not detract from the Interwar character of the building and responds well to existing developments and new developments within the locality.
<ul style="list-style-type: none"> Removal of original architectural features not supported. 	No – acceptable on merit	The removal of the existing pitched roof is discouraged by the DCP. However, as discussed in detail in this report, the removal of the pitched roof is an acceptable offset in this circumstance in order to balance being able to retain the existing Interwar building and existing apartments, improving internal amenity for occupants and the provision of affordable rental housing stock. In particular, the proposal seeks to retain existing architectural features on the façade of the ground and first floor levels which maintains the buildings contribution to the character of the heritage conservation area and streetscape.
3.7 Fences and walls		
<p><i>Front fence:</i></p> <ul style="list-style-type: none"> Maximum height 1.2m Maximum 2/3 solid 	Partially complies – acceptable on merit	The new front fence complies with the height control of 1.2m at the north-western corner of the front boundary but increases to a maximum height of 1.5m at the south-eastern corner of the front boundary due to the fall of the street from west to east. Notwithstanding the exceedance in height at the south-eastern portion of the site, the fence is predominantly open with a low solid wall base and palisade fencing providing appropriate definition between public and private spaces whilst providing adequate passive surveillance.

Development Control	Compliance	Comment
<i>Side fence:</i> <ul style="list-style-type: none"> Maximum height: 1.8m <i>Rear fence:</i> <ul style="list-style-type: none"> Maximum height: 1.8m 	<p>Yes</p> <p>Yes</p>	<p>No change is proposed to the existing 1.8m side and rear fences.</p>
3.8 Pedestrian access and entry		
<ul style="list-style-type: none"> Entry at street level and respond to pattern within the street Accessible entry Legible, safe, well-lit 	<p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>Existing entrance to the residential flat building at street level is maintained.</p> <p>Two accessible paths of entry from the street to the building are proposed. The entrance and pathways are clearly visible from the public domain. There is an existing street light immediately opposite the subject site providing adequate lighting at the property boundary.</p>
3.9 Landscaping		
<ul style="list-style-type: none"> Comply with Part B3-Landscaping and Biodiversity Minimum of 30% of site area landscaped: 103.71m² 50% of the above is to be deep soil: 51.9m² 	<p>Yes</p> <p>No - acceptable on merit</p>	<p>The proposed landscaping is consistent with the provision in the DCP, subject to conditions.</p> <p>The existing landscaped area is limited to the front setback and a narrow planter along the rear boundary. The proposal seeks to increase the landscaped area of the site by replacing the concrete paving at the rear with turf. The proposal has a total landscaped area of 15.1% and 51.1m² of deep soil which does not comply with the minimum landscape controls.</p> <p>Given the constraints of the site, the proposed increase in landscape and deep soil areas contributes positively to the landscaped character and amenity for occupants and is supported.</p>
3.10 Communal open space		
<ul style="list-style-type: none"> Minimum 15% communal (R3 zone): 51.84m² Minimum dimensions: 6m x 6m Minimum of 30% of communal area must receive three hours of sunlight Accessible 	<p>Yes</p> <p>Partially complies</p> <p>No</p> <p>Yes</p>	<p>The proposed rear communal open space has an area of 55.7m² and complies with the control.</p> <p>The communal open space has a depth of 4.4m between the rear of the building and the rear boundary, and a length of 12.2m. There is sufficient space for use by future occupants for passive recreation.</p> <p>Due to the orientation of the site and the scale of immediately adjoining properties, the rear of the site does not receive sunlight except at 3pm in mid-winter.</p> <p>Access to the communal open space at the rear is provided along the side boundaries.</p>
3.11 Private Open Space		

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Above ground open space must not overlook rooms and private landscaped areas of adjoining properties or be screened 	Yes	The rear balconies comprise of privacy screening to minimise amenity impacts on adjoining properties. The terraces on the upper floor level are setback from the external walls of the existing building and will not directly overlook window openings or open spaces of adjoining properties.
<ul style="list-style-type: none"> Privacy be considered in relation to context density, separation use and design. 	Yes	The proposal will not result in any adverse loss of privacy to adjoining properties or future occupants, subject to conditions for privacy treatment to west facing windows on the upper floor level.
<ul style="list-style-type: none"> Prevent overlooking of more than 50% of private open space of lower level dwellings in same development 	Yes	The proposal will not result in any overlooking of private open space at lower levels of the existing building.
3.16 Dwelling size and layout		
<ul style="list-style-type: none"> Max width of dwelling over 15m deep is min 4m 	Yes	No apartments are greater than 15m in depth. All apartments have a minimum width of 4m and provides satisfactory internal amenity.
<ul style="list-style-type: none"> All habitable rooms to have a window 	Yes	All habitable rooms have access to a window on the external wall.
<ul style="list-style-type: none"> Provide a range of dwelling types and sizes Min sizes 2 bedroom = 80m² Flexible design 	Yes	All apartments are greater than 80m ² in area and enable flexible furniture layout.
<ul style="list-style-type: none"> Accessible and Adaptable 	Yes	Accessible apartments are provided on the ground floor.
3.17 Ceiling Heights		
<ul style="list-style-type: none"> Min 2.7m floor to ceiling height residential floor 	Yes	All apartments have a minimum floor to ceiling height of 2.7m in habitable rooms.
3.18 Storage		
<p>In addition to kitchen cupboards and bedroom wardrobes, min storage required is:</p> <ul style="list-style-type: none"> 2 bed = 8m³ All to provide bulk storage are in basement or ancillary structure 	Yes	There is sufficient space within the apartments and within the lower ground floor level to provide the required storage areas per apartment. A condition has been included in the recommendation in Appendix A to ensure that storage as required under the ADG is provided.
3.19 Acoustic privacy		

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Internal amenity by locating noisy areas away from quiet areas 	Yes	Principle living areas within apartments are located away from bedrooms to minimise noise impacts.
3.20 Natural Ventilation		
<ul style="list-style-type: none"> All dwellings to be naturally cross-ventilated 	Yes	All apartments are naturally cross ventilated.
<ul style="list-style-type: none"> Building to be orientated to maximise breezes 	Yes	No change is proposed to the existing orientation of the building and apartments. Existing window openings on all elevations will provide adequate ventilation to habitable rooms.
<ul style="list-style-type: none"> Ceiling fans are to be provided in all habitable rooms. 	No – acceptable on merit	No ceiling fans are proposed. As all apartments are dual aspect, adequate ventilation is provided and ceiling fans, whilst encouraged, is not necessary.
3.21 Building services		
<ul style="list-style-type: none"> Services are to be integrated into the design of buildings (garbage rooms, mail boxes, fire hydrants boosters, electrical substations, down pipes, plant rooms, satellite/communications structures 	Yes	New mailboxes adjacent to the front property boundary and pedestrian pathway is in an accessible location and is acceptable. The lower ground level will contain communal facilities including new garbage, recycling and bulky waste storage areas, laundry, storage for apartments and bicycle parking.
<ul style="list-style-type: none"> Outdoor Communal clothes drying area to be provided 	Yes	An existing outdoor communal clothes drying area is located at the rear of the site. The architectural plans do not indicate any change. A condition has been included in Appendix A to ensure the provision of an outdoor communal clothes drying area is retained.

The following is a detailed discussion of the issues identified in the compliance tables above in relation to the Waverley DCP 2012.

Building wall height

The proposal has a building wall height of 7.54m on the northern elevation fronting the street and is 8.47m on the southern elevation at the rear which complies with the maximum wall height control. As the existing topography of the site falls to the rear, the building wall height increases to 9.76m at the centre of building along the eastern and western elevation towards the rear of the site and exceeds the control by 260mm.

The variation to the maximum building wall height control has been considered against the provisions under Clause 3.2(c) of the Waverley DCP 2012 and is acceptable in this circumstance as the proposal complies with the FSR and Building height development standards, maintains the existing side setbacks

of the existing Interwar building and does not result in a building bulk that is inconsistent with the streetscape and immediately adjoining properties.

The proposed building wall height will not result in any unreasonable visual impacts on adjoining properties to the east and west as there the residential flat building at 45-47 Ramsgate Avenue presents a blank wall to the subject site and the extent of non-compliance along the western elevation, consisting of a solid parapet wall, is contained within the envelope of the existing pitched roof form. The proposed building wall height will not contribute to any additional amenity impacts on solar access, views, visual or acoustic privacy and is of a design that does not dominant the architectural style of the Interwar building whilst complementing the contemporary style of immediately adjoining residential flat buildings.

View loss

Section 2.7 in Part C2 details all objectives and strategies for public and private domain views and view sharing, which generally seek to reduce impacts on existing views and vistas from the private and public domain.

The proposal will not result in any loss of views from the public domain and is considered consistent with the objectives and provisions of the DCP.

During the notification period, view loss concerns were raised by neighbouring properties to the north of the site, on the higher side of Ramsgate Avenue. As such, the applicant was required to undertake a view loss analysis to determine the impacts of the proposal on views from surrounding properties particularly towards Bondi Beach. Existing and proposed views have been considered from the following properties:

- Units 9, 10 and 12, 60 Ramsgate Avenue;
- Unit 7, 56 Ramsgate Avenue; and
- Unit 8, 58 Ramsgate Avenue.

Due to the Public Health Orders for COVID-19, site inspections of individual properties were unable to be undertaken for the purposes of the view analysis, however a desktop study has been carried out to determine potential view impacts.



Figure 12: Location of properties subject of the view analysis (in yellow)

View impacts on adjoining properties have been considered having regard to existing and approved building envelopes of surrounding properties adjoining the subject site. In particular, a part 3 and part 4 storey residential flat building is currently under construction at 45-47 Ramsgate Avenue (shown in blue) and a multi storey detached dwelling has been approved at 146 Warners Avenue immediately to the south of the site (shown in orange) in **Figures 13 to 21** below.



Figure 13: Existing view from Unit 8, 58 Ramsgate Avenue looking south-east towards subject site



Figure 14: View of proposal from Unit 8, 58 Ramsgate Avenue looking south-east towards subject site



Figure 15: Existing view from Unit 10, 60 Ramsgate Ave looking south towards subject site



Figure 16: View of approved building envelopes adjacent to subject site from Unit 10, 60 Ramsgate Ave looking south

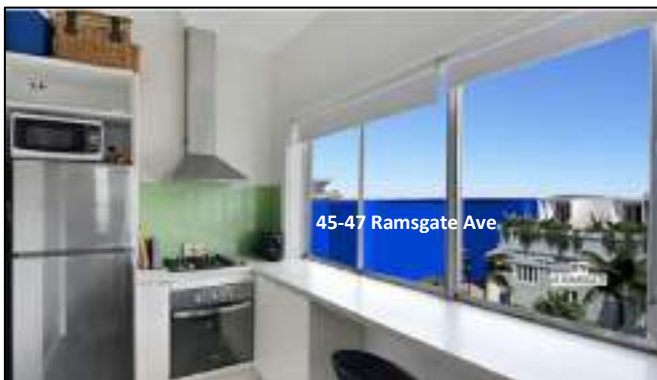


Figure 17: View of proposal from Unit 10, 60 Ramsgate Ave looking south



Figure 18: View of subject site from Unit 9, 60 Ramsgate Ave looking south-west



Figure 19: View impacts from approved building envelopes adjoining subject site looking south-west from Unit 9, 60 Ramsgate Ave



Figure 20: View impacts from proposal and adjoining building envelopes looking south-west from Unit 9, 60 Ramsgate Ave

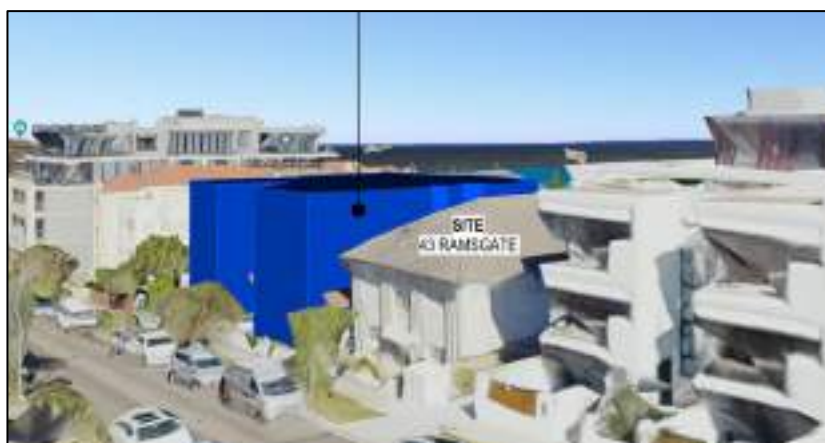


Figure 21: View of site and adjoining building envelopes from Unit 7, 56 Ramsgate Ave looking south-east

A view impact assessment has been undertaken to address the view sharing planning principles in accordance with the NSW Land and Environment Court Planning Principle based on *Tenacity Consulting v Warringah [2004] NSWLEC 140*. The view sharing planning principle requires a four step assessment to determine if view sharing is reasonable as follows:

1. *The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (eg of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, eg a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.*
2. *The second step is to consider from what part of the property the views are obtained. For example the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.*
3. *The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them).*
4. *The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.*

60 Ramsgate Avenue

Unit 10 at 60 Ramsgate Avenue currently has views of the ocean from the kitchen window (in both sitting and standing positions) across the roof tops of the subject site and surrounding properties fronting Ramsgate Avenue and Warners Avenue. The view of the water is partially obscured by existing buildings and whilst it is considered valuable, it is not an iconic view and will be removed by the construction of the approved developments at 45-47 Ramsgate Avenue and 16 Warners Avenue as shown in **Figure 16**. In this regard, the proposed development, which does not exceed the height of adjoining approved building envelopes and is compliant with the built form controls for the site, will **not have any impact** on the loss of existing views of the water.

Unit 9 at 60 Ramsgate Avenue currently has views of the water and land interface to the south-west and district views as shown in **Figure 18**, however the approved developments at 45-47 Ramsgate Avenue and 146 Warners Avenue will result in building envelopes that obscure water views upon completion as shown in **Figure 19**. As 45-47 Ramsgate Avenue has substantially commenced construction works and the consent for a multi storey dwelling at 146 Warners Avenue has been activated, significant weight is given to the view impacts resulting from these developments. The remaining views of the top of the headland to the south are not considered significant or highly valued, however will remain partially visible above the proposed building envelope and that of adjoining properties as shown in **Figure 20**.

Unit 8, 58 Ramsgate Avenue

As shown in **Figure 13**, the upper level apartment at 58 Ramsgate Avenue currently has views of the ocean across the roof top of the subject site and surrounding properties to the east along Ramsgate Avenue and to the south fronting Warners Avenue. Views of the water and land interface to the south-east and south-west are obstructed by existing multistorey residential flat buildings. Existing views of the water will be significantly obscured by the approved building envelopes at 45-47 Ramsgate Avenue and 146 Warners Avenue. As both development consents have been activated, with 45-47 Ramsgate Avenue currently under construction, consideration of view impacts that will be caused by the adjoining properties is appropriate. The proposed development does not extend beyond the building height of immediately adjoining properties and will not result in any additional view loss from 58 Ramsgate Avenue as shown in **Figure 14** and is considered to have a **negligible** impact.

Unit 7, 56 Ramsgate Avenue

No 56 Ramsgate Avenue is located three properties to the north-west of the site and has partial views of water and land interface to the south-east looking across the top of the existing building on the site and the roof tops of surrounding properties. The existing view will be further reduced by the residential flat building currently under construction at 45-47 Ramsgate Avenue as shown in **Figure 21**. The proposed development will result in further reduction of views of the water currently visible above the existing pitched roof, however it will not have any additional view impacts on the water and land interface. Therefore, view loss is considered to be **negligible**.

Concluding Comments

As the proposal does not exceed the height of the approved building at 45-47 Ramsgate Avenue and is compliant with the built form controls for the site, the view loss impact is considered reasonable. The proposal is considered to be skilfully designed to ensure the view sharing is achieved.

Table 8: Waverley DCP 2012 –E2 Bondi Beachfront Area Compliance Table

Development Control	Compliance	Comment
2.1 General Controls		
2.1.1 Public Domain Interface	Yes	The residential entry from the street is clearly defined and is consistent with surrounding properties.
2.1.2 Building Use	Yes	The residential use is appropriate and consistent with the existing surrounding uses within Ramsgate Avenue.
2.1.3 Built Form	Yes	The proposal is consistent with the FSR and building height development standards, and has a built form and scale that is consistent with immediately surrounding developments
2.1.4 Roofs	Yes	The proposed flat roof addition is consistent with the character of immediately adjoining developments. The proposed balconies at the rear and terraces on the upper floor level do not detract from the character of the Interwar building and is acceptable.
2.1.5 Views	Yes	<p>The proposal will not result in any view loss from the public domain.</p> <p>The proposal will not result in any significant additional view loss impacts on surrounding properties, particularly properties on the northern side of Ramsgate Avenue. The existing views of the ocean will be obscured by the approved built form of surrounding development and not impacted by the subject proposal. Whilst the proposal will result in a minor increase in height compared to the existing pitched roof, the proposal is well below the 12.5m height development standard and is acceptable.</p> <p>The proposed landscaping including new tree plantings in the front setback is acceptable, subject to a condition requiring the selection of</p>

Development Control	Compliance	Comment
		species to not exceed a maximum mature height of 3m to minimise view loss impacts on surrounding properties
2.1.6 Heritage conservation	Yes	<p>The proposal satisfies the provisions under Part B9 of the DCP 2012.</p> <p>The proposal retains the existing Interwar building and the existing use as a residential flat building which is consistent with the controls of the DCP.</p> <p>The proposed upper level addition is acceptable on the balance of retaining the significant features and presentation of the Interwar building to the street and providing affordable rental housing as part of the development.</p>
2.2 Character Areas – Campbell Parade North		
<p>Area D or 2.2.4 – Campbell Parade North</p> <p><u>Desired Future Character Objectives</u></p> <p>(c) To ensure new development and major renovations are consistent with the existing character of the area.</p> <p><u>Built Form Controls</u></p> <p>(a) Land use</p> <p>(i) Developments are to retain the predominantly residential character of the area with retail at street level encourages with properties fronting Campbell Parade.</p> <p>(b) Height and Bulk</p> <p>(i) A maximum of 4 storeys is permitted.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>The proposal satisfies the objective to ensure that development is consistent with the existing character of the area. In this regard, the retention of the Interwar building with contemporary upper level additions maintains the existing building's positive contribution to the heritage conservation area whilst responding appropriately to contemporary developments in the surrounding area.</p> <p>The proposal retains the existing residential use of the site and is consistent with the residential character of the area.</p> <p>The proposal seeks to construct an additional upper floor level resulting in a total of 3 residential floors and a lower ground floor level for communal facilities at the rear. The proposal does not exceed the maximum 4 storey control.</p>

Development Control	Compliance	Comment
(ii) A maximum external wall height of 12.5m is permitted.	Yes	The proposal does not exceed the maximum building height of 12.5m under the Waverley LEP 2012. The maximum proposed wall height of 9.7m complies with the external wall height control.
(c) Setbacks	Yes	No change to existing front setback of 4m.
(ii) Buildings with frontages to Ramsgate Avenue and Brighton Boulevard are to have a front setback of 3m.		
(iii) Buildings are to provide front and rear setback back for floors above street level to provide balconies.	No – acceptable on merit	The rear balconies on the ground and first floors do not extend beyond the existing rear setbacks and are acceptable.
(v) Where a building is to be extended by the construction of additional floors, the new section is to be setback from the existing façade line by a minimum distance of 3m.	No – acceptable on merit	The proposed upper floor level is setback from the existing front façade immediately below by 2.8m. The minor non-compliance is acceptable as the design of the upper level is recessive and does not dominate the Interwar building façade or significant architectural feature when viewed from the street.
(d) Façade Materials and Finishes	Yes	The existing painted masonry façade of the Interwar building will be maintained. The proposed additions to the rear consists of rendered finishes and a metal standing seam roof. A condition has been included requiring the submission of a schedule of external materials and finishes including details of the privacy blades and screens.
(i) New facades must be predominately rendered masonry with parapets and have a vertical expression.		
(e) Heritage and contributory buildings are to conform to the following controls:	Yes	The existing frontage and vertical articulation of the façade of the Interwar building will be retained.
(i) Maintain the existing character of the area including narrow frontages and vertical front facade expression.		
(ii) Where a building is to be constructed in conjunction with a retained façade, the new construction is to be	Yes	The new upper floor addition is setback further from the front and side setbacks of the retained building to minimise visual impact of the new addition on the character and form of the Interwar building.

Development Control	Compliance	Comment
<p>similarly setback and integrated with the preserved section of the building.</p> <p>(iii) Existing face brick building exteriors should be retained and not painted or rendered.</p>	Yes	<p>The existing ground and first floor façade of the Interwar building will be retained. The face brick façade will be extended to the new parapet. The existing façade is painted and the retention of the painted façade is acceptable.</p>
<p>(f) Façade Materials and Finishes</p> <p>(i) New facades must be predominately rendered masonry with parapets and have a vertical expression.</p>	Yes	<p>The rear balconies comprise of rendered concrete balustrades with vertical proportions that reduce the visual bulk of the façade.</p>
<p>(ii) Blank, flat and unarticulated facades are not permitted.</p>	Yes	<p>The proposal does not contain any blank or unarticulated facades.</p>
<p>(iii) Windows above ground level must have a vertical proportion.</p>	Yes	<p>Proposed new window openings on the upper floor level are vertically proportioned.</p>
<p>(g) Balconies and Balustrades</p> <p>(iii) Balconies must be composed as part of the overall form of the building.</p>	Yes	<p>The proposed rear balconies replace existing smaller balconies on the rear elevation and has been incorporated into the rear façade.</p>
<p>(h) External Sun Shading</p> <p>(i) External sun shading must be suitable to the environmental conditions of the site.</p> <p>(ii) External sun shading must be consistent with the style and articulation of the building. Sun shading must not project beyond the principal façade.</p>	Yes	<p>The design of the balconies on the ground and first floors and the rear terrace on the upper floor level include appropriate sun shading devices that does not project beyond the façade of the building.</p>

Development Control	Compliance	Comment
(i) Roofs and Parapets		
(i) Parapets must be predominantly rendered masonry.	Yes	The proposed parapet will be painted brickwork which is consistent with the existing façade treatment of the Interwar building.
(ii) Roofs must be flat with parapets.	Yes	Whilst the upper floor level is above the proposed parapet, the roof form is flat and generally consistent with the roof form of contemporary style residential flat buildings in the surrounding area and is acceptable.
(j) Façade Colours		
(i) Colours must be consistent with, retained or reinstated on heritage items and contributory buildings (refer to Annexure E2-1).	Yes	The proposed colour scheme is similar to the colour schemes recommended for the Bondi Beachfront Area under Annexure E2-1 and is acceptable.
(iii) Dark colours are not permitted.		No dark colours are proposed.

2.2 Other Impacts of the Development

The proposal is considered to have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

2.3 Suitability of the Site for the Development

The site is considered suitable for the proposal.

2.4 Any Submissions

The application was originally notified for 14 days between 11 and 25 March 2021 and a site notice erected on the site in accordance with the *Waverley Community Development Participation and Consultation Plan*.

Following receipt of amended plans and additional information, the application was re-notified for 14 days between 29 July and 12 August 2021.

Following receipt of further amended plans including the change in application type to include the provision of 3 of the 5 apartments within the proposed development as affordable rental housing apartments under the ARH SEPP 2009, the application was re-notified for 14 days between 12 and 25 November 2021.

A total of 18 unique submissions were received including 12 submissions from the original notification, 4 submissions from the re-notification of amended plans and 2 submissions from the second renotification period, from the following properties:

Table 9: Number of and where submissions were received from – original notification

Count	Property Address
1.	37-41 Ramsgate Avenue, Bondi Beach
2.	40 Ramsgate Avenue, Bondi Beach
3.	Unit 2, 58 Ramsgate Avenue, Bondi Beach
4.	Unit 9, 60 Ramsgate Avenue, Bondi Beach
5.	Unit 10, 60 Ramsgate Avenue, Bondi Beach
6.	62 Ramsgate Avenue, Bondi Beach
7.	Unit 15, 94-98 Ramsgate Avenue, Bondi Beach
8.	9 Hastings Parade, Bondi Beach
9.	163 Hastings Parade, Bondi Beach
10.	Unit 6, 112 Warners Avenue, Bondi Beach
11.	11 Ormond Street, Bondi Beach
12.	Unit 2, 2 Simpson Street, Bondi Beach

Table 10: Number of and where submissions were received from – re-notification (29 July - 12 August 2021)

Count	Property Address
1.	37-41 Ramsgate Avenue, Bondi Beach
2.	62 Ramsgate Avenue, Bondi Beach
3.	Unit 9, 60 Ramsgate Avenue, Bondi Beach
4.	Unit 10, 60 Ramsgate Avenue, Bondi Beach

Table 11: Number of and where submissions were received from – re-notification (11 - 25 November 2021)

Count	Property Address
1.	Unit 9, 60 Ramsgate Avenue, Bondi Beach
2.	Unit 10, 60 Ramsgate Avenue, Bondi Beach

The following issues raised in the submissions have already been discussed and addressed in the body of this report and/or the Recommendation:

- Overdevelopment of site
- Insufficient side setbacks and building separation under SEPP 65
- Heritage impacts
- View loss
- Privacy impacts
- Lack of on site parking and traffic impacts
- Insufficient waste storage facilities
- Stormwater management

All other issues raised in the submissions are summarised and discussed below.

Issue: Impact on property values of surrounding properties.

Response: Property values are not a matter for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, and is not relevant to the assessment of the subject application.

Issue: The proposal is a further increase to the approved development at 45-47 Ramsgate Avenue and is unethical.

Response: The proposal does not result in a development that is greater in scale than that approved at 45-47 Ramsgate Avenue. In particular, the proposal seeks to retain the existing 2 storey residential flat building with the construction of an upper floor level (total of 3 storeys with an existing lower ground level at the rear) and does not exceed the building height of the approved residential flat building at 45-47 Ramsgate Avenue. As discussed in this report, the subject proposal has been assessed against relevant planning controls and is consistent with development standards under the Waverley LEP 2021, ARH SEPP 2009 and Waverley DCP 2012. Non-compliances have been considered and found to be acceptable having regard to the constraints of the site and contextual appropriateness of the development within the existing streetscape.

Issue: Application for parking permits by future occupants will increase demand for street parking.

Response: Given the constraints of the site, maintaining no vehicular access to the site is considered appropriate in this circumstance. The site is located within an identified residential parking scheme zone and residents are permitted to apply for a residential parking permit. The proposal results in the addition of 1 x 2 bedroom apartment on the site which is not considered to result in detrimental impacts on the availability of street parking in surrounding streets.

Issue: No accessible units provided as required by the BCA and Waverley DCP 2021.

Response: The ground floor apartments are accessible directly from the street level and are acceptable, having regard to the retention of the existing building and no changes are proposed to the internal layout of existing apartments considered on the ground and first floor levels.

Issue: Apartments can be used for short term accommodation and need to be accessible.

Response: Three out of the five apartments are to be provided as affordable rental housing apartments under the provisions of the ARH SEPP 2009. Conditions have been imposed ensuring the provision of affordable rental housing in accordance with the ARH SEPP. Use of two of the five apartments for short term rental accommodation will be required to comply with relevant requirements under the *Environmental Planning and Assessment Amendment (Short-term Rental Accommodation) Regulation 2021* and is not a matter for consideration as part of this assessment.

Issue: Continuous construction noise and traffic in Ramsgate Avenue.

Response: Construction noise and traffic impacts are short term disruptions which facilitates development and will not have long term impacts on surrounding properties. Conditions relating to management of construction noise and traffic to mitigate impacts on surrounding properties have been included in Appendix A.

Issue: Construction works at 146 Warners Avenue has not substantially commenced under DA-290/2014. If the consent has lapsed, the building envelope and view loss impacts caused by the approved development cannot be used as a justification as part of this application.

Response: Council records indicate that a Construction Certificate was issued for excavation and strip footing works at the rear of the site associated with the Development Consent at 146 Warners Avenue prior to the expiry of the consent. Council's Assessment Officer has been advised by the Private Certifier nominated to oversee works at 146 Warners Avenue that a critical stage inspection in accordance with the development consent was carried out and certified. As such, the development consent is considered activated and valid.

Issue: Fire safety upgrades raises concerns of fire risk to adjoining properties.

Response: Given the existing residential flat building will be retained, appropriate fire safety upgrade works will enhance the amenity and safety of the building and will not result in risk to adjoining properties. Appropriate fire safety upgrade works and compliance with relevant standards have been included as conditions of consent.

2.5 Public Interest

The proposal is considered to have no detrimental effect on the public interest, subject to appropriate conditions being imposed.

3 REFERRALS

The following internal referrals comments were sought:

3.1 Heritage

Refer to comments in Section 1.5 and Section 2.1.2 of this report.

3.2 Strategic Planning

Council's Strategic Planning reviewed the proposal and raises no objection the proposal, subject to conditions which have been included in the recommendation in Appendix A.

3.3 Stormwater Management

Council's Stormwater Engineer reviewed the proposal and raises no objection to the proposal, subject to appropriate stormwater management conditions being imposed. Conditions have been included in the recommendation in Appendix A.

3.4 Fire Safety

Council's Fire Safety Officer reviewed the proposal and raises no objection to the proposal, subject to conditions which have been included in the recommendation in Appendix A.

3.5 Tree Management

Council's Tree Management Officer reviewed the proposal and raises no objection to the proposal as no significant trees have been identified on the site and the landscape plan is supported, subject to conditions relating to the retention of existing street trees and planting of new street trees. Conditions have been included in the recommendation in Appendix A.

3.6 Waste Management

Council's Waste Management Officer reviewed the proposal and raises no objection to the proposal, subject to conditions which have been included in the recommendation in Appendix A.

4 CONCLUSION

The development application seeks consent for alterations and additions to the existing 2 storey residential flat building including alterations to the lower ground level at the rear, an additional floor level comprising a 2 bedroom apartment and provision of 3 existing apartments as affordable rental housing at the site known as 43 Ramsgate Avenue, Bondi Beach.

The principal issues arising from the assessment of the application are as follows:

- Side and rear setbacks;
- Building wall height;
- Landscaping;
- Heritage impacts;
- Privacy impacts;
- View loss;
- Car parking; and
- Front fence height.

The assessment finds these issues acceptable, subject to recommended conditions, as the constraints presented by the proposed retention of the existing Interwar building results in non-compliances with planning controls that do not result in any significant building bulk or scale, streetscape, amenity, view loss or heritage impacts. On balance, the ability to retain the existing Interwar building will contribute positively to the character of the heritage conservation area and Bondi Beachfront Area. The proposal has adequately demonstrated that the proposed alterations and additions are generally consistent with the form and scale of immediately adjoining properties and is suitable for the site and the locality.

A total number of 18 submissions were received and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation. No Councillor submissions were received. There are declared conflict of interest on the application.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the Act. It is recommended for approval subject to conditions of consent.

Development and Building Unit (DBU) Decision:

The application was reviewed by the DBU at the meeting on 17 August 2021 and the DBU determined:

- (a) The application is acceptable and should be approved, subject to the conditions in Appendix A.

DBU members: *M Reid, A Rossi, B McNamara*

5 RECOMMENDATION TO WAVERLEY LOCAL PLANNING PANEL

That the development application be APPROVED by the Waverley Local Planning Panel subject to the conditions in Appendix A.

Report prepared by:



Peggy Wong
Senior Development Assessment Planner

Date: 26 November 2021

**Application reviewed and agreed on behalf of
the Development and Building Unit by:**



Judith Elijah
**A/Manager, Development Assessment (Central)
(Reviewed and agreed on behalf of the
Development and Building Unit)**

Date: 26 November 2021

Reason for WLPP referral:

1. Contentious development (10 or more objections)
2. Sensitive development:
 - (a) SEPP 65 development

APPENDIX A – CONDITIONS OF CONSENT

A. APPROVED DEVELOPMENT

1. APPROVED PLANS AND DOCUMENTATION

The development must be in accordance with:

- (a) Architectural Plans prepared by Architects Nicholas + Associates of Project No: RAM1911 including the following:

Plan Number and Revision	Plan description	Plan Date	Date received by Council
DA000, Rev B	Photomontage + finishes schedule	24.02.2021	11.11.2021
DA014, Rev C	Proposed plan – lower ground floor	11.11.2021	11.11.2021
DA015, Rev B	Proposed plan – ground floor	24.02.2021	11.11.2021
DA016, Rev B	Proposed plan – first floor	24.02.2021	11.11.2021
DA017, Rev A	Proposed plan – rooftop	24.02.2021	11.11.2021
DA018, Rev B	Proposed plan – roof + water management	24.02.2021	11.11.2021
DA150, Rev B	Proposed north elevation (street)	24.02.2021	11.11.2021
DA151, Rev B	Proposed south elevation	24.02.2021	11.11.2021
DA152, Rev B	Proposed east elevation	24.02.2021	11.11.2021
DA153, Rev B	Proposed west elevation	24.02.2021	11.11.2021
DA170, Rev C	Proposed section AA	11.11.2021	11.11.2021
DA171, Rev B	Proposed section BB	24.02.2021	11.11.2021

- (b) Landscape Plan Nos. LS01 to LS06, Issue C (inclusive) and documentation prepared by Melissa Wilson Landscape Architects, dated 24/02/2021 and received by Council on 05/03/2021
- (c) BASIX and NatHERs Certificate/s
- (d) Stormwater Details and documentation prepared by Martens and Associates Pty Ltd dated 28/07/2021, and received by Council on 28/07/2021
- (e) BCA Assessment & Fire Upgrade Report prepared by Building Control Group dated 25 February 2021, and received by Council on 05/03/2021
- (f) The Site Waste and Recycling Management Plan (SWRMP) Part 1.

Except where amended by the following conditions of consent.

2. GENERAL MODIFICATIONS

The application is approved subject to the following plan amendments;

- (a) Privacy screens are to be implemented to window openings on the western elevation of the upper floor level to mitigate overlooking to adjacent window openings at the adjoining property at 41 Ramsgate Avenue. The privacy screens are to be of a light weight material (such as timber, louvres or obscure glazing) and be a minimum of 1.6m high when measured from the finished floor level of the apartment.

- (b) A schedule of external finishes including the materials and colour details of the privacy screens and blades to be installed on the rear balconies are to be submitted. Materials and finishes are to be restricted to the range of heritage colours sympathetic to the historical character of the area.
- (c) A communal outdoor clothes line is to be provided within the outdoor communal area at the rear of the site.

The amendments are to be approved by the **Principal Certifying Authority** prior to the issue of any Construction Certificate.

3. AMENDED LANDSCAPE PLAN

The landscape plans are to be amended to delete the two proposed *Livistona australis* (Cabbage Tree Palm's) and two *Aloe barbarae* (Tree Aloe) within the front setback area. These trees may be replaced with an alternative plant species that have a maximum mature height of 1m to maintain views to surrounding properties and maintain the desired future landscape character of the North Bondi special character area.

The amendments are to be approved by the **Principal Certifying Authority** prior to the issue of any Construction Certificate.

4. MULTI UNIT HOUSING DEVELOPMENT DESIGN (SEPP 65 DEVELOPMENT)

The approved design (including any element or detail of that design) or materials, finish or colours of the building must not be changed without the written approval of Council.

5. AFFORDABLE HOUSING

The following condition is imposed in accordance with Clause 17 of *State Environmental Planning Policy (Affordable Rental Housing) 2009*:

For 10 years, commencing from the date of issue of an Occupation Certificate;

- (a) Unit No's. 1, 2 and 4 as nominated on the approved plans contained in condition 1 of this consent is to be used for the purposes of 'affordable housing', as defined in the *State Environmental Planning Policy (Affordable Rental Housing) 2009*,
- (b) All accommodation that is used for affordable housing must be managed by a registered community housing provider,

A restriction as to user must be registered against the title of the property in accordance with section 88E of the *Conveyancing Act 1919* which restricts the use of any accommodation to which this development consent relates.

The terms of the restriction as to user are to be approved by Council in writing prior to registration. The Council shall be the party who has the right to modify or extinguish the restriction. All legal costs associated with the registration of the restriction is to be borne by the owner.

B. PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

GENERAL REQUIREMENTS

5. NO BUILDING OR DEMOLITION WORKS PRIOR TO RELEASE OF CONSTRUCTION CERTIFICATE

The building work, or demolition work, must not be commenced until:

- (a) a Construction Certificate has been obtained from Council or an Accredited Certifier in accordance with the *Environmental Planning and Assessment Act 1979*;
- (b) a Principal Certifying Authority has been appointed and Council has been notified of the appointment in accordance with the *Environmental Planning and Assessment Act 1979* and *Environmental Planning and Assessment Regulation 2000*; and
- (c) Council is given at least two days' notice in writing of the intention to commence the building works.

CONTRIBUTIONS, FEES & BONDS

6. SECTION 7.12 CONTRIBUTION

A monetary development contribution is payable to Waverley Council pursuant to section 7.12 of the *Environmental Planning and Assessment Act 1979* and the Waverley Council Development Contributions Plan 2006 in accordance with the following:

- (a) A cost report indicating the itemised cost of the development shall be completed and submitted to Council:
 - (i) Where the total development cost is less than \$500,000:
"Waverley Council Cost Summary Report"; or,
 - (ii) Where the total development cost is \$500,000 or more:
"Waverley Council Registered Quantity Surveyor's Detailed Cost Report".

A copy of the required format for the cost reports are provided in the Waverley Council Contributions Plan 2006, available on Council's website.

- (b) As legislated in section 25K of the *Environmental Planning and Assessment Regulation 2000*, the levy must be paid in accordance with the following:
 - (i) A development valued at \$100,000 or less will be exempt from the levy;
 - (ii) A development valued at \$100,001 - \$200,000 will attract a levy of 0.5% of the full cost of the development; or
 - (iii) A development valued at \$200,001 or more will attract a levy of 1% of the full cost of the development.

Prior to the issue of any Construction Certificate, evidence must be provided that the levy has been paid to Council in accordance with this condition or that the cost of works is less than \$100,000.

7. TREE PRESERVATION BOND

A bond of **\$2,000** is to be lodged with Council either as cash or by way of an unconditional bank guarantee to ensure the protection and maintenance of the newly planted ***Banksia*** trees at 43 Ramsgate Avenue, Bondi Beach. The bond is to be lodged prior to the issue of any Construction Certificate.

The bond will be refunded after 12 months on condition that the ***Banksia*** tree is maintained in good condition as determined by Council's Tree Officer. If the tree requires replacing within the bond period, the trees must be replaced within one month of notification from Council and not at the end of the bond period.

8. SECURITY DEPOSIT

A deposit (cash or cheque) or guarantee for the amount of **\$34,462.44** must be provided to Council for any damage caused to any property of the consent authority (ie. public land) as a consequence of the works and completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and environmental controls) required in connection with the consent.

This deposit (cash or cheque) or guarantee must be provided to Council prior to the issue of any Construction Certificate. The full amount of the deposit, minus Council's costs for any repair of damage to Council property or rectification of unauthorised works on Council property, will be refunded after satisfactory completion all of works associated with this consent (including the required public works) to the person who paid the deposit.

9. LONG SERVICE LEVY

A long service levy, as required under section 34 of the *Building and Construction Industry Long Service Payments Act, 1986*, is to be paid in respect of this building work. Evidence that the levy has been paid is to be submitted to the Principal Certifying Authority prior to the issue of any Construction Certificate.

Note: Council acts as an agent for the Long Service Payment Corporation and the levy may be paid at Council's office. The levy rate is 0.35% of building work costing \$25,000 or more.

HERITAGE MATTERS

10. ARCHIVAL RECORDING OF EXISTING HERITAGE BUILDING/S

An archival record (at a minimum the front and rear elevations, details of notable elements of each building e.g. the awning and foyers) shall be prepared of the existing building for deposit in Waverley Council's Archive. This record must be carried out prior to the removal of any significant building fabric or furnishings from the site and must be submitted to Council prior to the commencement of any demolition work. The record is to comply with the NSW Heritage Office Guidelines for digital archival recording.

PLAN DETAILS

11. VERIFICATION OF CONSTRUCTION CERTIFICATE DOCUMENTATION (SEPP 65 BUILDINGS)

The preparation of the construction certificate plans shall be supervised and be to the satisfaction of an architect who is registered in accordance with the *Architects Act 2003* (i.e. a qualified designer) in

accordance with the requirements of the *State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development*.

In accordance with the Environmental Planning and Assessment Regulation 2000, the Principal Certifying Authority must not issue a construction certificate unless it has received a design verification statement from a qualified designer which verifies that the construction certificate plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in *State Environmental Planning Policy No. 65 Design Quality of Residential Apartment Development*.

12. LOWER GROUND LEVEL STORAGE

The lower ground level is to provide separate and secure storage areas (in the form of lockable storage cages or the like), allocated to each apartment in the development for larger bulkier items (surfboards, boxes, camping equipment etc.) which are not suited to be stored within each individual apartment. Storage is to be allocated to individual units in accordance with the requirements of the Waverley Development Control Plan 2012.

CONSTRUCTION & SITE MATTERS

13.HOARDING

To ensure the site is contained during construction, a hoarding is required for the approved works, which is to be designed and constructed in accordance with the requirements of Safe Work NSW. Where the hoarding is to be erected over the footpath or any public place, the approval of Council's Compliance Unit must be obtained and the applicable fees paid, prior to the erection of the hoarding.

14.EROSION & SEDIMENT CONTROL

A Soil and Water Management Plan (SWMP), also known as an Erosion and Sediment Control Plan must be prepared in accordance with Waverley Council's Water Management Technical Manual.

The SWMP must be approved by the Principal Certifying Authority prior to the issue of a Construction Certificate. A copy of the SWMP must be kept on site at all times and made available to Council officers upon request.

The recommendations of the SWMP must be implemented and maintained during all construction activities and until the site is fully stabilised following construction.

15.ENGINEERING DETAILS

Structural details are to be prepared and certified by a practicing Structural Engineer in connection with all structural components of the approved works, prior to the issue of the relevant Construction Certificate.

16.ENGINEERING CERTIFICATE OF ADEQUACY

A Certificate of Adequacy prepared by a practicing Structural Engineer is to be provided certifying the adequacy of the existing building structure to carry the extra load of the proposed additions, prior to the issue of the relevant Construction Certificate.

17.STRUCTURAL INTEGRITY OF RETAINED BUILDING ELEMENTS

Prior to the issue of a Construction Certificate, a report or certification from a practicing structural engineer must be submitted to the Principal Certifying Authority to explain how the retained building elements, such as building facades are to be retained, supported and not undermined by the proposed development and give details of any intervention or retrofitting needed.

TRAFFIC MANAGEMENT

18.CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

The applicant is to submit a Construction Traffic Management Plan (CTMP) for the approval of Council's Executive Manager, Infrastructure Services, or delegate, prior to the issue of any Construction Certificate. For further information on what is required in the CTMP, please refer to Council's website at:

https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications_-_conditions_of_consent

STORMWATER & FLOODING

19.STORMWATER AND PUBLIC INFRASTRUCTURE MANAGEMENT

To ensure that stormwater runoff from the development is drained in an appropriate manner, without impact to neighbouring properties and downstream systems, a detailed plan and certification of the development's stormwater management system must be submitted and approved by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate.

The submitted stormwater drainage plan prepared by Martens & Associates Pty Ltd, Project No. P2008046, Drawing No. PS01-A000 (Revision E, dated 28/07/2021), PS01-B300 (Revision B, dated 26/02/2021), PS01-B310 (Revision A, dated 02/12/2020), PS01-E100 (Revision D, dated 28/07/2021), PS01-E200 (Revision B, dated 27/07/2020) & PS01-E600 (Revision B, dated 27/07/2021) are considered concept only.

The applicant must submit plans and specifications to comply with the current Waverley Council Water Management Technical Manual and Development Control Plan (DCP) at the time of engineering plan approval. The submitted plans shall be prepared by a suitably qualified and practising Civil Engineer and:

- (a) When proposing an infiltration or pump out system, evidence must be submitted to Council that an honest and reasonable attempt has been made to acquire an easement to drain water through any of the downstream properties or demonstrated that all avenues to establish an easement be impractical or unviable. NOTE: please see ADVISORY section for additional information.
- (b) The plans shall provide details of the proposed on-site stormwater detention (OSD) system and its details e.g. pit dimensions, cross & long sections, significant water invert levels of inlet and outlet pipes, details of Discharge Control Pit, orifice plate details including orifice diameter, depth of water above centreline of orifice etc., pit overflow, OSD plaque, OSD warning sign and catchment plan. Council's mandatory OSD checklist as set out in Council's Water Management Technical Manual shall be submitted.
- (c) The stormwater management plan must specify any components of the existing system to be retained and certified during construction to be in good condition and of adequate capacity to convey additional runoff and be replaced or upgraded if required.

- (d) Detail the location of the existing stormwater drainage system including all pipes, inspection openings, surface drains, pits and their discharge location as well as any new stormwater drainage system.
- (e) Pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits and inspection openings and their location are to be provided.
- (f) Any affected Council's infrastructure as the result of construction activities within the public domain area, inclusive of stormwater, stormwater outlet/s, kerb and gutter, pavement, grass verges and vehicle crossovers within the extent works shall be replaced as per Waverley Council Public Domain Technical Manual. All associated costs shall be borne by the applicant.

Notes:

- Since a sewer main runs through the property, plans must also be presented to a Sydney Water Tap in™ for their approval.
- The Applicant is advised to consider the finished levels of the public domain, including new or existing footpaths and pavement prior to setting the floor levels for the proposed development.
- Waverley Council standard drawings for public domain infrastructure assets are available upon request. Details that are relevant may be replicated in the Engineering design submissions however, Council's title block shall not be replicated.
- Prior to commencement of works a security deposit will be made payable to Council to ensure any additional damage or unauthorised works within the Council property, not conditioned above. Council will reserve the right to withhold the cost of restoring the damaged assets from the security deposit should the applicant fail to restore the defects to the satisfaction of Council.
- Council's contact for infrastructure assessment: E-mail: assets@waverley.nsw.gov.au or Phone: 9083 8886 (operational hours between 9.30am to 4pm Monday to Friday)

20.ENGINEERING PLANS ASSESSMENT AND WORKS INSPECTION FEES

The applicant is to pay to Council fees for assessment of all engineering plans and inspection of the completed works in the public domain inclusive of all stormwater assessment, in accordance with Council's Schedule of Fees & Charges at the time of engineering plan approval, prior to such approval being granted by Council.

An invoice will be issued to the applicant for the amount payable, which will be calculated based on the design plans for the subject development.

FIRE SAFETY

21.FIRE SAFETY UPGRADING WORKS

- (a) In addition to all new works fully comply with the Building Code of Australia, pursuant to Clause 94 of the Environmental Planning and Assessment Regulation 2000, all existing areas of the building must be upgraded to comply with the following provisions of the Building Code of Australia (BCA):
 - (i) Fire resistance and stability – Part C1;
 - (ii) Compartmentation and separation – Part C2;
 - (iii) Protection of openings – Part C3
 - (iv) Provision for escape – Part D1;
 - (v) Construction of exits – Part D2;
 - (vi) Fire fighting equipment – Part E1;

- (vii) Smoke hazard management – Part E2;
- (viii) Emergency lighting, exit signs and warning systems – Part E4;
- (ix) Sanitary and other facilities – Part F2;
- (x) Room heights – Part F3;
- (xi) Light and ventilation – Part F4; and
- (xii) Sound transmission and insulation - Part F5.

- (b) If compliance with the deemed-to-satisfy provisions of the BCA and the matters listed in condition (a) above cannot be achieved, an alternative building solution in accordance with Part A2 of the BCA must be prepared by a suitably qualified and accredited person and be submitted to the Certifying Authority illustrating how the relevant performance requirements of the BCA are to be satisfied. Prior to a Construction Certificate being issued, the Certifying Authority must ensure that the building complies with the Building Code of Australia.
- (c) The BCA matters identified in (a) above are not an exhaustive list of conditions to verify compliance or non-compliance with the BCA. Any design amendments required to achieve compliance with the BCA must be submitted to Council. Significant amendments may require an application under Section 4.55 of the Act to be lodged with Council to amend this consent.
- (d) Prior to the commencement of any required upgrade works, a Construction Certificate must be issued by an accredited Certifying Authority and an accredited PCA be appointed. The required upgrading works detailed in this condition must be completed prior to the issue of an Occupation Certificate and Strata Subdivision Certificate.

Note: The provisions of Clause 94 of the Environmental Planning and Assessment Regulation 2000 have been considered in the assessment of the proposed development.

22. ESSENTIAL SERVICES - EXISTING BUILDING

Details of the currently implemented and proposed essential fire safety measures shall be submitted to Council, with the Construction Certificate, in the form of a Fire Safety Schedule. This Schedule shall be prepared by a person competent to do so and shall specify the minimum standard of performance for each essential fire safety measure included in the Schedule.

At the completion of the installation, a Final Fire Safety Certificate shall be attached to the Occupation Certificate, certifying that each essential fire safety measure specified within the current Fire Safety Schedule:

- (a) has been assessed by a properly qualified person; and
- (b) found to be capable of performing to at least the standard required by the current Fire Safety Schedule for the building for which the Certificate is issued.

ENERGY EFFICIENCY & SUSTAINABILITY

23. BASIX

All requirements of the BASIX Certificate are to be shown on the Construction Certificate plans and documentation.

WASTE

24. SITE WASTE AND RECYCLING MANAGEMENT PLAN

A *Site Waste and Recycling Management Plan (SWRMP) - Part 2* is to be submitted to the Principal Certifying Authority prior to the issue of the relevant Construction Certificate, which outlines materials to be reused and/or recycled as a result of demolition and construction works. At least one copy of the *SWRMP Part 2* is to be available on site at all times during construction. Copies of demolition and construction waste dockets that verify the facility that received the material for recycling or disposal and the quantity of waste received, must be retained on site at all times during construction.

25.WASTE STORAGE AREAS

The development must have a bin storage area with sufficient space to accommodate the following minimum number of bins and excess waste storage requirements:

- **Residential (5 x 2-bedroom units)**
 - 3 x 240L MGBs for general waste collected weekly
 - 2 x 240L MGBs for container recycling collected fortnightly
 - 3 x 240L MGBs for paper recycling collected fortnightly
 - 1 x 240L MGB for garden organics collected fortnightly should this type of waste be generated at the development
 - An area (of approximately 4 m²) to store bulky household waste and problem waste awaiting collection
 - All waste and recycling storage rooms must be built to meet all appropriate design requirements set in Part B1 of the *Waverley Council Development Control Plan 2012* to the satisfaction of the Principal Certifying Authority.
 - Waste rooms are not to be used for any purpose other than the storage of waste.

LANDSCAPING & TREES

26.STREET TREE PLANTING

The proposed street tree planting is to be undertaken in accordance with the Landscape Plan prepared by Melissa Wilson landscape Architects. DWG: LS01; Rev. C. Date 24/02/2021, showing the planting of a new Street tree 1 x *Banksia integrifolia* (coast Banksia) with a minimum pot size of 75 litres when planted, on the naturestrip immediately adjacent to 43 Ramsgate Avenue, Bondi Beach.

27.GREEN ROOF LANDSCAPING DETAILS

The construction certificate landscape plans are to comply with the controls for green roofs in Part B3.1 of the *Waverley Development Control Plan 2012* including;

- (a) Comprise plants that are suitable for the site in relation to the environmental conditions (sun, wind and views) and include indigenous or local native plants to Waverley (see Annexure B2 – 1).
- (b) Have a minimum soil depth of 300mm and use lightweight soil mixes that are porous, able to drain freely, and suitable for the selected plant species;

- (c) The green roof is to be designed to be a non-trafficable area (with no balustrades) and must be irrigated without requiring frequent maintenance access. Any access to the roof is to be for servicing purposes only.

A qualified landscape architect must review the design and verify that it complies with the above requirements.

C. COMPLIANCE PRIOR TO WORK COMMENCING AND DURING CONSTRUCTION

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

PRIOR TO ANY WORKS

28.CONSTRUCTION SIGNS

Prior to commencement of any works on the site and during construction a sign shall be erected on the main frontage of the site detailing the name, address and contact details (including a telephone number) of the Principal Certifying Authority and principal contractor (the coordinator of the building works). The sign shall be clearly legible from the adjoining street/public areas and maintained throughout the building works.

29.DILAPIDATION REPORT

A Dilapidation report is to be prepared for any adjoining or nearby property that may be subject to potential damage as a result of any works being undertaken. The dilapidation report is to be made available to affected property owners.

The report is to be dated, submitted to, and accepted by the Principal Certifying Authority, prior to any work commencing on the site.

Note: Any damage that may be caused is a civil matter. This consent does not allow or authorise any party to cause damage, trespass, or any other unlawful act and Council will not be held responsible for any damage that may be caused to adjoining buildings as a consequence of the development being carried out. Council will not become directly involved in disputes between the builder, owner, developer, its contractors and the owners of neighbouring buildings.

DEMOLITION & EXCAVATION

30.DEMOLITION – ASBESTOS AND HAZARDOUS MATERIALS

The demolition, removal, storage, handling and disposal of products and materials containing asbestos must be carried out in accordance with the relevant requirements of SafeWork NSW and the NSW Environment Protection Authority (EPA), including:

- Work Health and Safety Act 2011;
- Work Health and Safety Regulation 2017;
- SafeWork NSW Code of Practice for the Safe Removal of Asbestos;
- Australian Standard 2601 (2001) – Demolition of Structures;
- *Protection of the Environment Operations Act 1997.*

At least 5 days prior to the demolition, renovation work or alterations and additions to any building, the person acting on the consent shall submit a Work Plan to the Principal Certifying Authority in accordance with Australian Standard AS 2601-2001, Demolition of Structure and a Hazardous Materials Assessment

prepared by a person with suitable expertise and experience. The Work Plan and Hazardous Materials Assessment shall:

- (a) Outline the identification of any hazardous materials, including surfaces coated with lead paint;
- (b) Confirm that no asbestos products are present on the subject land, or
- (c) particularise a method of safely disposing of the asbestos in accordance with the Code of Practice on how to safely remove asbestos published by SafeWork NSW (catalogue WC03561);
- (d) Describe the method of demolition;
- (e) Describe the precautions to be employed to minimise any dust nuisance; and
- (f) Describe the disposal methods for hazardous materials.

31.CONTROL OF DUST ON CONSTRUCTION SITES

The following requirements apply to demolition and construction works on site:

- (a) Hazardous dust is not to be allowed to escape from the site. The use of fine mesh dust proof screens or other measures are recommended. Any existing accumulations of dust (e.g. ceiling voids and wall cavities) must be removed by the use of an industrial vacuum fitted with a high efficiency particle air (HEPA) filter. All dusty surfaces and dust created from work are to be suppressed by a fine water spray. Water must not be allowed to enter the street and stormwater systems. Demolition is not to be performed during adverse winds, which may cause dust to spread beyond the site boundaries.
- (b) All contractors and employees directly involved in the removal of hazardous dusts and substances are to wear protective equipment conforming to Australian Standard AS1716 Respiratory Protective Devices.

32. CLASSIFICATION OF WASTE/ DISPOSAL OF EXCAVATED SOILS

Prior to the exportation of waste (including fill or soil) from the site the material must be classified in accordance with the provisions of the Protection of the Environment Operations Act, 1997 and the NSW EPA Waste classification guidelines 2014.

33. EXCAVATION AND BACKFILLING

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with the appropriate professional standards and must be properly guarded and protected to prevent them from being dangerous to life or property.

If an excavation associated with the erection or demolition of a building extends below the level of the footings of a building on an adjoining allotment of land. The excavation is to be managed by a practising structural engineer.

CONSTRUCTION MATTERS

34.CONSTRUCTION HOURS

Demolition and building work must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays and 8am to 3pm on Saturdays with no work to be carried out on:

- (a) Sundays and public holidays.
 - (b) Excavation works involving the use of heavy earth movement equipment, including rock breakers and the like, must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays, with no such work to be carried out on Saturday, Sunday or a public holiday.
- Noise from construction activities shall comply with the Protection of the Environmental Operations (Noise Control) Regulation 2017.

35.STOCKPILES, STORAGE OF MATERIALS AND LOCATION OF BUILDING OPERATIONS

All building materials and any other items associated with the development are to be stored within the property. No materials are to be stored on Council's footpath, nature strip, or road reserve without prior Council approval.

36.CONSTRUCTION INSPECTIONS

The building works are to be inspected during construction by the Principal Certifying Authority (PCA) in accordance with the *Building Legislation Amendment (Quality of Construction) Act 2002*, clause 162A of the *Environmental Planning and Assessment Regulation 2000* and the requirements of any other applicable legislation or instruments.

37.WORK OUTSIDE PROPERTY BOUNDARY

This consent does not authorise any work outside the property boundary.

38.CERTIFICATE OF SURVEY - LEVELS

All construction works are to be in accordance with the Reduced Levels (RLs) as shown on the approved plans. Certification from a Registered Surveyor certifying ground, upper floor/s and finished ridge levels is to be submitted to the Principal Certifying Authority during construction and prior to continuing to the construction of a higher level of the building.

TREE PROTECTION AND REMOVAL

39.TREE PROTECTION

All trees on site and adjoining properties, including street trees, are to be retained and protected in accordance with AS4970-2009 'Protection of Trees on Construction Sites' and to be certified by an Arborist with AQF level 5 qualification or above, unless approved to be removed in this development consent.

40.STREET TREES TO BE RETAINED/TREE PROTECTION

No existing street trees shall be removed without Council approval. Precautions shall be taken when working near trees to ensure their retention, including the following:

- (a) Do not store harmful or bulk materials or spoil under or near trees;

- (b) Prevent damage to bark and root system;
- (c) Do not use mechanical methods to excavate within root zones;
- (d) Do not add or remove topsoil from under the drip line;
- (e) Do not compact ground under the drip line;
- (f) Do not mix or dispose of liquids within the drip line of the tree; and
- (g) All trees marked for retention must have a protective fence/guard placed around a nominated perimeter in accordance with AS4970-2009 "Protection of trees on construction sites.

D. PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE OR SUBDIVISION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required, prior to the issue of an Occupation Certificate or Subdivision Certificate, whichever applies.

CERTIFICATES, LICENCES, EASEMENTS AND RESTRICTIONS

41.FINAL OCCUPATION CERTIFICATE

Prior to occupation or use of the development, an Occupation Certificate must be obtained.

The Principal Certifying Authority must be satisfied that the requirements of the *Environmental Planning & Assessment Act 1979* have been satisfied including all critical stage inspections. Documentary evidence of all required inspections is to be submitted to Council.

42.CERTIFICATION OF BASIX COMMITMENTS

The Principal Certifying Authority shall certify that the all the undertakings in the approved BASIX certificate have been completed.

43.CERTIFICATION OF APPROVED DESIGN

In accordance with the Environmental Planning and Assessment Regulations 2000, the Principal Certifying Authority must not issue an occupation certificate, to authorise a person to commence occupation or use of the development unless it has received a design verification statement from an architect who is registered in accordance with the Architects Act 2003 (i.e. qualified designer) that verifies that the building achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles.

44.CERTIFICATION OF LANDSCAPING

At the completion of all works a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboriculture Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established. If relevant, the waterproofing on any green roof is to be tested and evidence of the test is to be provided with the certification.

45.RESTRICTION AS TO USER

A restriction as to user must be registered in accordance with section 88E of the Conveyancing Act 1919 on the title which restricts the use of any accommodation to which this development consent relates.

The terms of the restriction as to user are to be approved by Council in writing prior to registration. The Council shall be the party who has the right to modify or extinguish the restriction. All legal costs associated with the registration of the restriction is to be borne by the owner.

46.WORKS-AS-EXECUTED DRAWINGS – STORMWATER DRAINAGE SYSTEM

- (a) A Works-As-Executed drawing (WAED) of the stormwater drainage system must be prepared by a Registered Surveyor. This drawing must detail the alignment of all pipelines, pits and other drainage related infrastructure. An original or a colour copy must be submitted to Waverley Council. Where changes have occurred, the Council approved plans shall be marked-up in red ink and shall include levels and location for the drainage structures and works.
- (b) A suitably qualified and practising Engineer must provide certification of the WAED of the stormwater drainage system that the stormwater drainage works were constructed to their satisfaction and in accordance with the Development Consent, Water Management Technical Manual, all applicable Codes, Policies, Plans, Standards and good engineering practice.

47. CREATION OF POSITIVE COVENANT AND RESTRICTION FOR ANY INFILTRATION, PUMP OUT OR ON-SITE STORMWATER DETENTION SYSTEM

A “Restriction on the Use of Land” and “Positive Covenant” shall be created for any infiltration, pump out or on-site stormwater detention (OSD) system, under Section 88E of the Conveyancing Act 1919. This is to place a restriction on the title that any infiltration, pump out or OSD system is maintained and kept free of debris/weed to allow unobstructed passage of stormwater through the site and underneath the residence. The property owner/occupant shall not modify or remove any infiltration, pump out or OSD system without consent from Council.

The wording of the Instrument shall be submitted to and approved by Executive Manager, Infrastructure Services (or delegate) prior to lodgement at NSW Land Registry Services. The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by the consent authority prior to the issue of an Occupation Certificate/use of the building. All associated costs shall be borne by the applicant.

48. FIRE SAFETY WORKS

The Occupation Certificate shall not be released by Council or an accredited certifier, until all fire safety works are completed and a Final Fire Safety Certificate has been submitted to Council, certifying that each essential fire safety measure specified within the current Fire Safety Schedule:-

- (a) has been assessed by a properly qualified person; and
- (b) has been found, when it was assessed, to be capable of performing to at least the standard required by the current Fire Safety Schedule for the building for which the Certificate is issued.

MANAGEMENT PLANS

49. PLAN OF MANAGEMENT - WASTE AND RECYCLING STORAGE

A Waste Management Plan must be submitted to Council’s Executive Manager, Environmental Sustainability (or delegate) and include including the following at minimum.

- (a) Location of all waste and recycling storage areas.
- (b) Responsibilities for cleaning bins, transporting bins to the nominated collection point, cleaning of storage areas and booking and transporting bulky waste for Council pick up must be outlined in contracts with the building manager, cleaners and tenants.
- (c) Directions for cleaning and maintaining the waste storage areas and bins
- (d) Signage placement to identify different bin types, where to place bulky household waste and problem waste

- (e) Bin placement to ensure recycling bins are placed alongside the general waste bins for ease of access and to encourage recycling habits.
- (f) All waste and recycling bins cannot be presented for collection earlier than one day before the nominated collection day and must be brought back onto the property no later than one day following collection.
- (g) The occupant/body corporate must have one copy of the Waste Management Plan and make this available upon request.
- (h) Details of ongoing waste management strategy are to be documented within the Waste Management Plan and updated every 5 years

OTHER MATTERS

50.SYDNEY WATER SECTION 73 COMPLIANCE CERTIFICATE

A Section 73 Compliance Certificate must be issued from Sydney Water prior to the issue of an occupation certificate.

51.WAVERLEY DIGITAL MODEL

An accurate 'as built' 3D digital model of the building must be submitted to be used in the Waverley Digital Model, to the satisfaction of Council's Digital Urban Designer which complies with the requirements outlined in on Council's website at:

https://www.waverley.nsw.gov.au/building/development_applications/decision_makers/3d_modelling

52.ALLOCATION OF STREET NUMBER

The redevelopment of the property has led to the following allocation of premises numbers:

- No. 43 - primary address site number and
- Ramsgate Avenue - primary address location.
- Unit 5 for upper level apartment.

The primary premises number for the property shall be a minimum of 75mm high and shall be positioned 600mm-1500mm above ground level and be clearly visible on the site boundary that fronts Wellington Street.

The primary and sub-address numbers are to be positioned on the site prior to the issue of the Occupation Certificate and Council notified of the corresponding sub-address numbers to lot number prior to the issue of the Occupation Certificate.

Any variation to the above premises numbering requires a new application for a Change of street number and/or location to be lodged with Council.

ADVISORY MATTERS

The following advisory matters are provided as additional information to ensure compliance with the relevant legislation and requirements. You must also check other Commonwealth and NSW Acts and Regulations which may apply to the works or use approved in this application.

AD1. POST CONSENT CONDITIONS REQUIRING COUNCIL INPUT

Various conditions require further input, review or approval by Council in order to be satisfied following the determination of the application (that is, post consent). In those instances, please adhere to the following process to avoid delays:

- Please read your conditions carefully.
- Information to be submitted to Council should be either via email to info@waverley.nsw.gov.au or via the NSW Planning Portal (if required).
- Attention the documentation to the relevant officer/position of Council (where known/specified in condition).
- Include DA reference number.
- Include condition number/s seeking to be addressed.
- Where multiple conditions need Council input, please try to group the documentation / email/s into relevant subjects (multiple emails for various officers may be necessary, for example).
- Information to be submitted in digital format – refer to ‘Electronic lodgement guidelines’ on Council’s website. Failure to adhere to Council’s naming convention may result in documentation being rejected.
- Where files are too large for email, the digital files should be sent to Council via CD/USB. Council does not support third party online platforms (data in the cloud) for receipt of information.
- Please note, in some circumstances, additional fees and/or additional documents (hard copy) may be required.
- Council’s standard for review (from date the relevant officer receives documentation) is 14 days. Times may vary or be delayed if information is not received in this required manner.

AD2. SYDNEY WATER REQUIREMENTS

You may be required to submit your plans to the appropriate Sydney Water office to determine whether the development will affect Sydney Water’s sewer and water mains, stormwater drains and/or easements.

Contact Sydney Water for more information.

AD3. DIAL BEFORE YOU DIG

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual’s responsibility to anticipate

and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.

AD4. TELECOMMUNICATIONS ACT 1997 (COMMONWEALTH)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on 1800 810 443.

AD5. ALTERATIONS AND ADDITIONS ONLY

This consent is for alterations and additions to the existing building only and should during the course of construction a significant amount of the remaining fabric of the building be required to be removed, works must cease immediately and a new development application will be required to be submitted for assessment.

AD6. BONDI - ROSE BAY SAND BODY

This site may be located within the Bondi - Rose Bay Sand Body as identified in Council's Aboriginal Cultural Heritage Study 2009. Should an object of potential Aboriginal or archaeological significance be discovered during the demolition, excavation or construction period associated with this development, works are to immediately cease and the NSW National Parks and Wildlife Service must be contacted.

Waverley Council must be notified of any referral to the NSW National Parks and Wildlife Service and be provided with a copy of any subsequent response.

AD7. TREE REMOVAL/PRESERVATION

Any trees not identified for removal in this application have not been assessed and separate approval may be required. Any pruning of trees on adjoining properties required for the erection of scaffolding and/or the construction of the building may also require approval.

AD8. SUITABLY QUALIFIED ACOUSTIC CONSULTANT

In these conditions, reference to a suitably qualified acoustic consultant means an individual who possesses the qualifications to render them eligible for membership of both the Australian Acoustics Society and Institution of Engineers Australia at the grade of member or an individual who is employed by a member firm of the Association of Australian Acoustic Consultants.

AD9. STORMWATER DRAINAGE FOR LOW-LEVEL PROPERTIES

When proposing an infiltration or pump out system on low level properties (i.e. developments that fall away from the street), evidence must be submitted to Council that an honest and reasonable attempt has been made to acquire a drainage easement through any of the downstream properties or demonstrated that all avenues to establish an easement be impractical or unviable.

Applicants are first to approach all downstream property owners, wherever a drainage easement to drain the subject property could be established. Any request for a drainage easement must outline

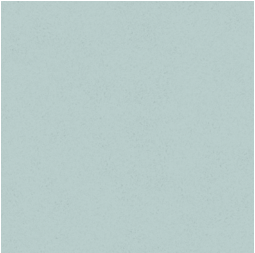
details of the proposed drainage easement, the consequences associated with the failure of an infiltration or pump out system, as well as present a monetary offer of compensation for the easement. Council requires some written evidence to clarify that some negotiation has been undertaken with the property owner.

Where a neighbouring owner refuses to grant a drainage easement, the applicant must provide documentary evidence of this outcome.

Section 88K of the Conveyancing Act 1919 allows for the compulsory acquisition of an easement over land if the easement is reasonably necessary for the effective use or development of other land that will have the benefit of the easement. There are several criteria outlined in the Act that must first be satisfied. If the property owner is unable to attain any written response from the adjacent downstream property owner, a Statutory Declaration stating the above must be submitted.



WALL RENDER - R1
COURSE TEXTURED



BLUE SEAFOAM PAINT TO EXTERIOR - P1



CASCADING PLANTING
EXAMPLE: 160 RAMSGATE AVE BY CLIENT



METAL ROOFING
EuroPlus STANDING SEAM WITH CONCEALED
FIXINGS
SEVERE MARINE ENVIRONMENT FINISH
COLOUR: SURFMIST / OFFWHITE

RAMSGATE HALL BOND I BEACH

© THIS WORK IS COPYRIGHT. APART FROM ANY
USE PERMITTED UNDER THE COPYRIGHT ACT
1968, NO PART MAY BE REPRODUCED BY ANY
PROCESS, NOR MAY ANY OTHER EXCLUSIVE
RIGHT BE EXERCISED, WITHOUT THE
PERMISSION OF ARCHITECTS NICHOLAS &
ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS
PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

PLOTTED : 9/07/2021 4:40:34 PM

LEGEND:		KEY:	
FSL 00.000	FINISHED STRUCTURAL LEVEL		EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL		EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL		NEW BRICKWORK
	SURVEY SPOT LEVEL		HATCH BRICKWORK
± 00.000	EXISTING LEVEL		HATCH TIMBER
	EXISTING WINDOW / DOOR		HATCH CONCRETE
	NEW WINDOW / DOOR		HATCH METAL
			HATCH GLAZING
			HATCH TILES

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

ANPLUSA

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

DRAWING NO: DA000
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PHOTOMONTAGE + FINISHES SCHEDULE

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

DEVELOPMENT APPLICATION

43 RAMSGATE AVENUE, BONDI BEACH, NSW, 2026

DWG NO	DRAWING DESCRIPTION	REV	DATE
DA000	PHOTOMONTAGE + FINISHES SCHEDULE	B	24.02.2021
DA001	DRAWING REGISTER	C	11.11.2021
DA002	SITE PLAN	B	24.02.2021
DA003	SITE ANALYSIS	B	24.02.2021
DA004	CONTEXT ANALYSIS	B	24.02.2021
DA005	VIEW SHARING ANALYSIS	A	31.05.2021
DA006	VIEW SHARING ANALYSIS	B	11.11.2021
DA007	VIEW SHARING ANALYSIS	B	11.11.2021
DA008	VIEW SHARING ANALYSIS	A	31.05.2021
DA009	VIEW SHARING ANALYSIS	A	31.05.2021
DA010	EXISTING PLAN + DEMOLITION - LOWER GROUND FLOOR	B	24.02.2021
DA011	EXISTING PLAN + DEMOLITION - GROUND FLOOR	B	24.02.2021
DA012	EXISTING PLAN + DEMOLITION - FIRST FLOOR	B	24.02.2021
DA013	EXISTING PLAN + DEMOLITION - ROOF	B	24.02.2021
DA014	PROPOSED PLAN - LOWER GROUND FLOOR	C	11.11.2021
DA015	PROPOSED PLAN - GROUND FLOOR	B	24.02.2021
DA016	PROPOSED PLAN - FIRST FLOOR	B	24.02.2021
DA017	PROPOSED PLAN - ROOFTOP	A	24.02.2021
DA018	PROPOSED PLAN - ROOF + WATER MANAGEMENT	B	24.02.2021
DA020	PROPOSED LANDSCAPE + WASTE MANAGEMENT PLAN	B	24.02.2021
DA120	GFA CALCULATIONS	C	11.11.2021
DA121	ADG - CROSS VENTILATION + SOLAR ACCESS PLANS	B	24.02.2021
DA122	STORAGE PLANS	B	24.02.2021
DA150	PROPOSED NORTH ELEVATION (STREET)	B	24.02.2021
DA151	PROPOSED SOUTH ELEVATION	B	24.02.2021
DA152	PROPOSED EAST ELEVATION	B	24.02.2021
DA153	PROPOSED WEST ELEVATION	B	24.02.2021
DA170	PROPOSED SECTION AA	C	11.11.2021
DA171	PROPOSED SECTION BB	B	24.02.2021
DA172	PROPOSED SECTION 1 - LANDSCAPE	B	24.02.2021
DA173	PROPOSED SECTION 2 - LANDSCAPE	B	24.02.2021
DA700	VIEW FROM SUN - JUNE 21 - 9AM	B	24.02.2021
DA701	VIEW FROM SUN - JUNE 21 - 10AM	B	24.02.2021
DA702	VIEW FROM SUN - JUNE 21 - 11AM	B	24.02.2021
DA703	VIEW FROM SUN - JUNE 21 - 12PM	B	24.02.2021
DA704	VIEW FROM SUN - JUNE 21 - 1PM	B	24.02.2021
DA705	VIEW FROM SUN - JUNE 21 - 2PM	B	24.02.2021
DA706	VIEW FROM SUN - JUNE 21 - 3PM	B	24.02.2021

43 Ramsgate Avenue Bondi Beach				
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT				
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>				
WATER COMMITMENTS				
Fixtures	3 Star Clothes washers		Yes	
4 Star Shower Heads	Yes (> 4.5 but <= 6 L/min)			
5 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes	
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas instantaneous 6 Star			
Cooling System	Living	1 Phase A/C Zoned	3 Star (old label)	
	Bedrooms	1 Phase A/C Zoned	3 Star (old label)	
Heating System	Living	1 Phase A/C Zoned	3 Star (old label)	
	Bedrooms	1 Phase A/C Zoned	3 Star (old label)	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off	
	Kitchen	Fan ducted to exterior	Manual on/off	
	Laundry	Fan ducted to exterior	Manual on/off	
Natural Lighting	Window/Skylight in Kitchen		No	
	Window/Skylight in Bathrooms/Toilets		Yes to	1
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms		1	Dedicated Yes
	Number of Living/Dining rooms		1	Dedicated Yes
	Kitchen		Yes	Dedicated Yes
	All Bathrms/Toilets		Yes	Dedicated Yes
	Laundry		Yes	Dedicated Yes
	All Hallways		Yes	Dedicated Yes
OTHER COMMITMENTS				
Indoor clothes line	Yes	Ventilated refrigerator space		Yes
Stove/Oven	Gas cooktop & electric oven			
Alternative Energy	n/a			

February 2021	BSA Reference: 15573		
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.			
If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Lightweight		R3.0	
Cavity brick		None	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		None	
Cavity Brick (party wall)		None	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space	
Roof Construction		Colour	Added Insulation
Metal		Any	Foil + R1.0 blanket
Floor Construction		Covering	Added Insulation
Concrete		As drawn	None
Windows	Glass and frame type	U Value	SHGC Range
Performance glazing Type A		5.40	0.44 - 0.54
Performance glazing Type B		5.40	0.52 - 0.64
Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors		Area sq m	
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres		As drawn	
Skylights	Glass and frame type	U Value	SHGC
		Area sq m	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
External Window Shading		(eaves, verandahs, pergolas, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
No adjustment has been made for losses to insulation arising from ceiling penetrations.			

AMENDED PLANS

GENERAL NOTES

The copyright of this design remains the property of AN+A. This design is not to be used, copied, or reproduced without the authority of AN+A. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

COORDINATION

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

SPECIFICATIONS AND SCHEDULES

Where applicable refer to and coordinate with relevant specifications and schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the affected part of the works.

DETAIL DRAWINGS

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies for direction prior to proceeding with the affected part of the works

EXECUTIVE OF THE WORKS (STANDARD)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

UNITS OF MEASUREMENT

Unless otherwise noted:

- Dimensions are shown in millimetres; and
- Levels are shown in metres

TO DETAIL

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

MATERIALS HANDLING AND STORAGE

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

STRUCTURE

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

HYDRAULICS

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

EROSION & SEDIMENT CONTROL

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

SERVICES (EXISTING & PROPOSED)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

LEVELS

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with the reference to the site survey documents.

FALLS

Finish surfaces typically to fall as required to facilitate effective drainage.

INTERPRETATION

"Provide" means to supply and install.
"Required" means required by the contract documents or by the Local or

Statutory Authorities.
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, and catalogue or reference number.

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

C 11.11.2021
B 24.02.2021
P2 03.02.2021
P1 28.1.2021
A 01.12.2020
ISS DATE

ISSUE FOR DA
ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

PLOTTED : 11/11/2021 2:47:27 PM

LEGEND:

FSL 00.00

+RL 00.00

FFL 00.00

00.000

00.000

W/D

W/D

FINISHED STRUCTURAL LEVEL

FINISHED SPOT OR SURFACE LEVEL

FINISHED FLOOR LEVEL

SURVEY SPOT LEVEL

EXISTING LEVEL

EXISTING WINDOW / DOOR

NEW WINDOW / DOOR

EXISTING TO BE RETAINED

EXISTING TO BE DEMOLISHED

NEW BRICKWORK

HATCH BRICKWORK

HATCH TIMBER

HATCH CONCRETE

HATCH METAL

HATCH GLAZING

HATCH TILES

KEY:

Scale 1 : 100 @ A3

0

0.5m

1m

2m

4m

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO: DA001
ISSUE NO: C
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
DRAWING REGISTER

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.





VIEW SHARING ANALYSIS

43 RAMSGATE AVENUE BONDI BEACH

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

A

31.05.2021

VIEW SHARING ANALYSIS

ISS

DATE

PURPOSE OF ISSUE

LEGEND:

FSL 00.000

FINISHED STRUCTURAL LEVEL

+RL 00.00

FINISHED SPOT OR SURFACE LEVEL

FFL 00.00

FINISHED FLOOR LEVEL

± 00.000

SURVEY SPOT LEVEL

± 00.000

EXISTING LEVEL

W/D

EXISTING WINDOW / DOOR

W/D

NEW WINDOW / DOOR

EXISTING TO BE RETAINED

EXISTING TO BE DEMOLISHED

NEW BRICKWORK

HATCH BRICKWORK

HATCH TIMBER

HATCH CONCRETE

HATCH METAL

HATCH GLAZING

HATCH TILES

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES

ANNA

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:
DA005

ISSUE NO:
A

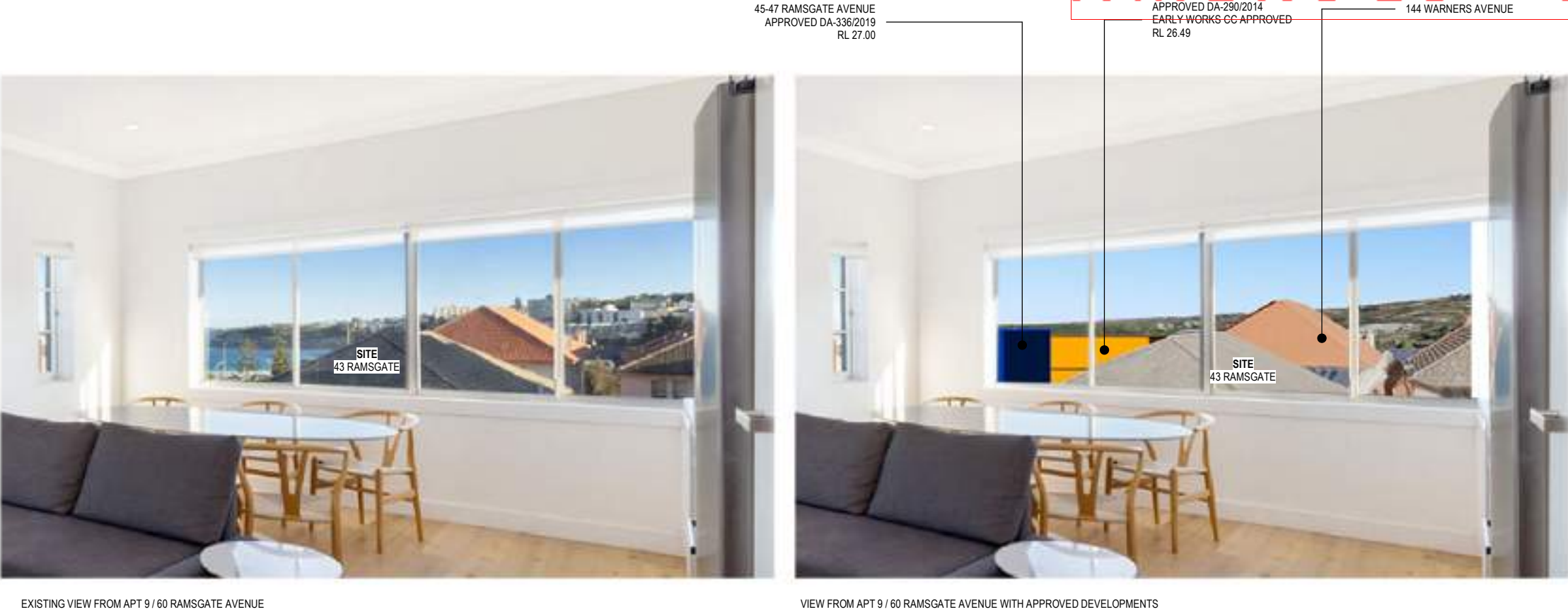
JOB NO:
RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW SHARING ANALYSIS

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



VIEW SHARING ANALYSIS

9/60 RAMSGATE AVENUE BONDI BEACH



EXISTING VIEW FROM APT 8/58 RAMSGATE AVENUE



VIEW FROM APT 8/58 RAMSGATE AVENUE WITH APPROVED DEVELOPMENTS



VIEW FROM APT 8/58 RAMSGATE AVENUE WITH APPROVED DEVELOPMENTS

VIEW SHARING ANALYSIS
8/58 RAMSGATE AVENUE BONDI BEACH

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	11.11.2021	ISSUE FOR DA
A	31.05.2021	VIEW SHARING ANALYSIS
ISS	DATE	PURPOSE OF ISSUE

PLOTTED : 11/11/2021 2:47:39 PM

LEGEND:		KEY:	
FSL 00.000	FINISHED STRUCTURAL LEVEL		EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL		EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL		NEW BRICKWORK
± 00.000	SURVEY SPOT LEVEL		HATCH BRICKWORK
00.000	EXISTING LEVEL		HATCH TIMBER
	EXISTING WINDOW / DOOR		HATCH CONCRETE
	NEW WINDOW / DOOR		HATCH METAL
			HATCH GLAZING
			HATCH TILES

ARCHITECTS
NICHOLAS +
ASSOCIATES

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA007	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW SHARING ANALYSIS

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



EXISTING VIEW FROM APT 10/60 RAMSGATE AVENUE



VIEW FROM APT 10/60 RAMSGATE AVENUE WITH APPROVED DEVELOPMENTS



VIEW FROM APT 10/60 RAMSGATE AVENUE WITH APPROVED DEVELOPMENTS & 43 RAMSGATE PROPOSAL

VIEW SHARING ANALYSIS

10/60 RAMSGATE AVENUE BONDI BEACH

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

A 31.05.2021
ISS DATE

VIEW SHARING ANALYSIS
PURPOSE OF ISSUE

PLOTTED : 8/07/2021 6:01:49 PM

LEGEND:			KEY:	
FSL 00.000	FINISHED STRUCTURAL LEVEL		EXISTING TO BE RETAINED	
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL		EXISTING TO BE DEMOLISHED	
FFL 00.00	FINISHED FLOOR LEVEL		NEW BRICKWORK	
00.000	SURVEY SPOT LEVEL		HATCH BRICKWORK	
00.000	EXISTING LEVEL		HATCH TIMBER	
W/D	EXISTING WINDOW / DOOR		HATCH CONCRETE	
W/D	NEW WINDOW / DOOR		HATCH METAL	
			HATCH GLAZING	
			HATCH TILES	

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

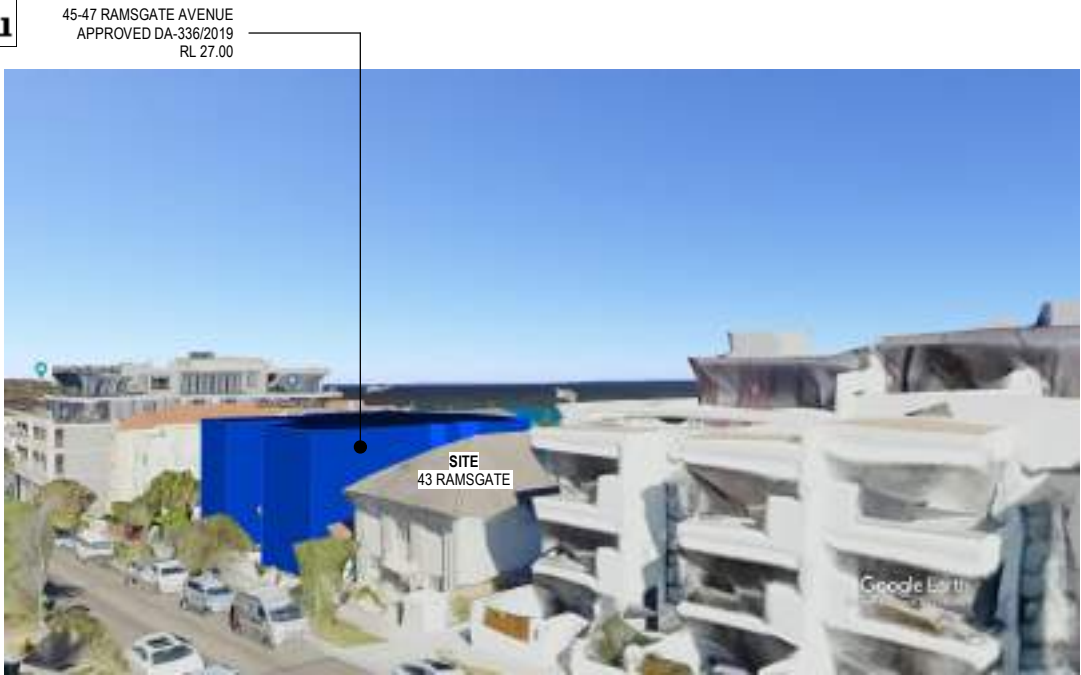
DRAWING NO: DA008
ISSUE NO: A
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW SHARING ANALYSIS

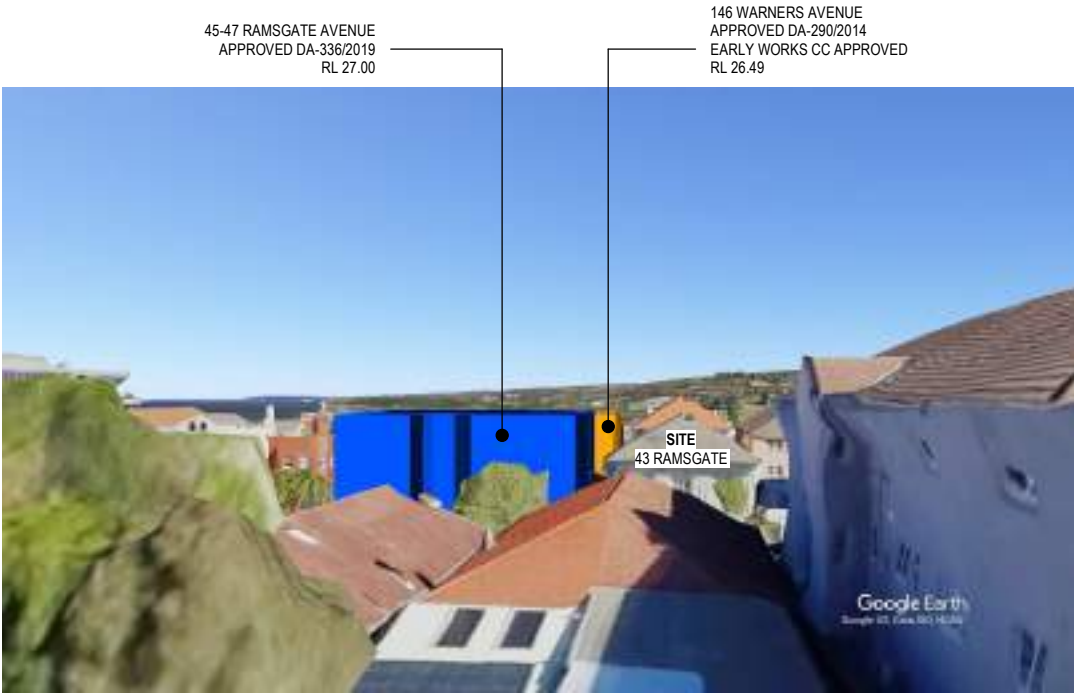
PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

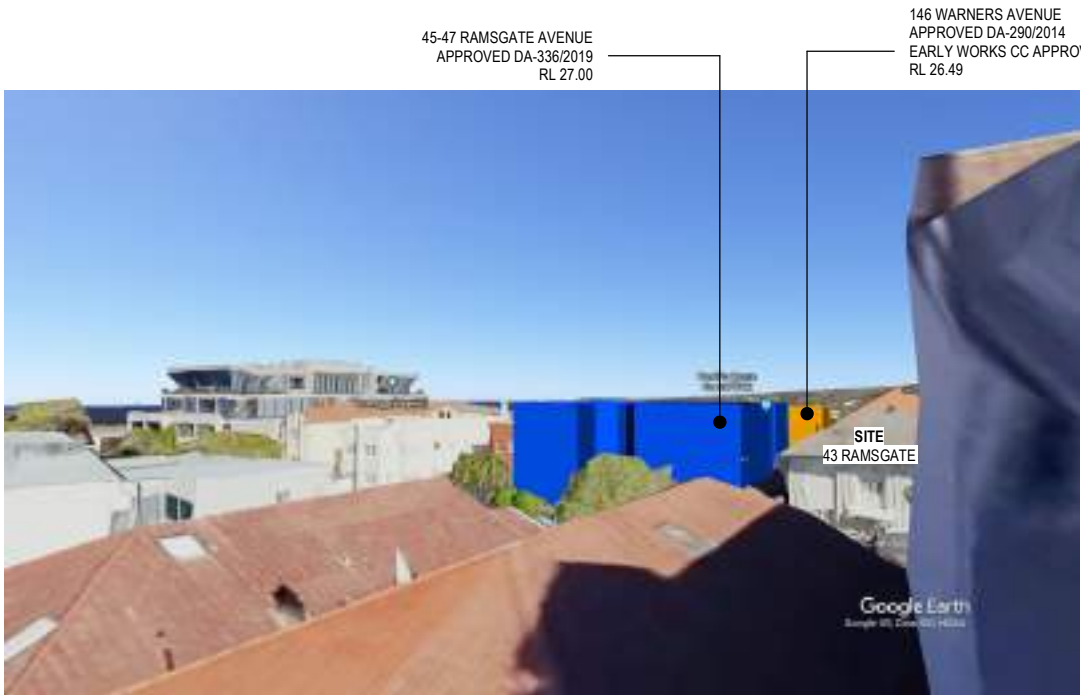


7/56 RAMSGATE AVENUE

AMENDED PLANS



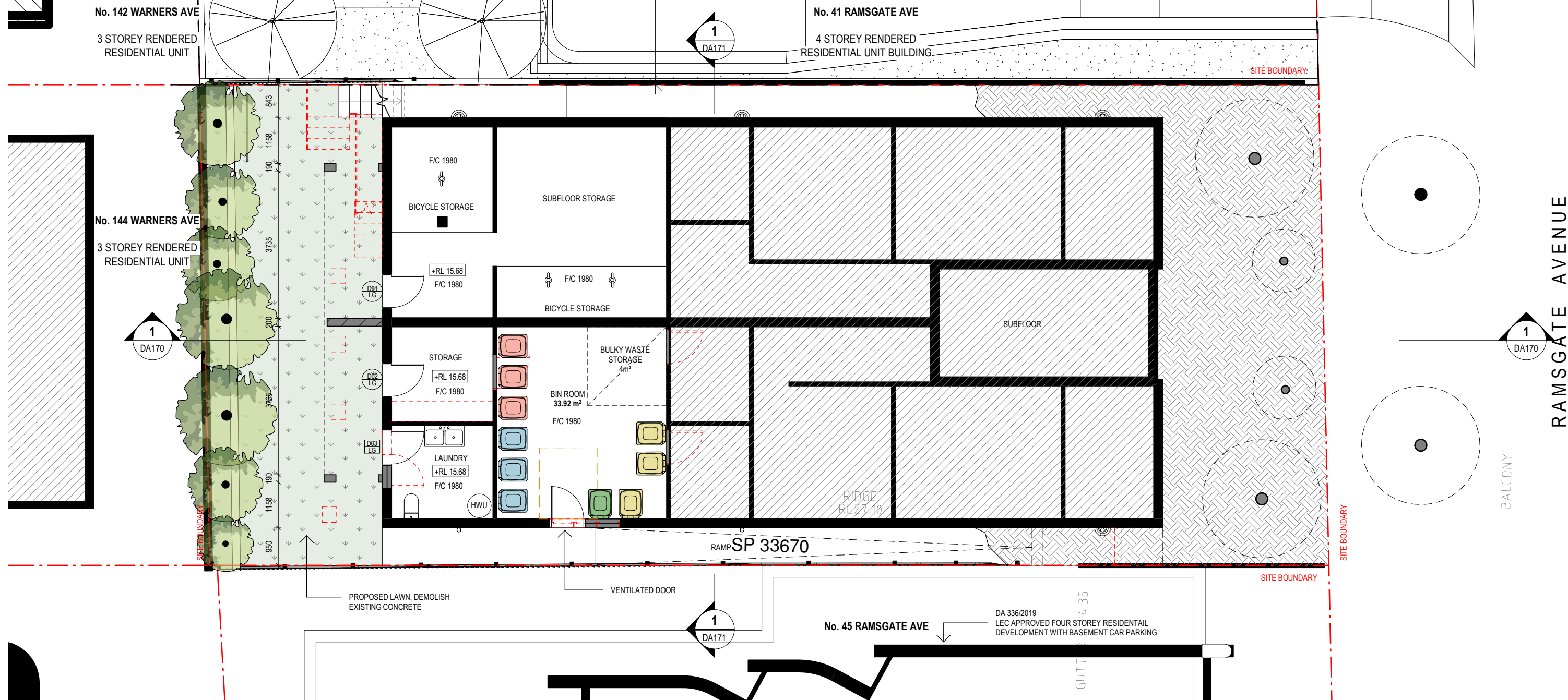
35 BRIGHTON BOULEVARD - TOP WINDOW



APT 12/60 RAMSGATE AVENUE



41 BRIGHTON BOULEVARD - TOP WINDOW



1 PROPOSED LOWER GROUND FLOOR
scale - 1 : 100 @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

C 11.11.2021
B 24.02.2021
P2 03.02.2021
P1 28.1.2021
A 01.12.2020
ISS DATE

ISSUE FOR DA
ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED
NEW BRICKWORK
HATCH BRICKWORK
HATCH TIMBER
HATCH CONCRETE
HATCH METAL
HATCH GLAZING
HATCH TILES

KEY:

Scale 1 : 100 @ A3
0 0.5m 1m 2m 4m

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO: DA014
ISSUE NO: C
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED PLAN - LOWER GROUND FLOOR

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

No. 142 WARNERS AVE
3 STOREY RENDERED
RESIDENTIAL UNIT

No. 144 WARNERS AVE
3 STOREY RENDERED
RESIDENTIAL UNIT

No. 41 RAMSGATE AVE

4 STOREY RENDERED
RESIDENTIAL UNIT BUILDING

DRIVEWAY

ATTACH NEW DOWNPIPES
TO EXISTING STORMWATER

SITE BOUNDARY

EXISTING STEPS

MAINTAIN + PROTECT
EX. STREET TREE

RAMSGATE AVENUE

PROPOSED STREET TREE

MAILBOX

SITE BOUNDARY

ATTACH NEW DOWNPIPES
TO EXISTING STORMWATER

DA 336/2019
LEC APPROVED FOUR STOREY RESIDENTIAL
DEVELOPMENT WITH BASEMENT CAR PARKING

No. 45 RAMSGATE AVE

SINGLE STOREY
RENDERED RESIDENCE

1 PROPOSED GROUND FLOOR
scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE
OF CONSTRUCTION CERTIFICATE
APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY
USE PERMITTED UNDER THE COPYRIGHT ACT
1968, NO PART MAY BE REPRODUCED BY ANY
PROCESS, NOR MAY ANY OTHER EXCLUSIVE
RIGHT BE EXERCISED, WITHOUT THE
PERMISSION OF ARCHITECTS NICHOLAS &
ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS
PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B 24.02.2021
P2 03.02.2021
P1 28.1.2021
A 01.12.2020
ISS DATE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

LEGEND:

FSL 00.00 FINISHED STRUCTURAL LEVEL
+RL 00.00 FINISHED SPOT OR SURFACE LEVEL
FFL 00.00 FINISHED FLOOR LEVEL
00.000 SURVEY SPOT LEVEL
00.000 EXISTING LEVEL
W/D EXISTING WINDOW / DOOR
W/D NEW WINDOW / DOOR

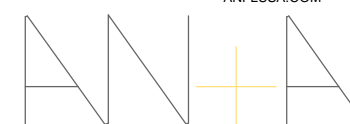
EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED
NEW BRICKWORK
HATCH BRICKWORK
HATCH TIMBER
HATCH CONCRETE
HATCH METAL
HATCH GLAZING
HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

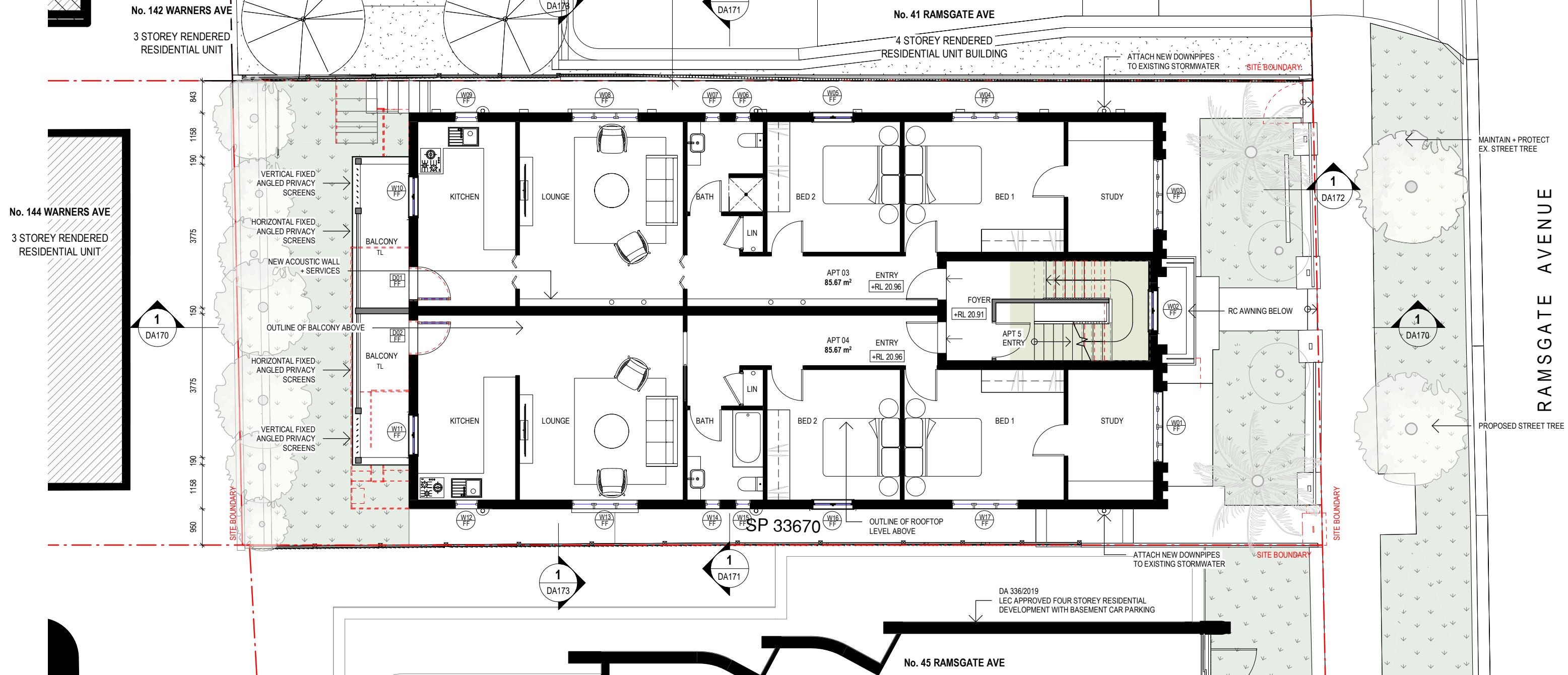
DRAWING NO: DA015
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED PLAN - GROUND FLOOR

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1 PROPOSED FIRST FLOOR
scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

PLOTTED : 8/07/2021 6:02:17 PM

LEGEND:

FSL 00.00	FINISHED STRUCTURAL LEVEL	EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL	EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL	NEW BRICKWORK
00.000	SURVEY SPOT LEVEL	HATCH BRICKWORK
00.000	EXISTING LEVEL	HATCH TIMBER
W/D	EXISTING WINDOW / DOOR	HATCH CONCRETE
W/D	NEW WINDOW / DOOR	HATCH METAL
		HATCH GLAZING
		HATCH TILES

KEY:

Scale 1 : 100 @ A3

0 0.5m 1m 2m 4m

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

DRAWING NO: DA016
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

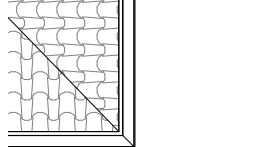
DRAWING TITLE:
PROPOSED PLAN - FIRST FLOOR

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

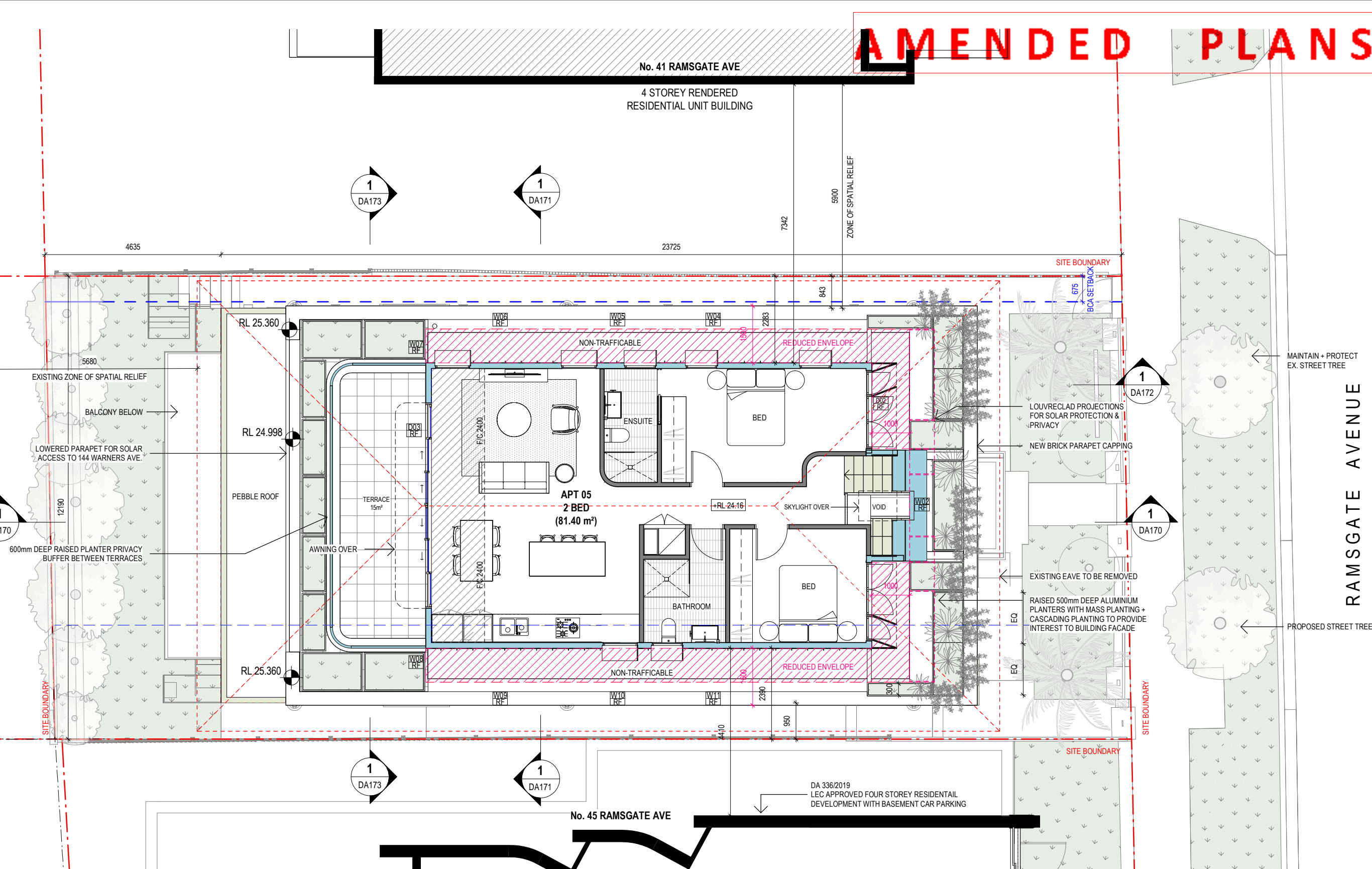
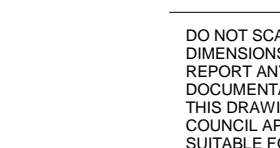
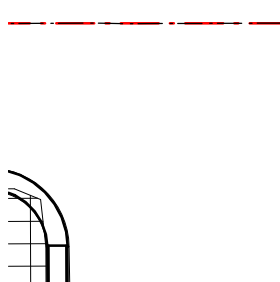
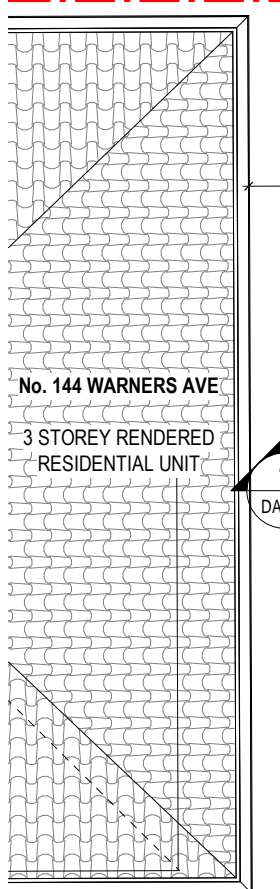
CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

RECEIVED
Waverley Council
Application No: DA-79/2021
Date Received: 12/11/2021

3 STOREY RENDERED
RESIDENTIAL UNIT



No. 144 WARNERS AVE
3 STOREY RENDERED
RESIDENTIAL UNIT



1 PROPOSED ROOFTOP LEVEL
scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE OF
COUNCIL APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY
USE PERMITTED UNDER THE COPYRIGHT ACT
1968, NO PART MAY BE REPRODUCED BY ANY
PROCESS, NOR MAY ANY OTHER EXCLUSIVE
RIGHT BE EXERCISED, WITHOUT THE
PERMISSION OF ARCHITECTS NICHOLAS &
ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS
PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

A	24.02.2021	ISSUE FOR DA
P3	03.02.2021	ISSUE FOR DA
P2	28.1.2021	DRAFT REVISED SCHEME
P1	27.01.2021	DRAFT
ISS	DATE	PURPOSE OF ISSUE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
DRAFT
PURPOSE OF ISSUE

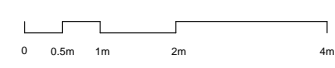
LEGEND:

FSL 00.00	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED
NEW BRICKWORK
HATCH BRICKWORK
HATCH TIMBER
HATCH CONCRETE
HATCH METAL
HATCH GLAZING
HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO: DA017
ISSUE NO: A
JOB NO: RAM1911

DEVELOPMENT APPLICATION

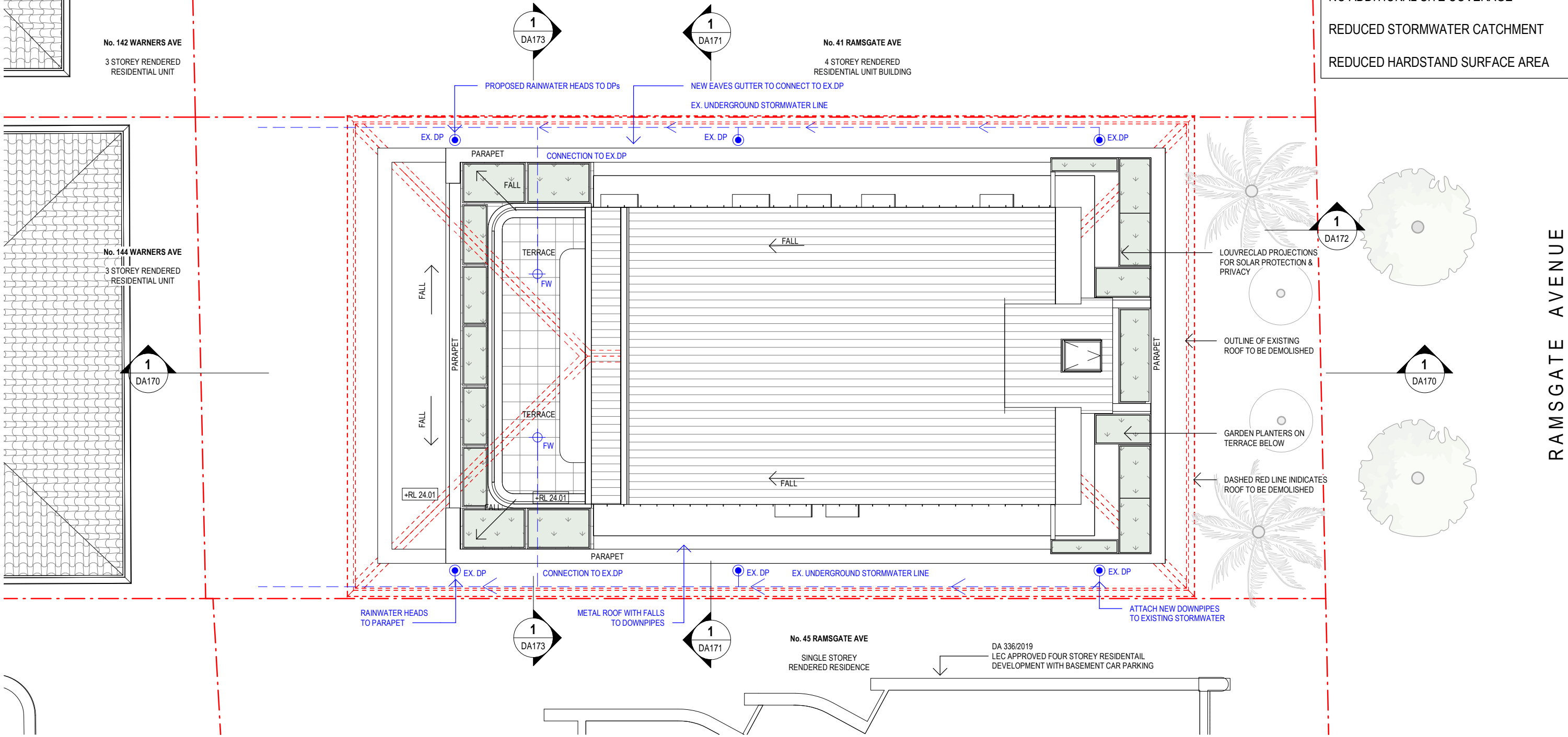
DRAWING TITLE:
PROPOSED PLAN - ROOFTOP

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



NOTES :
NO ADDITIONAL SITE COVERAGE
REDUCED STORMWATER CATCHMENT
REDUCED HARDSTAND SURFACE AREA



1 PROPOSED ROOF PLAN + WATER MANAGEMENT SITE PLAN
scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

PLOTTED : 8/07/2021 6:02:31 PM

LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL	EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL	EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL	NEW BRICKWORK
00.000	SURVEY SPOT LEVEL	HATCH BRICKWORK
00.000	EXISTING LEVEL	HATCH TIMBER
W/D	EXISTING WINDOW / DOOR	HATCH CONCRETE
W/D	NEW WINDOW / DOOR	HATCH METAL
		HATCH GLAZING
		HATCH TILES

KEY:
Scale 1 : 100 @ A3

ARCHITECTS
NICHOLAS +
ASSOCIATES

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

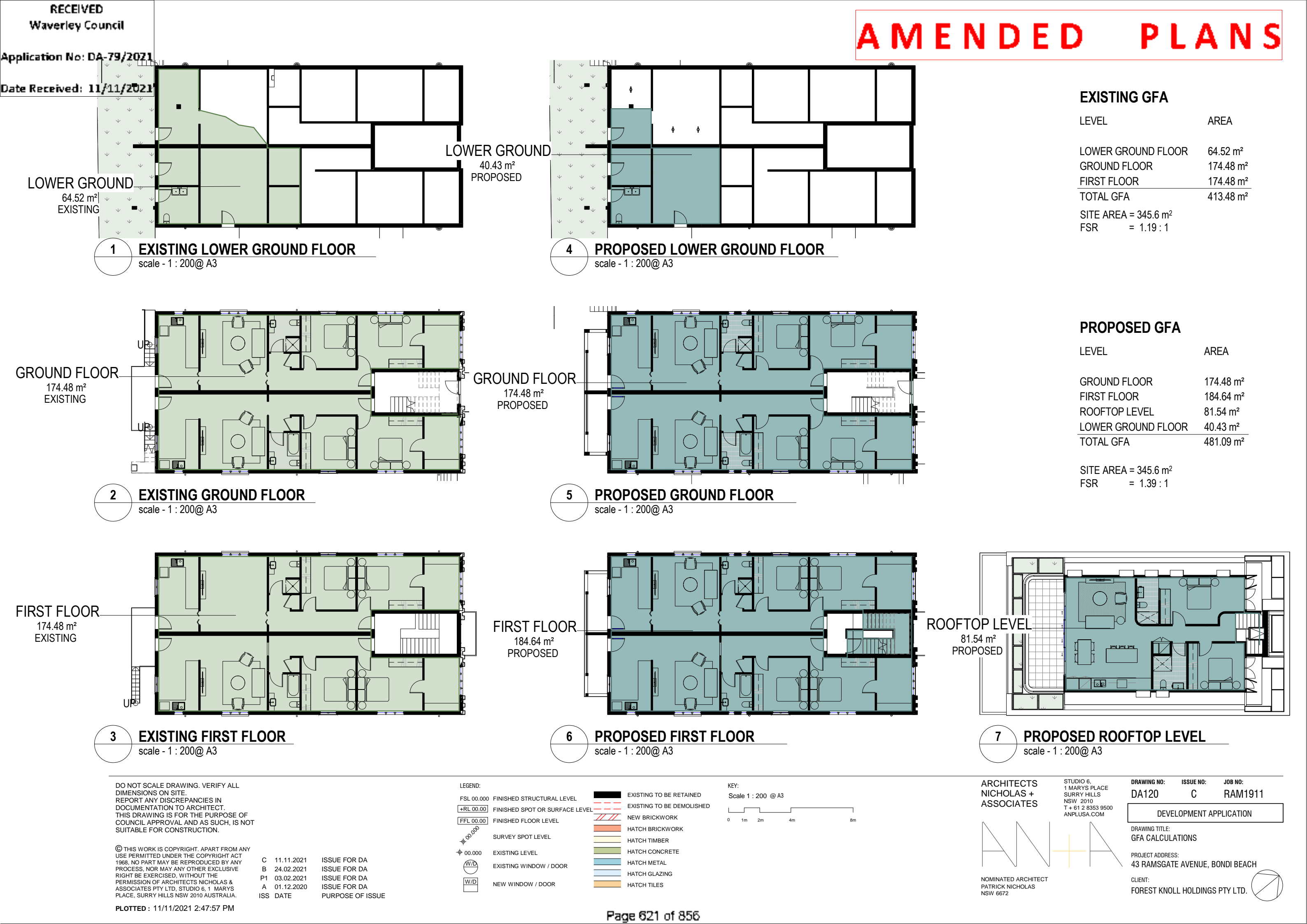
STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

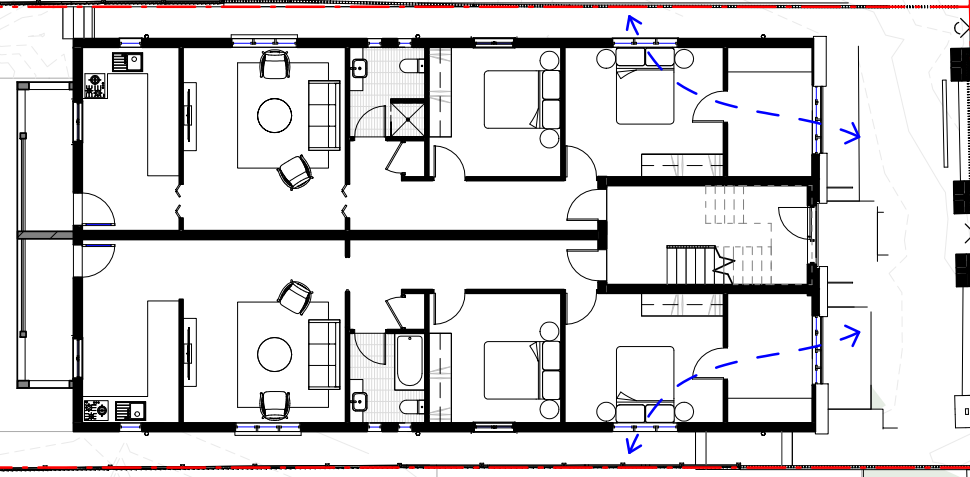
DRAWING NO:	ISSUE NO:	JOB NO:
DA018	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED PLAN - ROOF + WATER
MANAGEMENT
PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

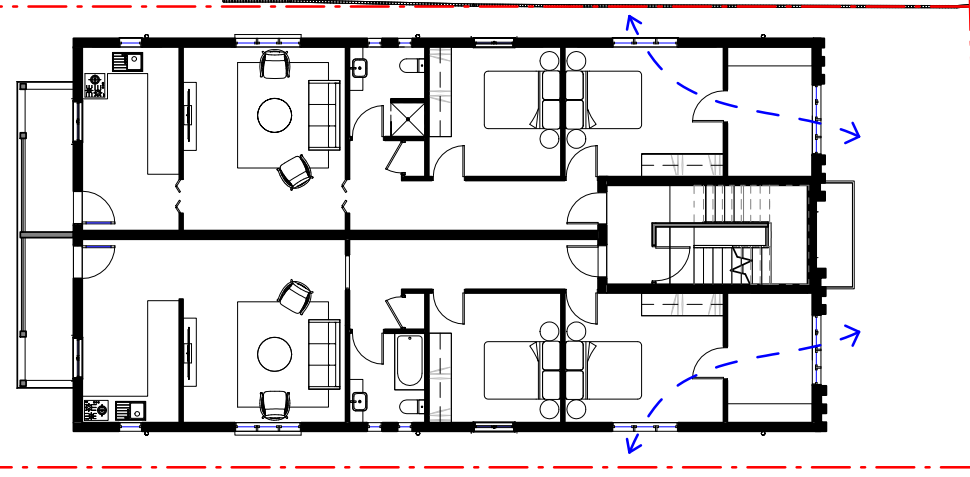
CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.





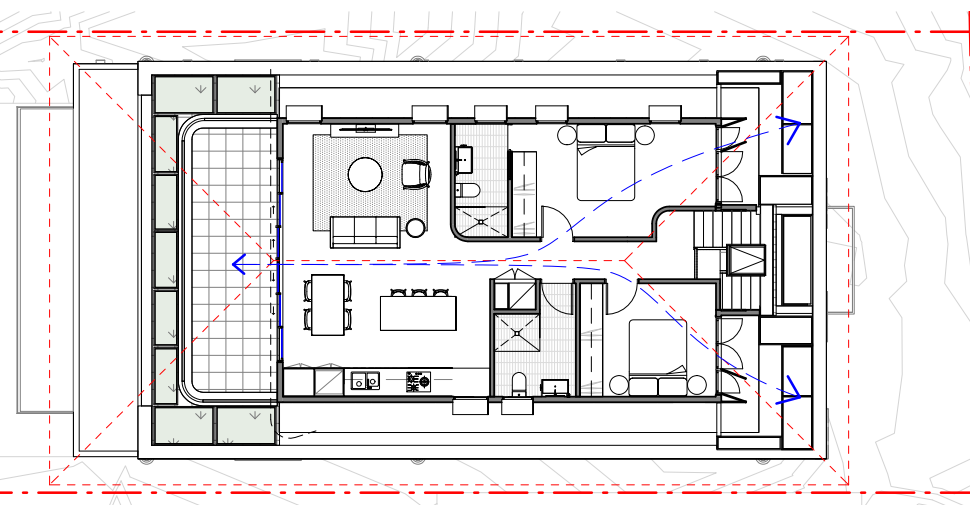
1 CROSS VENTILATION - GROUND FLOOR

scale - 1 : 200@ A3



2 CROSS VENTILATION - FIRST FLOOR

scale - 1 : 200@ A3



3 CROSS VENTILATION - ROOFTOP

scale - 1 : 200@ A3

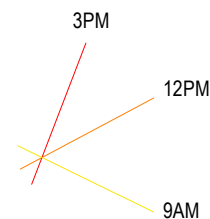
ADG SOLAR ACCESS REQUIREMENT :

LIVING ROOMS & PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9AM & 3PM IN MID-WINTER

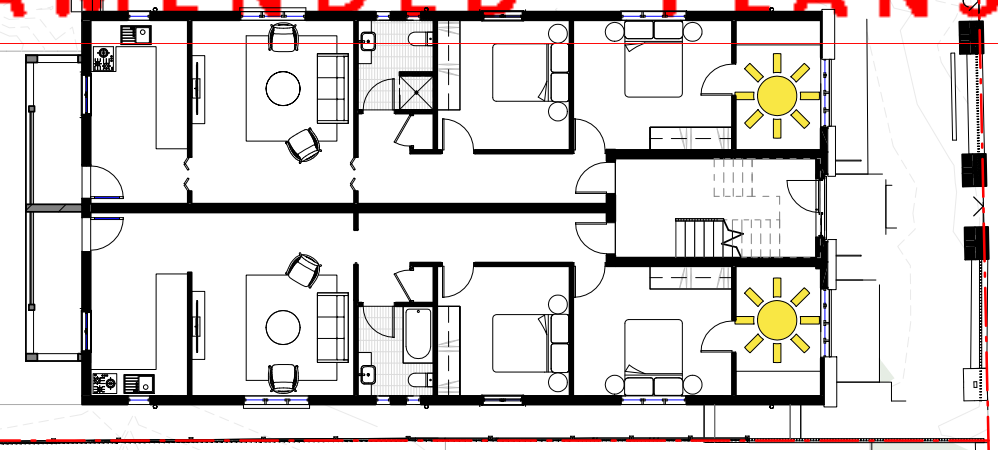
A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9AM & 3PM IN MID-WINTER

SOLAR ACCESS PROVIDED :

TOTAL OF 5 UNITS (83% OF 6 APARTMENTS) RECEIVE MINIMUM DIRECT SUNLIGHT ON 21 JUNE BETWEEN 9AM & 3PM

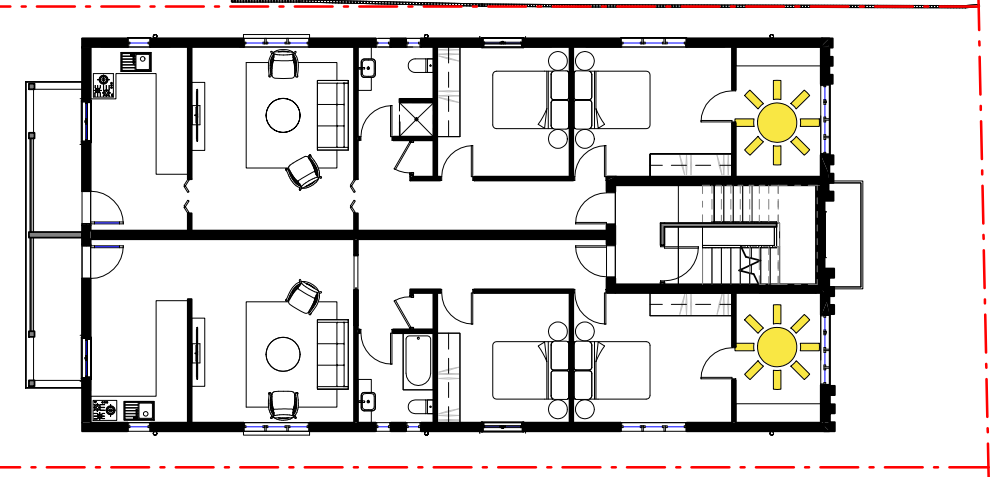


AMENDED PLANS



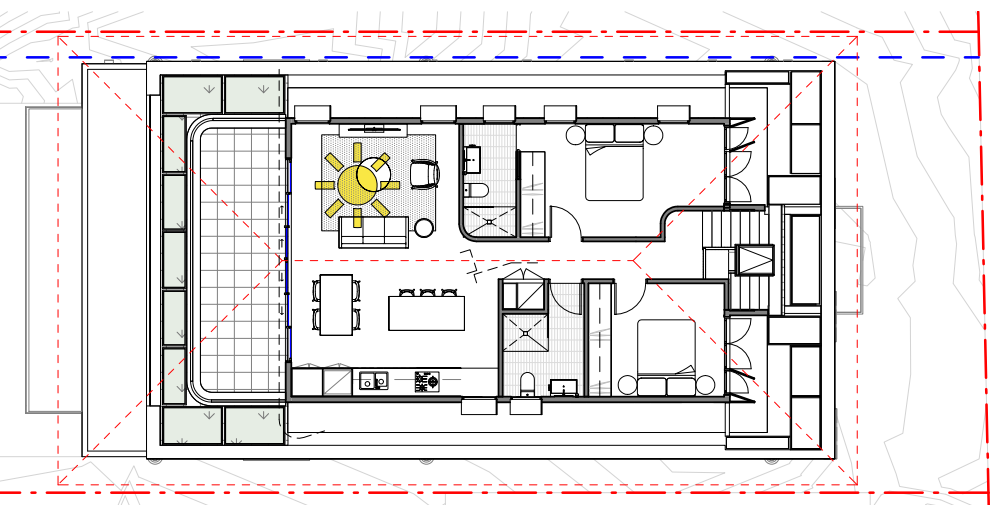
4 SOLAR ACCESS - GROUND FLOOR

scale - 1 : 200@ A3



5 SOLAR ACCESS - FIRST FLOOR

scale - 1 : 200@ A3



6 SOLAR ACCESS - ROOFTOP

scale - 1 : 200@ A3

NATURAL CROSS VENTILATION REQUIREMENT :

60% OF RESIDENTIAL UNITS SHOULD BE NATURALLY CROSS VENTILATED
TOTAL OF 4 UNITS SHOULD BE NATURALLY CROSS VENTILATED

NATURAL CROSS VENTILATION PROVIDED :

TOTAL OF 6 UNITS ARE NATURALLY CROSS VENTILATED
100% OF RESIDENTIAL UNITS ARE NATURALLY CROSS VENTILATED

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B 24.02.2021 ISSUE FOR DA
P1 03.02.2021 ISSUE FOR DA
A 01.12.2020 ISSUE FOR DA
ISS DATE PURPOSE OF ISSUE

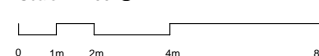
LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED
NEW BRICKWORK
HATCH BRICKWORK
HATCH TIMBER
HATCH CONCRETE
HATCH METAL
HATCH GLAZING
HATCH TILES

KEY:

Scale 1 : 200 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

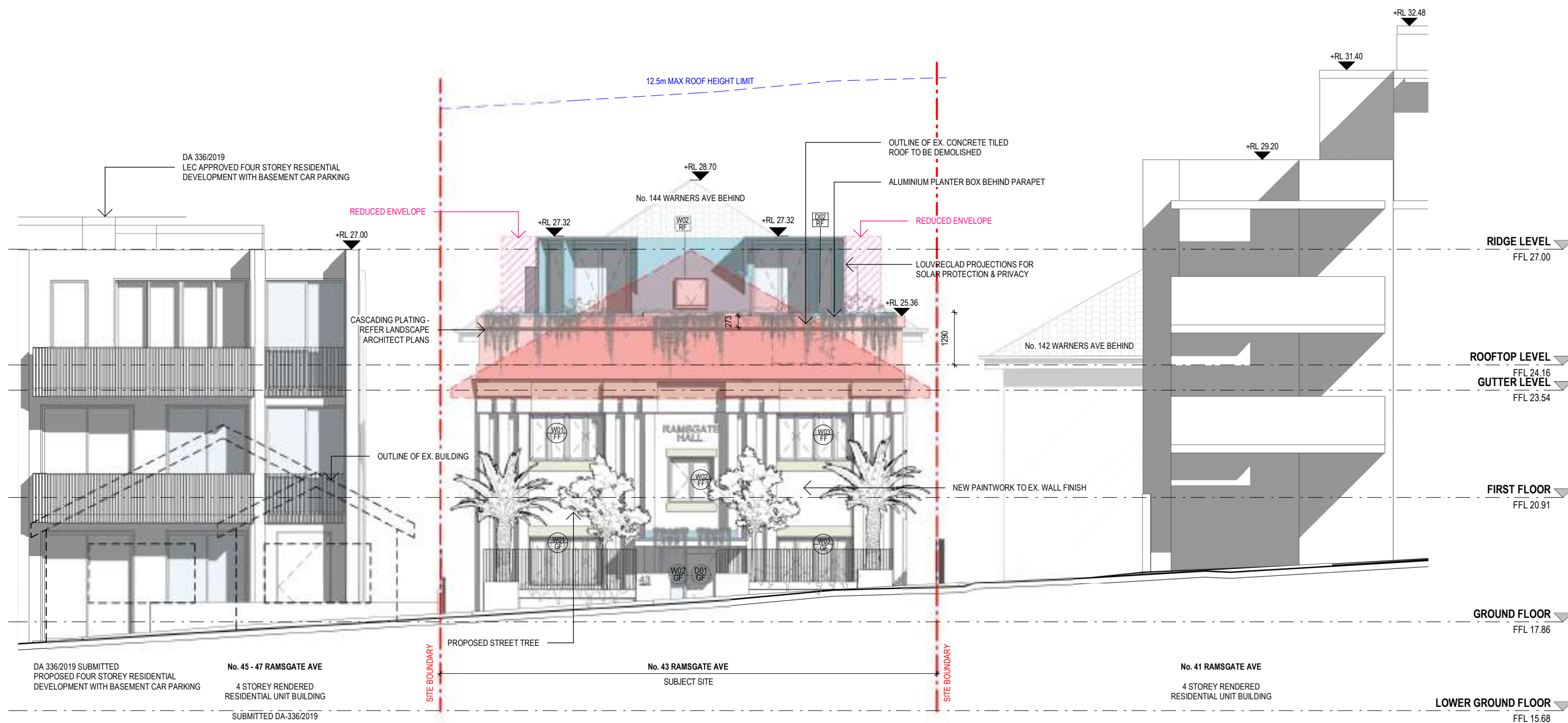
STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO: DA121 ISSUE NO: B JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
ADG - CROSS VENTILATION + SOLAR
ACCESS PLANS
PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1

PROPOSED NORTH ELEVATION

scale - 1 : 100 @ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE OF
COUNCIL APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY
USE PERMITTED UNDER THE COPYRIGHT ACT
1968, NO PART MAY BE REPRODUCED BY ANY
PROCESS, NOR MAY ANY OTHER EXCLUSIVE
RIGHT BE EXERCISED, WITHOUT THE
PERMISSION OF ARCHITECTS NICHOLAS &
ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS
PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

ISS	DATE	PURPOSE OF ISSUE
B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA

PLOTED : 8/07/2021 6:02:48 PM

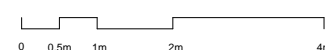
LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	NEW BRICKWORK
	HATCH BRICKWORK
	HATCH TIMBER
	HATCH CONCRETE
	HATCH METAL
	HATCH GLAZING
	HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

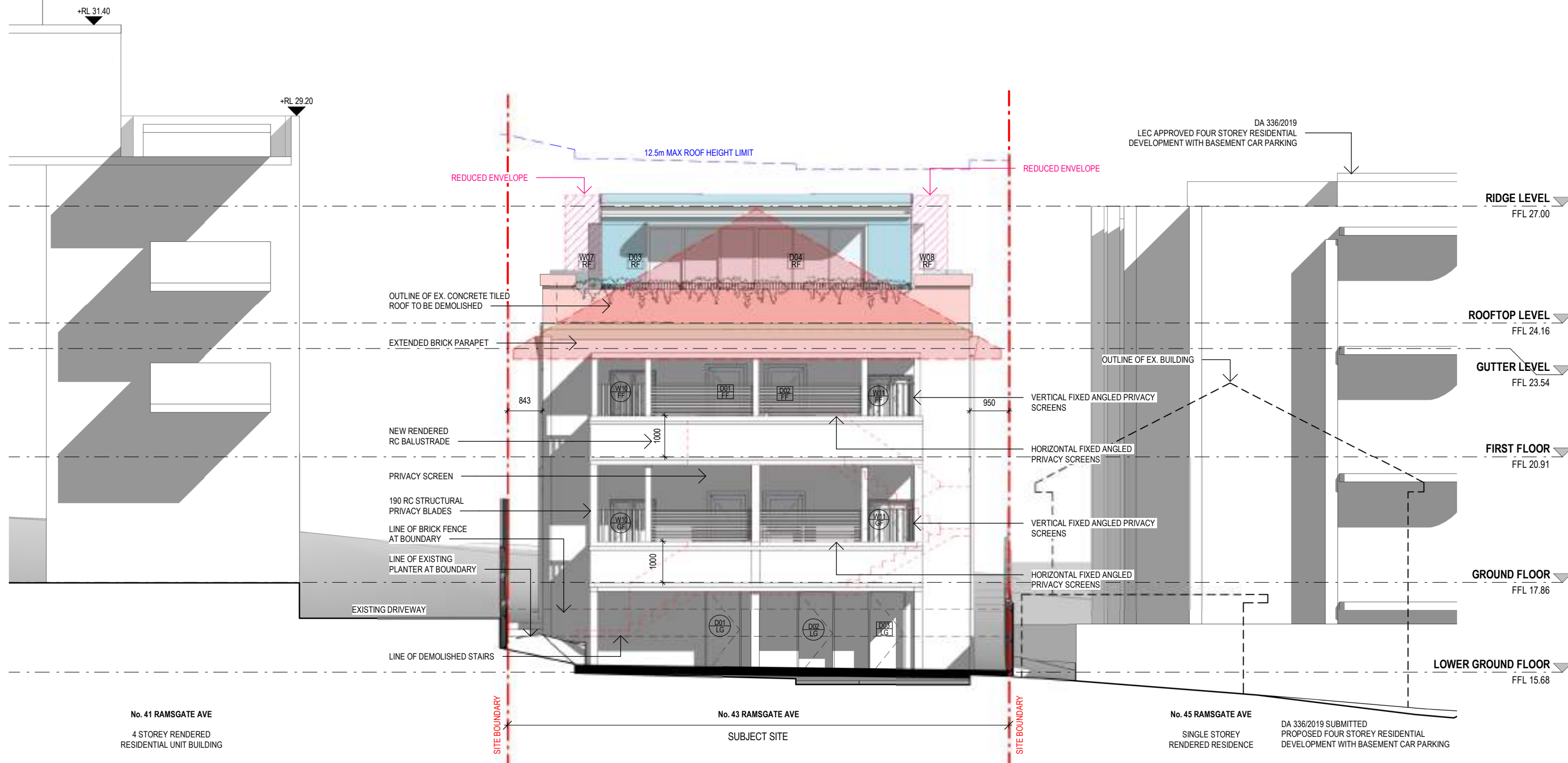
DRAWING NO: DA150
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED NORTH ELEVATION (STREET)

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1

PROPOSED SOUTH ELEVATION

scale - 1 : 100 @ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE OF
COUNCIL APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY
USE PERMITTED UNDER THE COPYRIGHT ACT
1968, NO PART MAY BE REPRODUCED BY ANY
PROCESS, NOR MAY ANY OTHER EXCLUSIVE
RIGHT BE EXERCISED, WITHOUT THE
PERMISSION OF ARCHITECTS NICHOLAS &
ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS
PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021
P2	03.02.2021
P1	28.1.2021
A	01.12.2020
ISS	DATE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

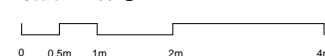
LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.000	FINISHED SPOT OR SURFACE LEVEL
FFL 00.000	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED
NEW BRICKWORK
HATCH BRICKWORK
HATCH TIMBER
HATCH CONCRETE
HATCH METAL
HATCH GLAZING
HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA151	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED SOUTH ELEVATION

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1

PROPOSED EAST ELEVATION

scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE OF
COUNCIL APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.



© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.










B	24.02.2021
P2	03.02.2021
P1	28.1.2021
A	01.12.2020
ISS	DATE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

PLOTTED : 8/07/2021 6:03:08 PM

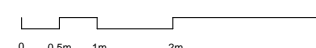
LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.000	FINISHED SPOT OR SURFACE LEVEL
FFL 00.000	FINISHED FLOOR LEVEL
00.000	SURVEY SPOT LEVEL
00.000	EXISTING LEVEL
	EXISTING WINDOW / DOOR
	NEW WINDOW / DOOR

	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	NEW BRICKWORK
	HATCH BRICKWORK
	HATCH TIMBER
	HATCH CONCRETE
	HATCH METAL
	HATCH GLAZING
	HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES

A diagram illustrating the addition of two trapezoids. On the left, two identical trapezoids are shown side-by-side. Each trapezoid has a horizontal top base, a horizontal bottom base, and two slanted sides. A vertical line is drawn between the two trapezoids. To the right of this vertical line is a plus sign (+). Further right is another identical trapezoid. This diagram represents the equation: $\text{Trapezoid} + \text{Trapezoid} = \text{Parallelogram}$.

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA152	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED EAST ELEVATION

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1

PROPOSED WEST ELEVATION

scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL
DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES IN
DOCUMENTATION TO ARCHITECT.
THIS DRAWING IS FOR THE PURPOSE OF
COUNCIL APPROVAL AND AS SUCH, IS NOT
SUITABLE FOR CONSTRUCTION.



© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.










B	24.02.2021
P2	03.02.2021
P1	28.1.2021
A	01.12.2020
ISS	DATE

ISSUE FOR DA	ISSUE FOR DA	DRAFT REVISED SCHEME	ISSUE FOR DA	PURPOSE OF ISSUE
--------------	--------------	----------------------	--------------	------------------

PLOTTED : 8/07/2021 6:03:21 PM

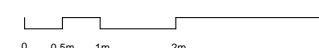
LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
<u>+RL 00.00</u>	FINISHED SPOT OR SURFACE LEVEL
<u>FFL 00.00</u>	FINISHED FLOOR LEVEL
00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
	EXISTING WINDOW / DOOR
	NEW WINDOW / DOOR

	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	NEW BRICKWORK
	HATCH BRICKWORK
	HATCH TIMBER
	HATCH CONCRETE
	HATCH METAL
	HATCH GLAZING
	HATCH TILES

KEY:

Scale 1 : 100 @ A3



ARCHITECTS
NICHOLAS +
ASSOCIATES

A diagram illustrating the addition of two trapezoids. On the left, two identical trapezoids are shown side-by-side. Each trapezoid has a vertical left side, a shorter vertical right side, a horizontal top base, and a horizontal bottom base. A yellow plus sign is placed between the two trapezoids. To the right of the plus sign, a single parallelogram is shown, which is the result of combining the two trapezoids. The parallelogram has two vertical sides and two slanted sides, with a horizontal top base and a horizontal bottom base.

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA153	B	RAM1911

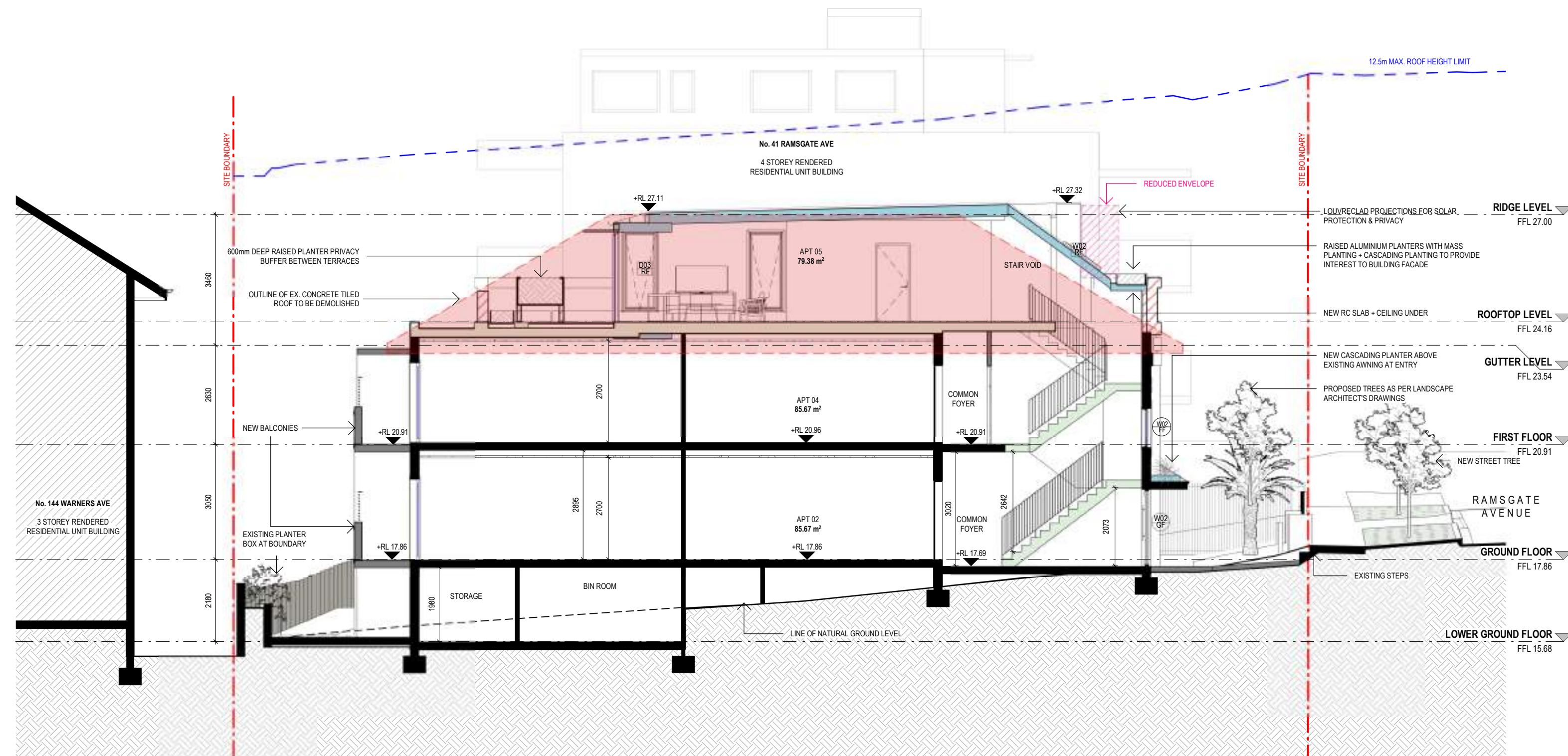
DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED WEST ELEVATION

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

AMENDED PLANS



1 PROPOSED SECTION AA
scale - 1 : 100 @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

PLOTTED : 11/11/2021 2:48:08 PM

C	DATE	PURPOSE OF ISSUE
11.11.2021	ISSUE FOR DA	
24.02.2021	ISSUE FOR DA	
03.02.2021	ISSUE FOR DA	
28.1.2021	DRAFT REVISED SCHEME	
01.12.2020	ISSUE FOR DA	

LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL	EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL	EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL	NEW BRICKWORK
00.000	SURVEY SPOT LEVEL	HATCH BRICKWORK
00.000	EXISTING LEVEL	HATCH TIMBER
W/D	EXISTING WINDOW / DOOR	HATCH CONCRETE
W/D	NEW WINDOW / DOOR	HATCH METAL
		HATCH GLAZING
		HATCH TILES

KEY:

Scale 1 : 100 @ A3

0 0.5m 1m 2m 4m

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

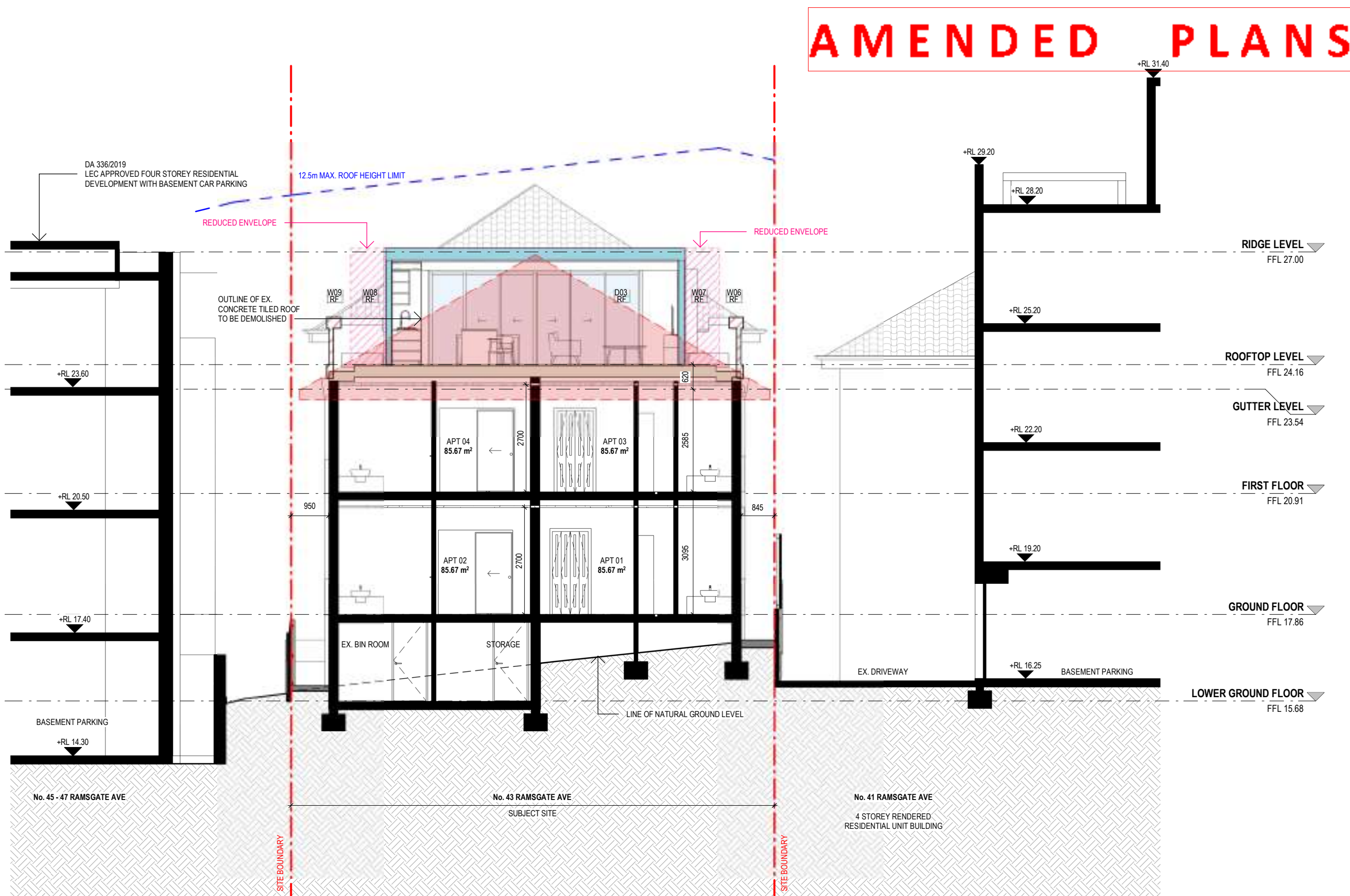
DRAWING NO: DA170
ISSUE NO: C
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED SECTION AA

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1 PROPOSED SECTION BB
scale - 1 : 100@ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

PLOTTED : 8/07/2021 6:03:31 PM

ISS	DATE	PURPOSE OF ISSUE
B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA

LEGEND:

FSL 00.00	FINISHED STRUCTURAL LEVEL	EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL	EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL	NEW BRICKWORK
00.000	SURVEY SPOT LEVEL	HATCH BRICKWORK
00.000	EXISTING LEVEL	HATCH TIMBER
W/D	EXISTING WINDOW / DOOR	HATCH CONCRETE
W/D	NEW WINDOW / DOOR	HATCH METAL
		HATCH GLAZING
		HATCH TILES

KEY:

Scale 1 : 100 @ A3

0 0.5m 1m 2m 4m

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

DRAWING NO: DA171
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
PROPOSED SECTION BB

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

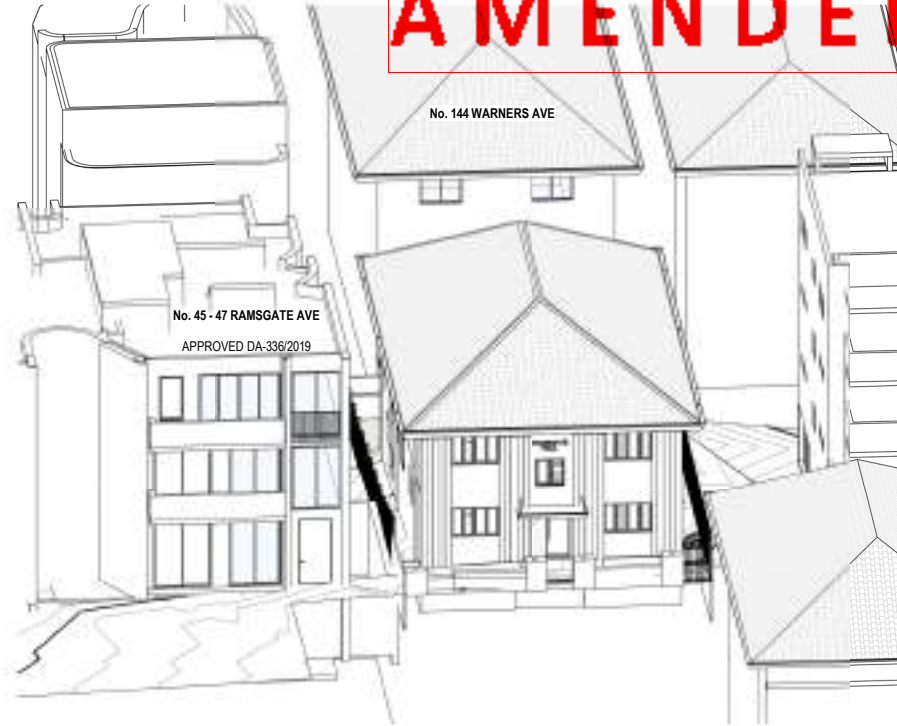


1

VIEW FROM SUN - EXISTING - 9AM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3



2

VIEW FROM SUN - EXISTING - 9AM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3



3

VIEW FROM SUN - PROPOSED - 9AM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3



4

VIEW FROM SUN - PROPOSED - 9AM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	NEW BRICKWORK
	HATCH BRICKWORK
	HATCH TIMBER
	HATCH CONCRETE
	HATCH METAL
	HATCH GLAZING
	HATCH TILES

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA700	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 9AM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

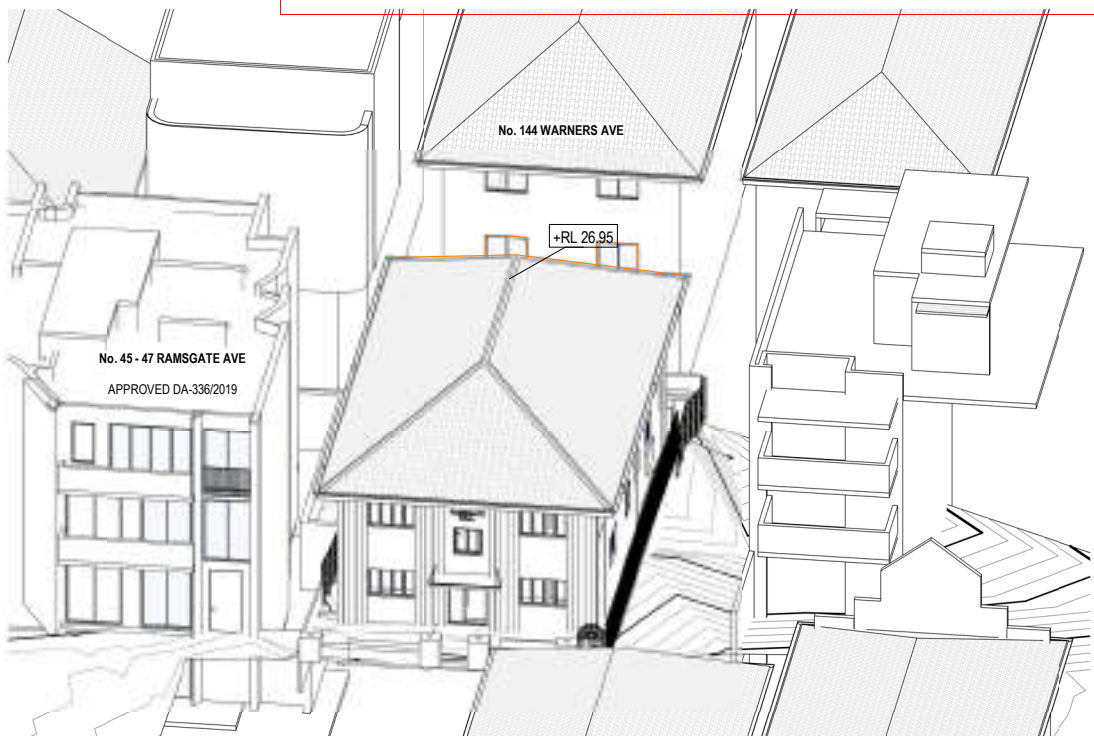


1

VIEW FROM SUN - EXISTING - 10AM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3



2

VIEW FROM SUN - EXISTING - 10AM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3



3

VIEW FROM SUN - PROPOSED - 10AM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3



4

VIEW FROM SUN - PROPOSED - 10AM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021
P2	03.02.2021
P1	28.1.2021
A	01.12.2020
ISS	DATE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

LEGEND:

- | | |
|------------|--------------------------------|
| FSL 00.000 | FINISHED STRUCTURAL LEVEL |
| +RL 00.00 | FINISHED SPOT OR SURFACE LEVEL |
| FFL 00.00 | FINISHED FLOOR LEVEL |
| ± 00.000 | SURVEY SPOT LEVEL |
| ± 00.000 | EXISTING LEVEL |
| W/D | EXISTING WINDOW / DOOR |
| W/D | NEW WINDOW / DOOR |

- | |
|---------------------------|
| EXISTING TO BE RETAINED |
| EXISTING TO BE DEMOLISHED |
| NEW BRICKWORK |
| HATCH BRICKWORK |
| HATCH TIMBER |
| HATCH CONCRETE |
| HATCH METAL |
| HATCH GLAZING |
| HATCH TILES |

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

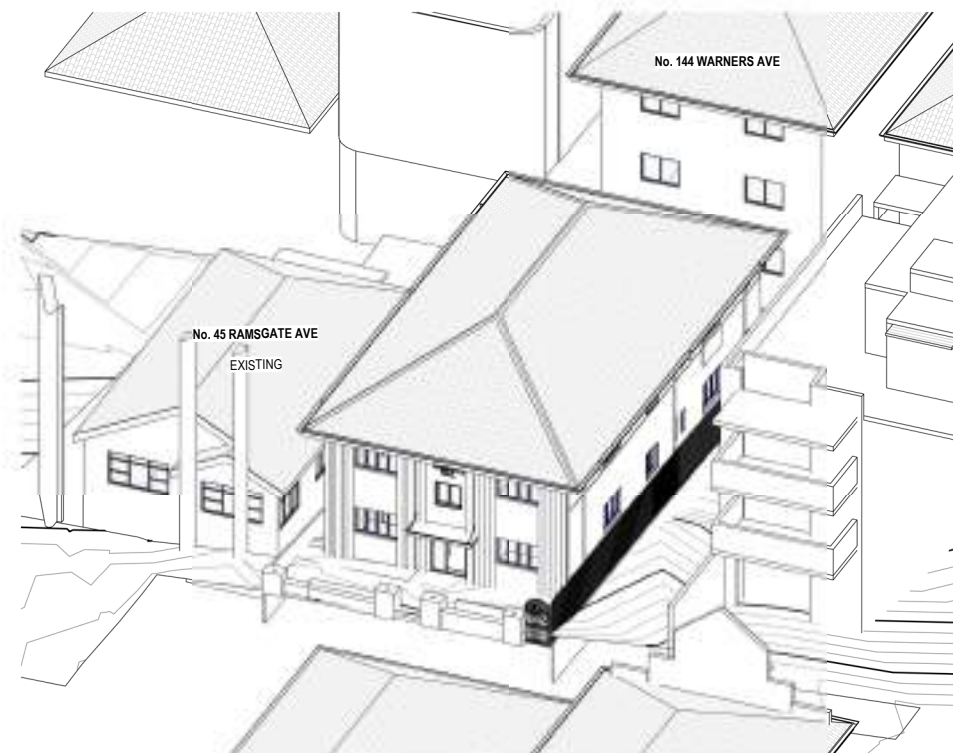
DRAWING NO:	ISSUE NO:	JOB NO:
DA701	B	RAM1911

DEVELOPMENT APPLICATION

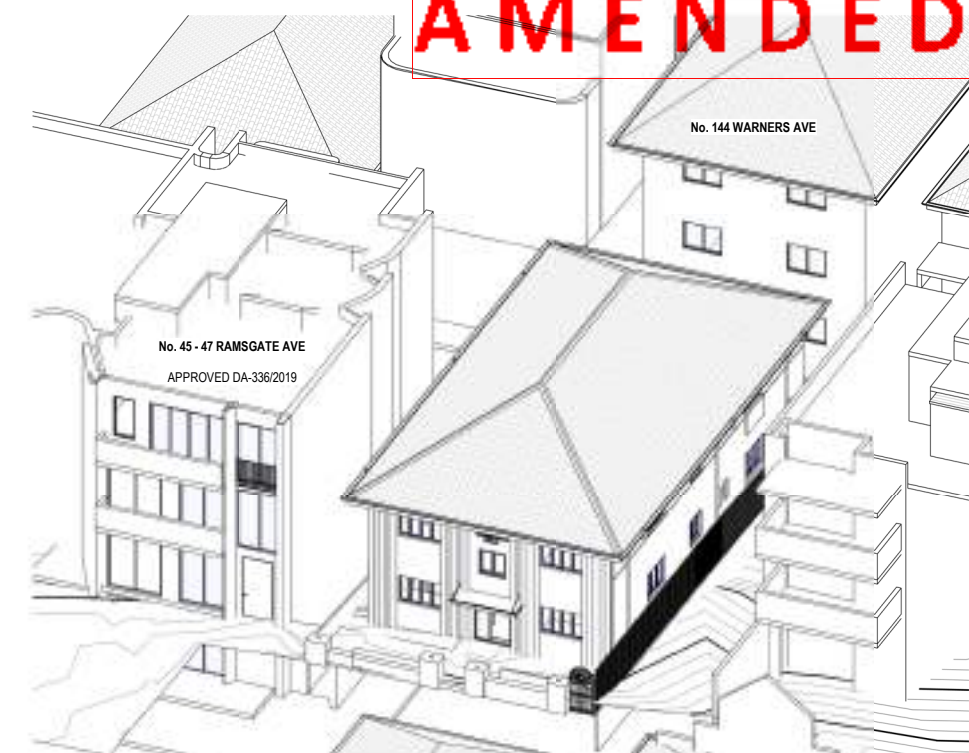
DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 10AM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



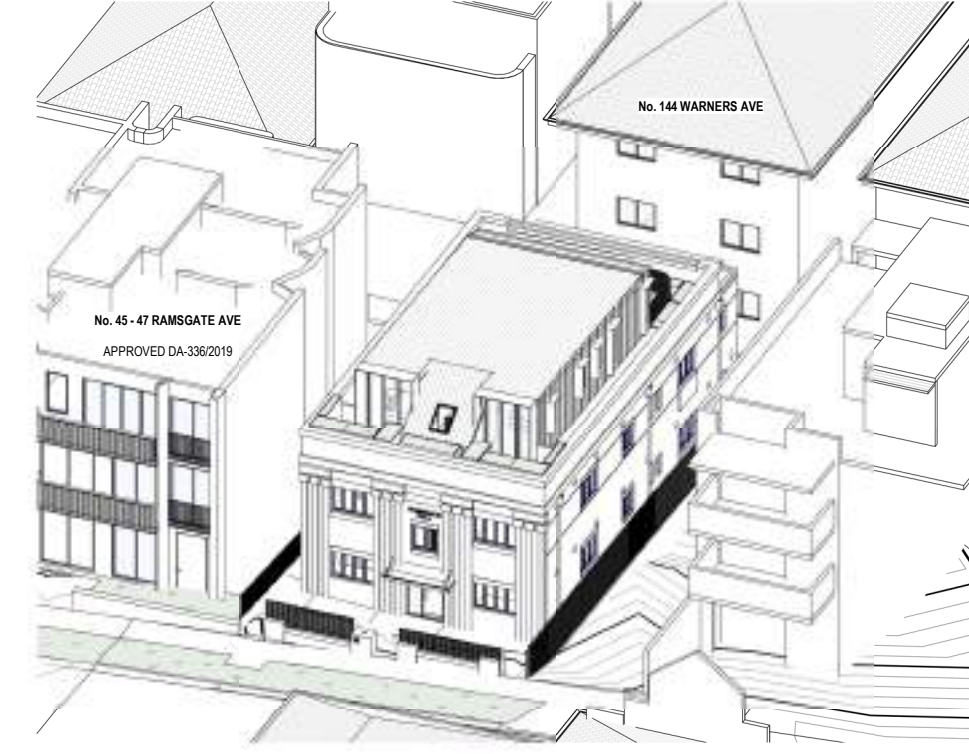
1 VIEW FROM SUN - EXISTING - 11AM
scale - @ A3
EXISTING 45 - EXISTING 43 (SUBJECT SITE)



2 VIEW FROM SUN - EXISTING - 11AM
scale - @ A3
PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)



3 VIEW FROM SUN - PROPOSED - 11AM
scale - @ A3
EXISTING 45 - PROPOSED 43 (SUBJECT SITE)



4 VIEW FROM SUN - PROPOSED - 11AM
scale - @ A3
PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

AMENDED PLANS

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021	ISSUE FOR DA
P2	03.02.2021	ISSUE FOR DA
P1	28.1.2021	DRAFT REVISED SCHEME
A	01.12.2020	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

PLOTTED : 8/07/2021 6:04:14 PM

LEGEND:

FSL 00.00	FINISHED STRUCTURAL LEVEL	EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL	EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL	NEW BRICKWORK
00.000	SURVEY SPOT LEVEL	HATCH BRICKWORK
00.000	EXISTING LEVEL	HATCH TIMBER
W/D	EXISTING WINDOW / DOOR	HATCH CONCRETE
W/D	NEW WINDOW / DOOR	HATCH METAL
		HATCH GLAZING
		HATCH TILES

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

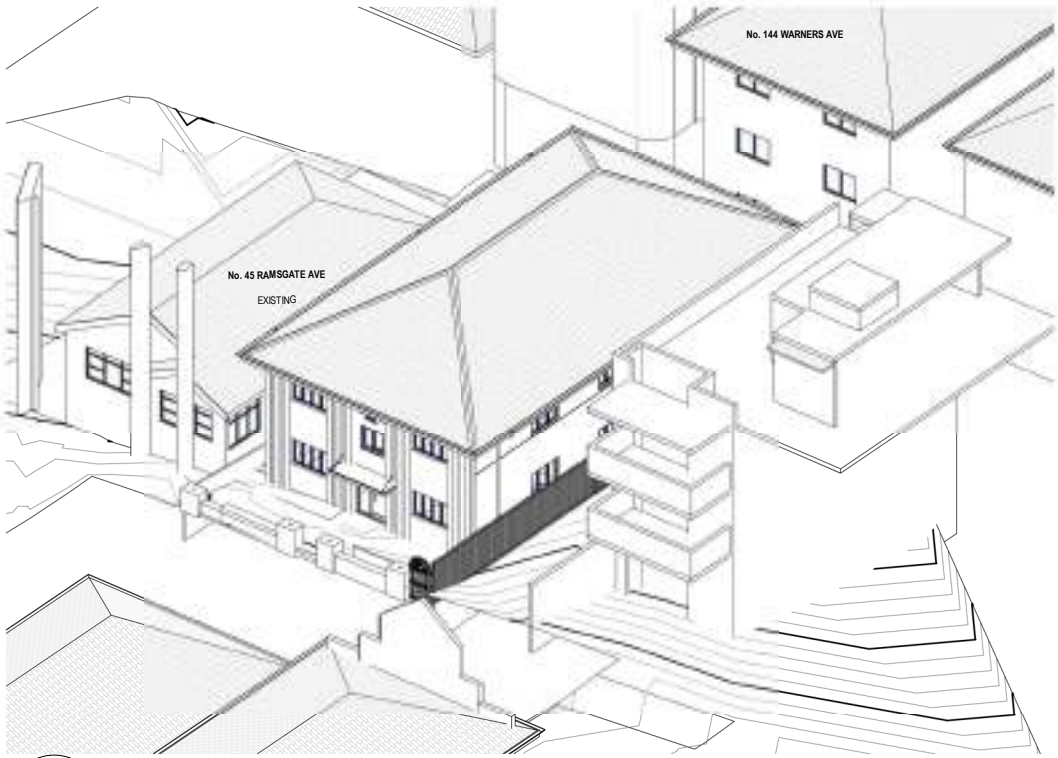
DRAWING NO: DA702
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 11AM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



1

VIEW FROM SUN - EXISTING - 12PM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

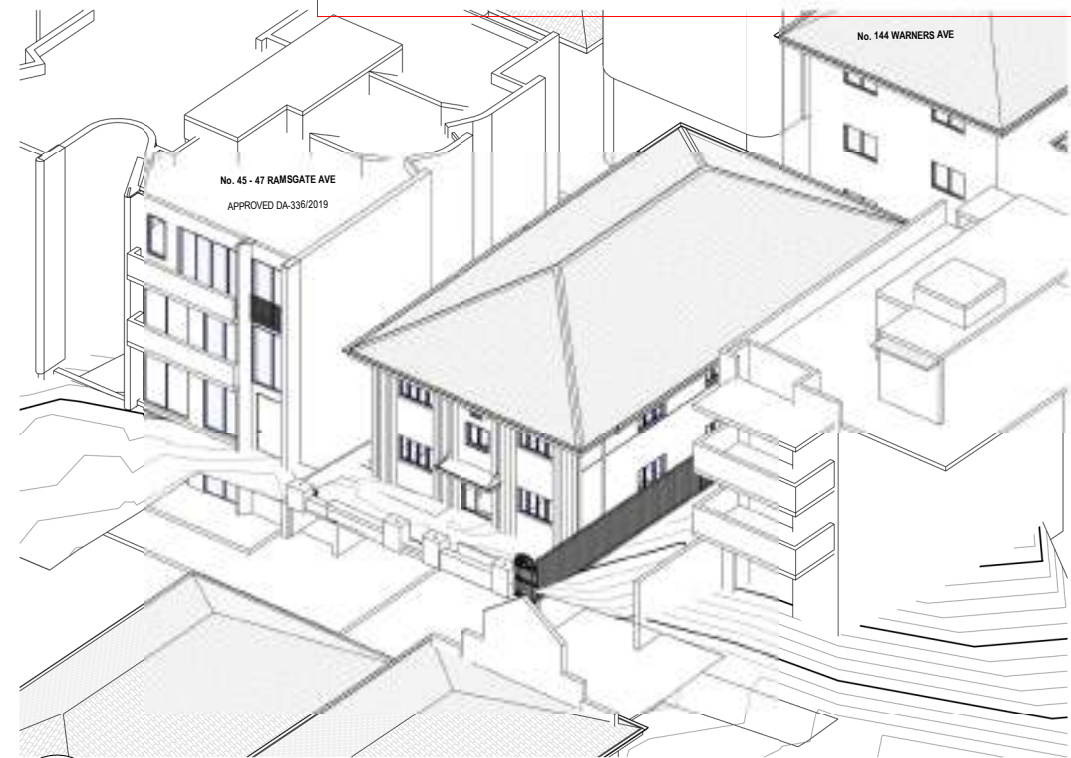


3

VIEW FROM SUN - PROPOSED - 12PM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

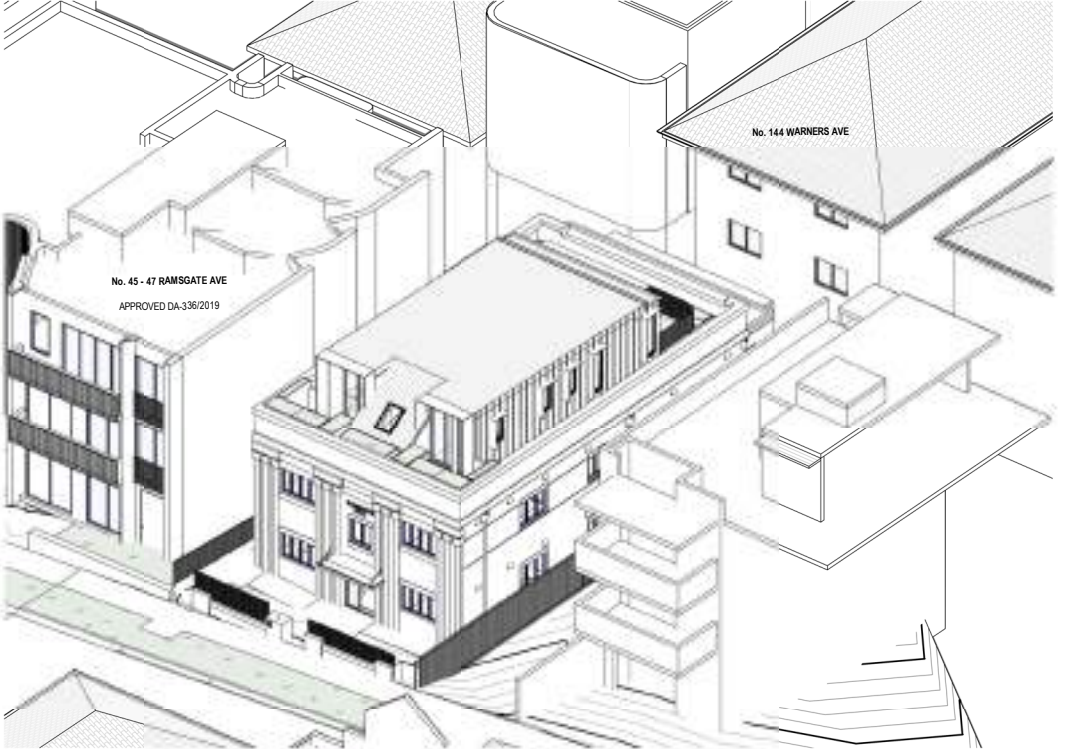


2

VIEW FROM SUN - EXISTING - 12PM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3



4

VIEW FROM SUN - PROPOSED - 12PM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

AMENDED PLANS

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.					
	B	24.02.2021	ISSUE FOR DA		
	P2	03.02.2021	ISSUE FOR DA		
	P1	28.1.2021	DRAFT REVISED SCHEME		
	A	01.12.2020	ISSUE FOR DA		
	ISS	DATE	PURPOSE OF ISSUE		

LEGEND:				
FSL 00.000	FINISHED STRUCTURAL LEVEL		EXISTING TO BE RETAINED	
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL		EXISTING TO BE DEMOLISHED	
FFL 00.00	FINISHED FLOOR LEVEL		NEW BRICKWORK	
00.000	SURVEY SPOT LEVEL		HATCH BRICKWORK	
00.000	EXISTING LEVEL		HATCH TIMBER	
W/D	EXISTING WINDOW / DOOR		HATCH CONCRETE	
W/D	NEW WINDOW / DOOR		HATCH METAL	
			HATCH GLAZING	
			HATCH TILES	

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:
DA703

ISSUE NO:
B

JOB NO:
RAM1911

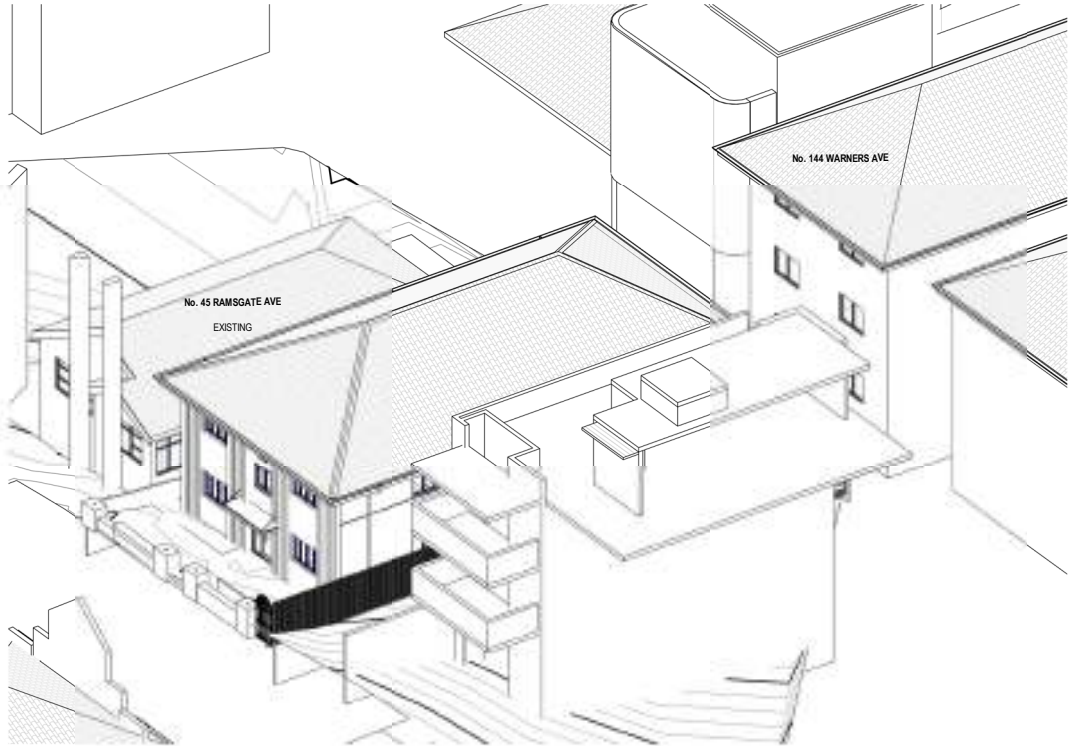
DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 12PM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

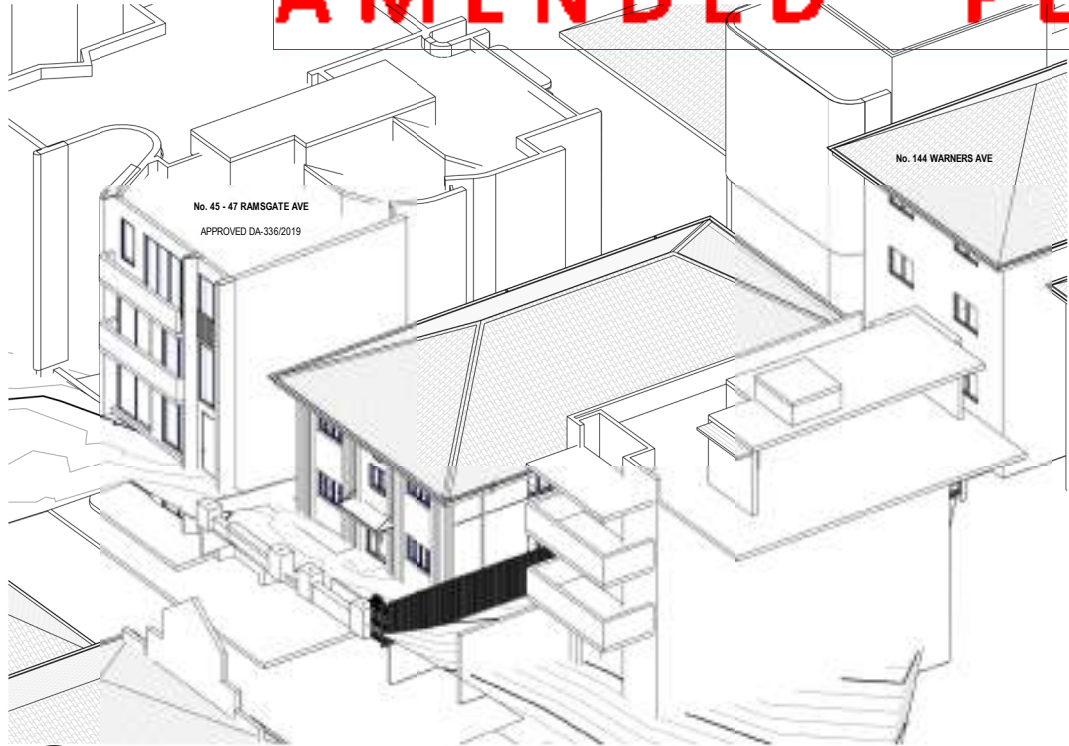


1

VIEW FROM SUN - EXISTING - 1PM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

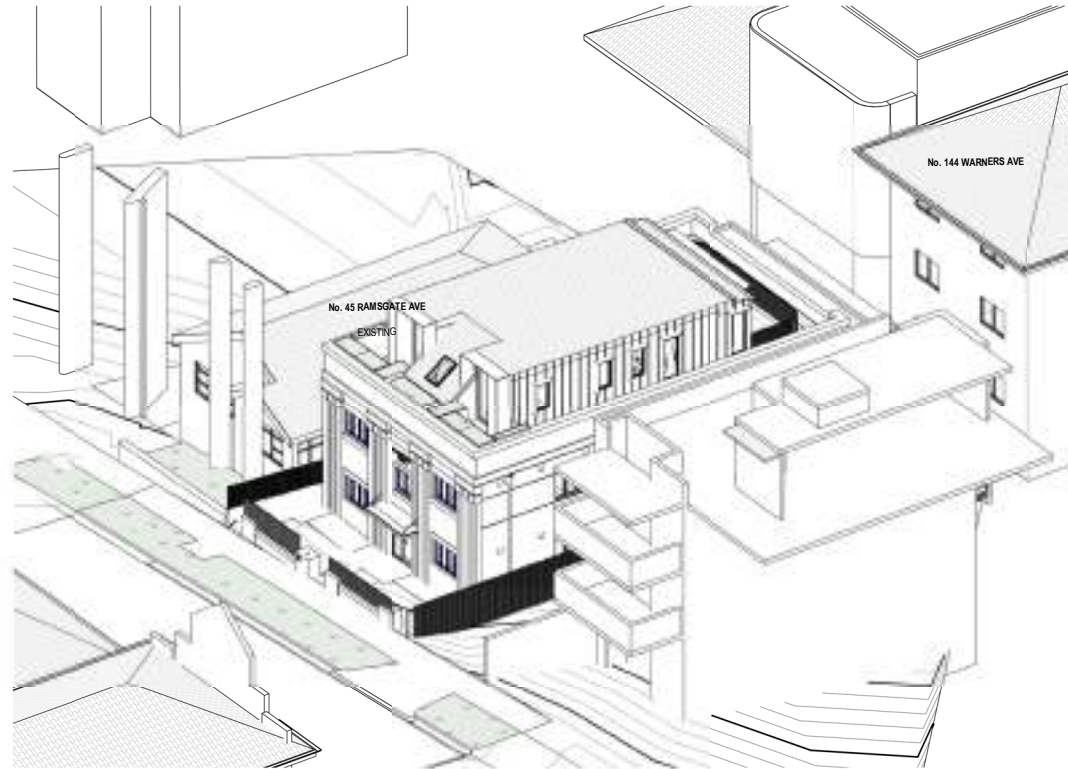


2

VIEW FROM SUN - EXISTING - 1PM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

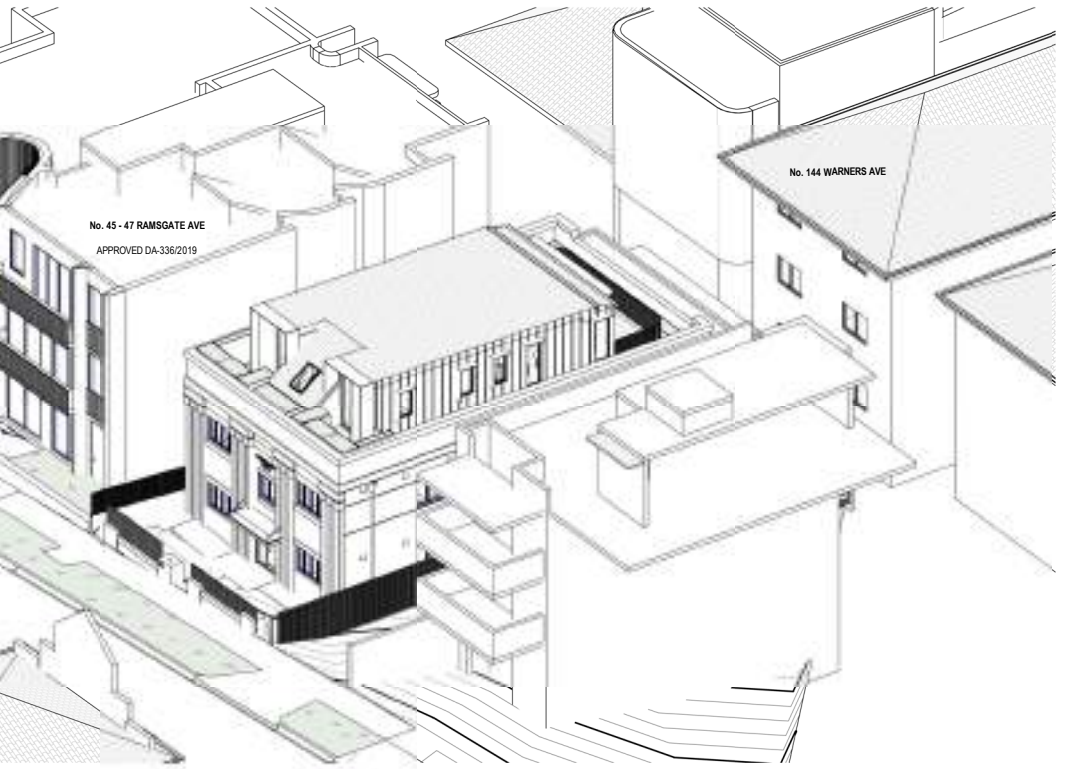


3

VIEW FROM SUN - PROPOSED - 1PM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3



4

VIEW FROM SUN - PROPOSED - 1PM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B	24.02.2021
P2	03.02.2021
P1	28.1.2021
A	01.12.2020
ISS	DATE

ISSUE FOR DA
ISSUE FOR DA
DRAFT REVISED SCHEME
ISSUE FOR DA
PURPOSE OF ISSUE

LEGEND:

FSL 00.000	FINISHED STRUCTURAL LEVEL
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL
FFL 00.00	FINISHED FLOOR LEVEL
± 00.000	SURVEY SPOT LEVEL
± 00.000	EXISTING LEVEL
W/D	EXISTING WINDOW / DOOR
W/D	NEW WINDOW / DOOR

	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	NEW BRICKWORK
	HATCH BRICKWORK
	HATCH TIMBER
	HATCH CONCRETE
	HATCH METAL
	HATCH GLAZING
	HATCH TILES

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

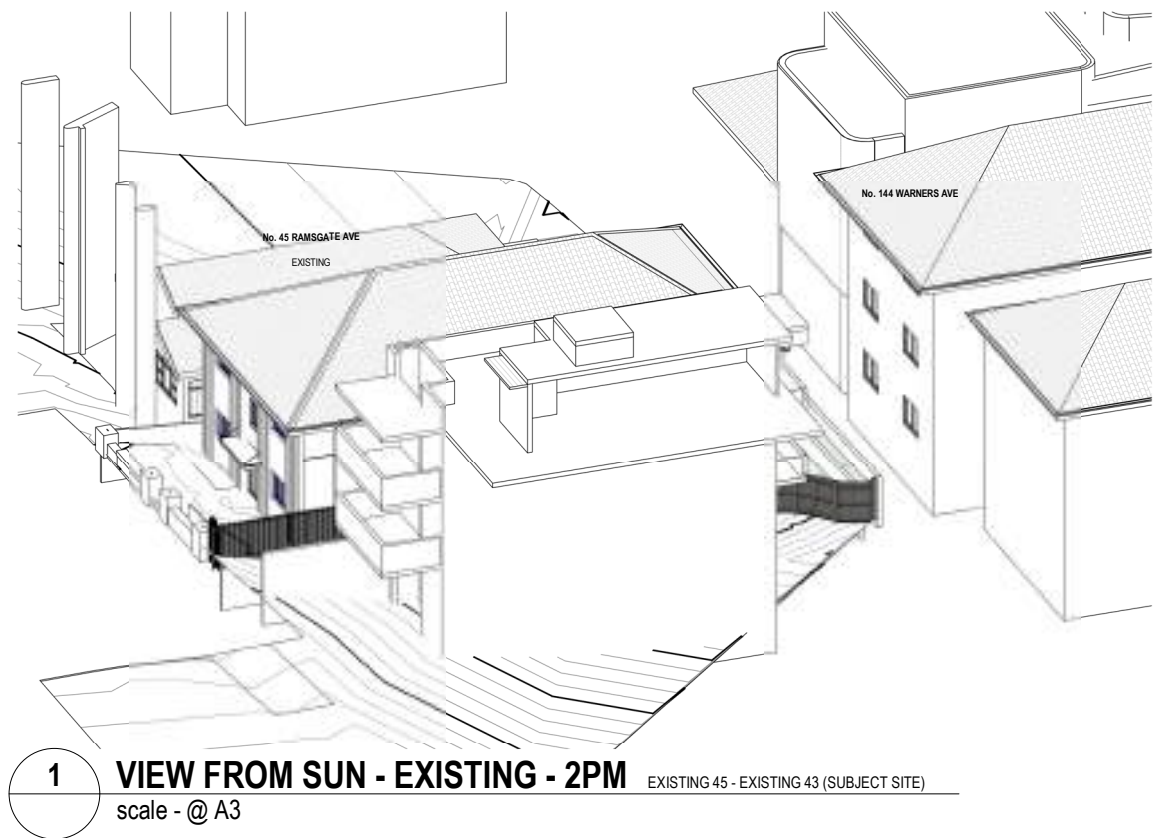
DRAWING NO: DA704
ISSUE NO: B
JOB NO: RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 1PM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.

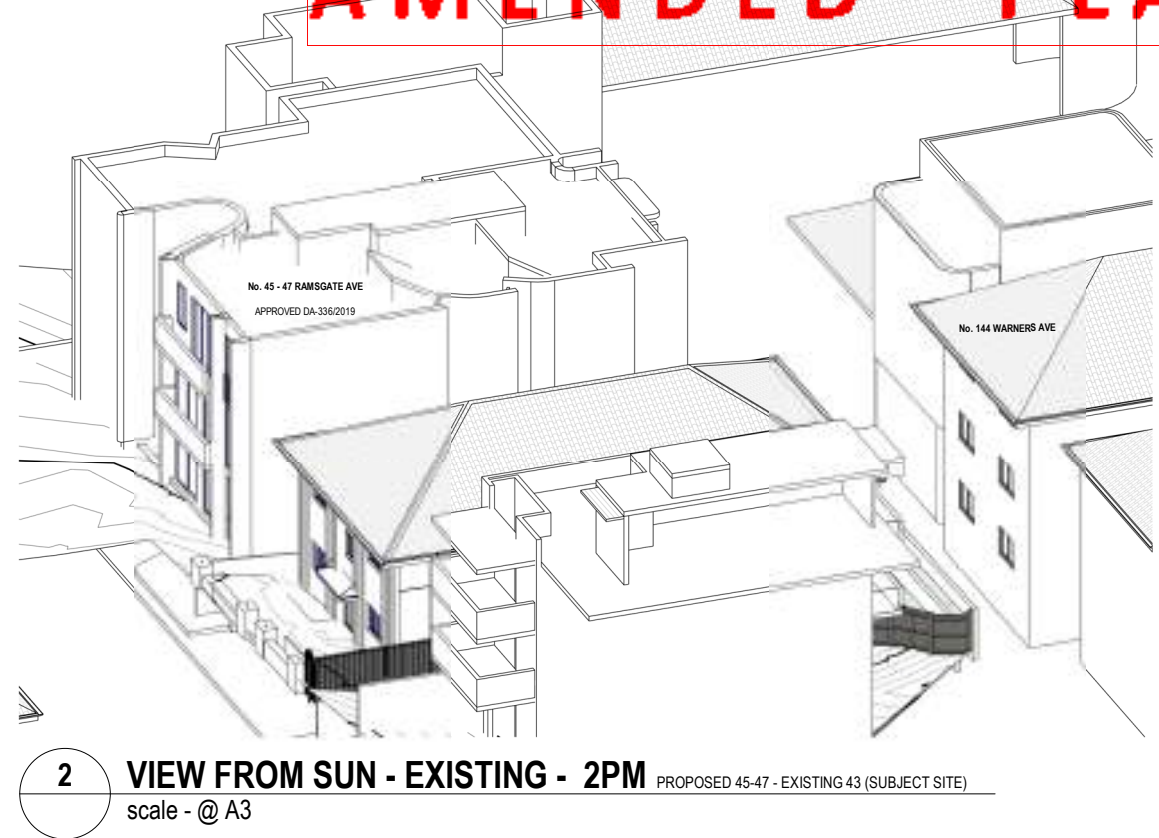


1

VIEW FROM SUN - EXISTING - 2PM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

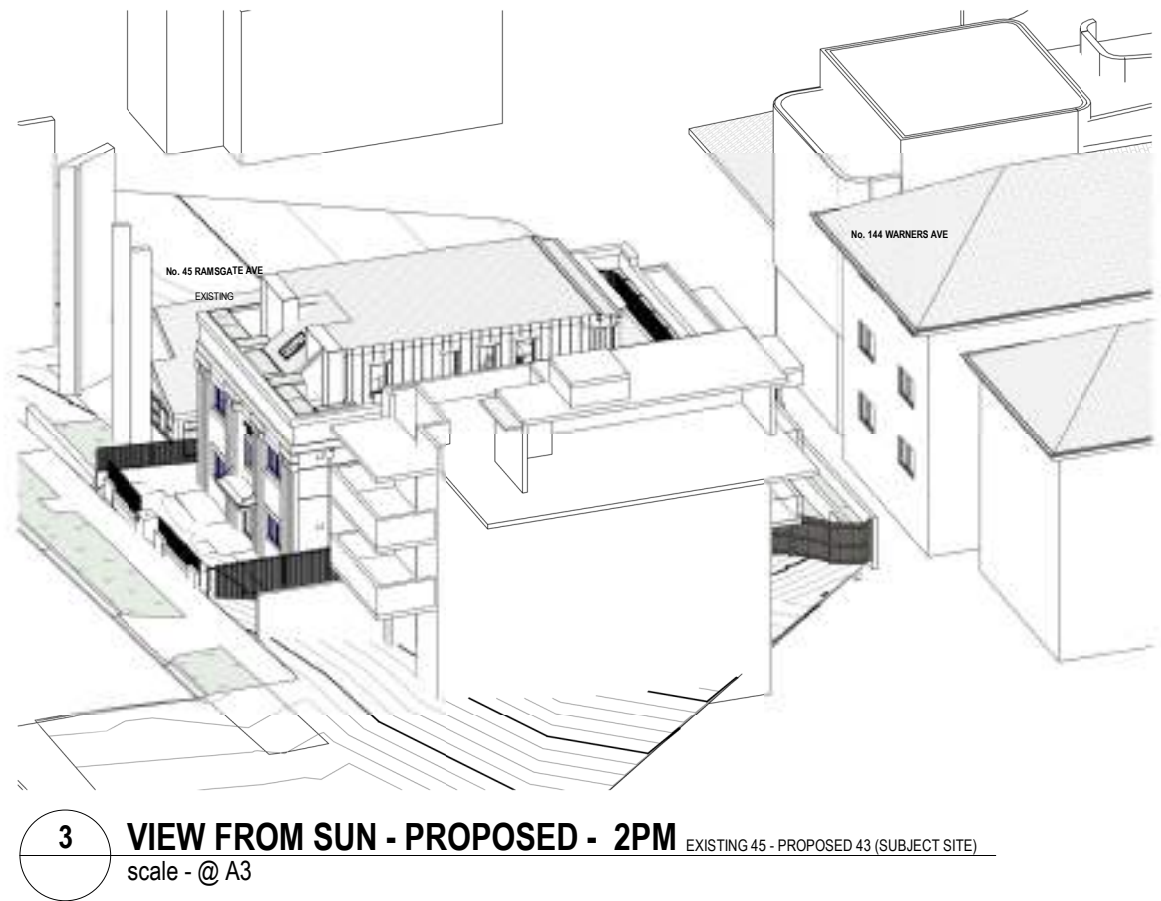


2

VIEW FROM SUN - EXISTING - 2PM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

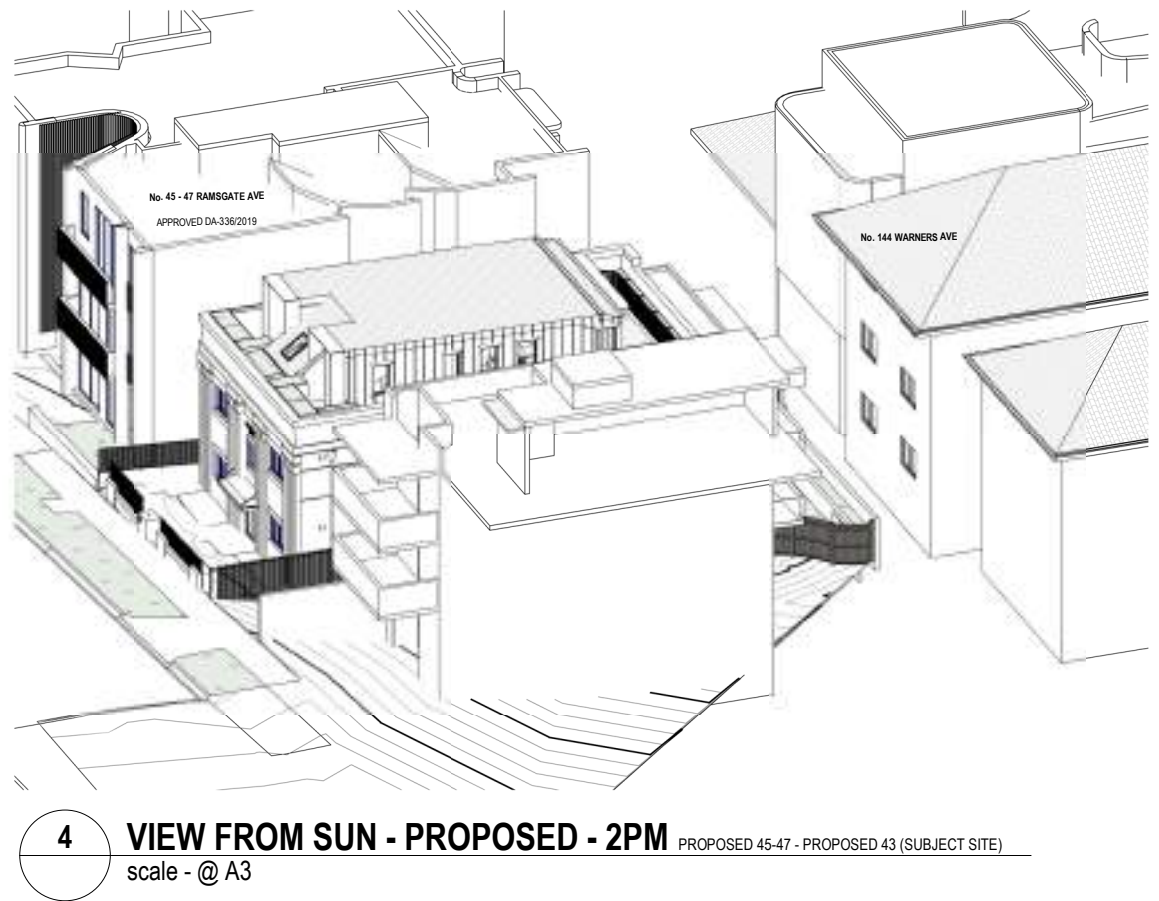


3

VIEW FROM SUN - PROPOSED - 2PM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

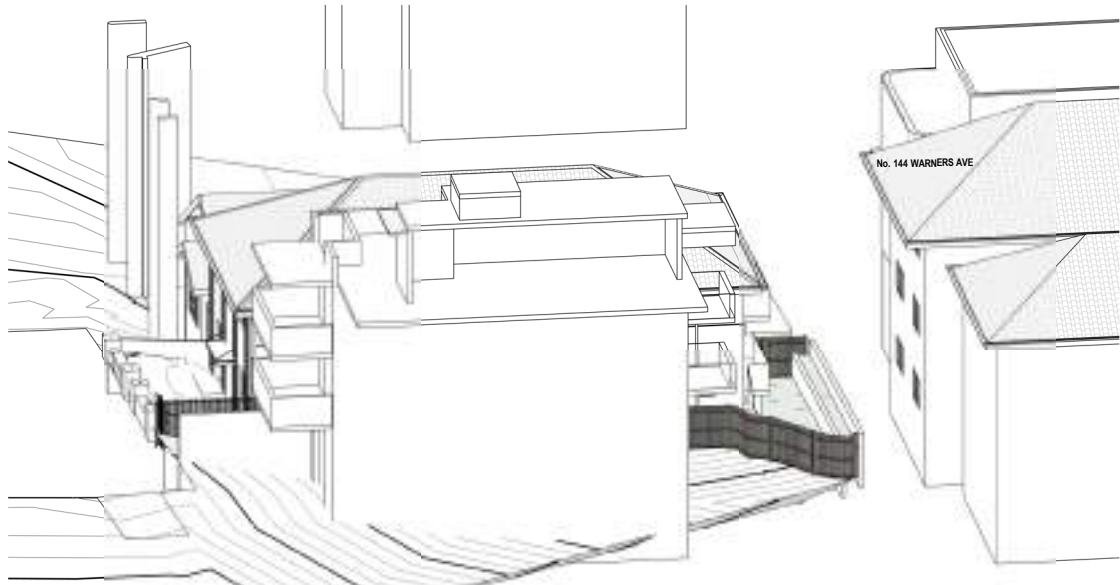


4

VIEW FROM SUN - PROPOSED - 2PM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

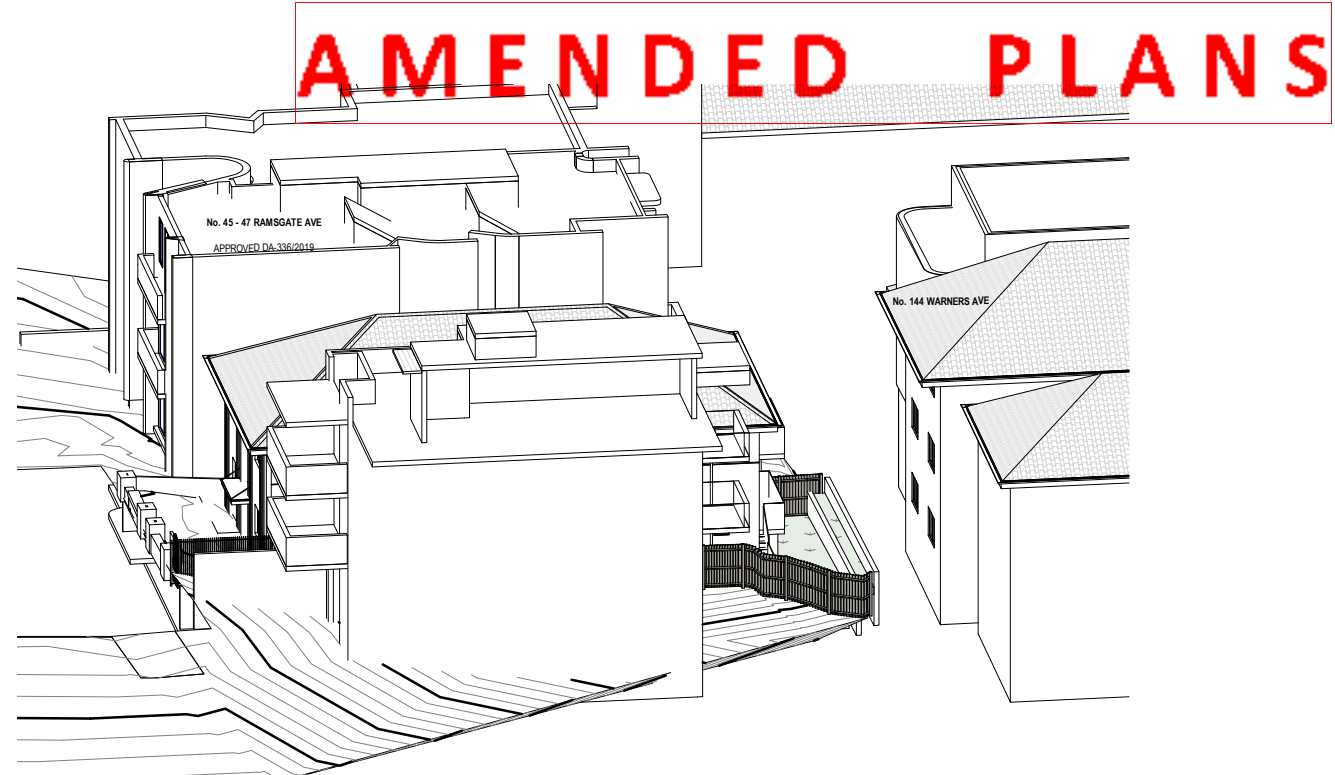


1

VIEW FROM SUN - EXISTING - 3PM

EXISTING 45 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

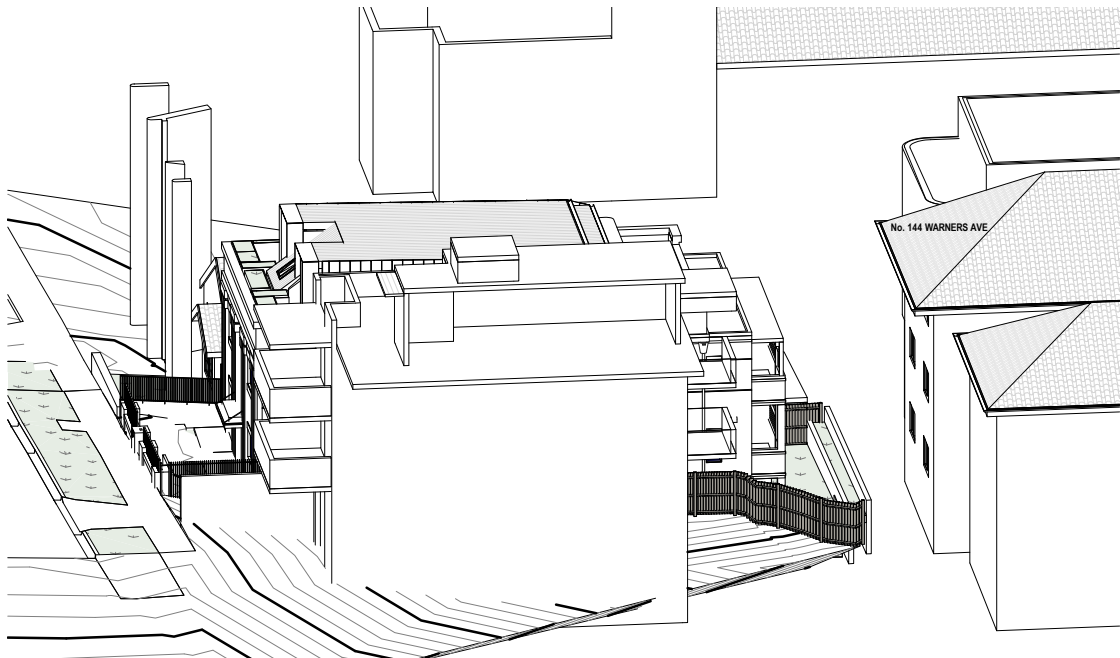


2

VIEW FROM SUN - EXISTING - 3PM

PROPOSED 45-47 - EXISTING 43 (SUBJECT SITE)

scale - @ A3

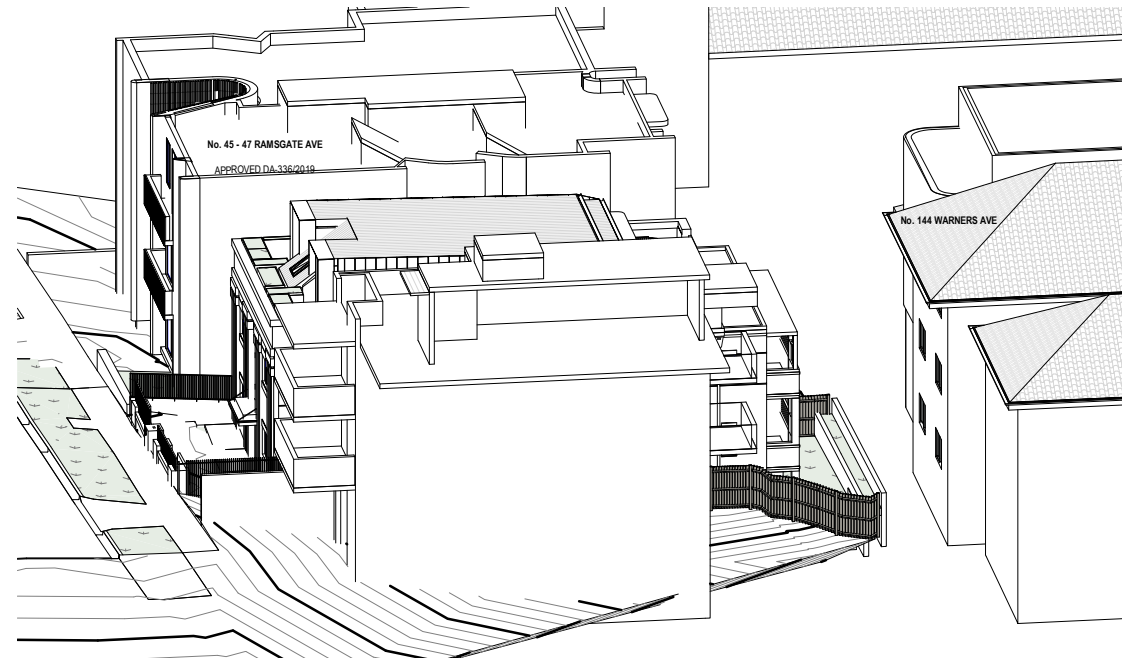


3

VIEW FROM SUN - PROPOSED - 3PM

EXISTING 45 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3



4

VIEW FROM SUN - PROPOSED - 3PM

PROPOSED 45-47 - PROPOSED 43 (SUBJECT SITE)

scale - @ A3

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES IN DOCUMENTATION TO ARCHITECT. THIS DRAWING IS FOR THE PURPOSE OF COUNCIL APPROVAL AND AS SUCH, IS NOT SUITABLE FOR CONSTRUCTION.

© THIS WORK IS COPYRIGHT. APART FROM ANY USE PERMITTED UNDER THE COPYRIGHT ACT 1968, NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT THE PERMISSION OF ARCHITECTS NICHOLAS & ASSOCIATES PTY LTD, STUDIO 6, 1 MARYS PLACE, SURRY HILLS NSW 2010 AUSTRALIA.

B

24.02.2021

ISSUE FOR DA

P2

03.02.2021

ISSUE FOR DA

P1

28.1.2021

DRAFT REVISED SCHEME

A

01.12.2020

ISSUE FOR DA

ISS

DATE

PURPOSE OF ISSUE

LEGEND:			
FSL 00.000	FINISHED STRUCTURAL LEVEL		EXISTING TO BE RETAINED
+RL 00.00	FINISHED SPOT OR SURFACE LEVEL		EXISTING TO BE DEMOLISHED
FFL 00.00	FINISHED FLOOR LEVEL		NEW BRICKWORK
± 00.000	SURVEY SPOT LEVEL		HATCH BRICKWORK
± 00.000	EXISTING LEVEL		HATCH TIMBER
	EXISTING WINDOW / DOOR		HATCH CONCRETE
	NEW WINDOW / DOOR		HATCH METAL
			HATCH GLAZING
			HATCH TILES

KEY:

ARCHITECTS
NICHOLAS +
ASSOCIATES



NOMINATED ARCHITECT
PATRICK NICHOLAS
NSW 6672

STUDIO 6,
1 MARYS PLACE
SURRY HILLS
NSW 2010
T + 61 2 8353 9500
ANPLUSA.COM

DRAWING NO:	ISSUE NO:	JOB NO:
DA706	B	RAM1911

DEVELOPMENT APPLICATION

DRAWING TITLE:
VIEW FROM SUN - JUNE 21 - 3PM

PROJECT ADDRESS:
43 RAMSGATE AVENUE, BONDI BEACH

CLIENT:
FOREST KNOLL HOLDINGS PTY LTD.



Report to the Waverley Local Planning Panel

Application number	DA-122/2021
Site address	11 Silva Street, TAMARAMA
Proposal	Demolition of existing dwelling and structures, excavation and construction of a new three storey dwelling including car lift and stacker, swimming pool and tree removal.
Date of lodgement	13 April 2021
Owner	Mr G N Rodwell
Applicant	Mr S Rodwell
Submissions	Original notification – 14 submissions Notification of amended plans - 10 submissions
Cost of works	\$2,598,808
Principal Issues	<ul style="list-style-type: none"> • FSR non-compliance and no clause 4.6; • Car parking • Stormwater management • View loss
Recommendation	That the application be REFUSED for the reasons contained in the report.

SITE MAP



1. PREAMBLE

1.1. Executive Summary

The development application seeks consent for demolition of existing detached dwelling and structures, excavation and construction of a three storey dwelling, 2 car garage with car lift and turntable within the ground floor courtyard along the northern side boundary, and a new swimming pool, terrace and landscaping at the rear. The proposal also includes the construction of a new cantilevered vehicle crossing and relocation of existing stairs within the public domain immediately adjacent to the eastern (front) boundary at the site known as 11 Siva Street, Tamarama.

The principal issues arising from the assessment of the application are as follows:

- FSR non-compliance and no clause 4.6 submitted;
- Car parking
- Stormwater management
- Setbacks
- View loss

The assessment finds these issues unacceptable as insufficient information has been submitted to demonstrate that the proposed provision of vehicular access does not result in detrimental impacts on existing stormwater drainage capacity as the proposal requires the relocation of existing stormwater drainage pits in Silva Street. The proposal relies on the use of a turntable to enable the car parked on the lower level of the car lift to exit the site in a forward direction, to reduce the required sight triangles and total width of the vehicle crossing at the gutter (though the upper level car lift vehicle would require reversing onto street). However, given the design and location of the turntable, it provides opportunity for a third car space within the site and exceeds the maximum car parking for a dwelling under the Waverley Development Control Plan 2012 and is not supported.

Whilst the deletion of the car parking and vehicular access would resolve the stormwater management issue, a significant redesign of the dwelling would be required, particularly at the street frontage and requires a separate assessment against relevant planning controls and consideration of impacts on adjoining properties.

The proposal does not result in any unreasonable view loss impacts on adjoining properties as the building envelope and setbacks comply with the built form controls under the Waverley Local Environmental Plan 2012 and Waverley Development Control Plan 2012 and protection of views from adjoining properties across a side boundary is unreasonable given the proposal complies with built form controls for the site.

A total number of 24 submissions were received and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation. No Councillor submissions have been received.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for refusal.

1.2. Site and Surrounding Locality

Site visits were carried out on 20 May 2021 and 21 July 2021.

The site is identified as Lots 58 and 59 in DP 4827, known as 11 Silva Street, TAMARAMA.

The site is irregular in shape with a frontage to Silva Street, measuring 17.02m. It has an area of 467m² and falls from the front (east) boundary towards the rear (west) boundary by approximately 2m. The site has a level difference of approximately 4m between the Silva Street level and the front of the site.

The site is occupied by a one storey detached dwelling that has been vacant for some time and is in a dilapidated state. Along the front boundary is a brick fence approximately 1.9m to 1.75m in height, stepping down from the northern corner to the southern corner at the front boundary. A timber paling pedestrian gate provides access to the site. The site does not contain any on site car parking or vehicular access from Silva Street.

Immediately adjacent to the north-eastern corner of the front boundary on public pathway is a set of concrete stairs with a concrete footpath built to the boundary of the site providing access to Pacific Avenue further to the south of the site. Within the public domain between the subject site and the road level of Silva Street is a sandstone retaining wall, with timber handrails and two (2) x *Ficus rubiginosa* (Port Jackson Fig) trees.

The site is surrounded by two and three storey detached dwellings to the north, east, south and west with frontages to Silva Street, Carlisle Street and Pacific Avenue. Immediately to the north of the site at 9 Silva Street, is a two storey dwelling with a garage built to the northern side boundary of the subject site. The locality is characterised by predominantly low density residential development with some 3 storey residential flat buildings to the north-east and further to the north of the site.

Figures 1 to 8 are photos of the site and its context.



Figure 1: View of site, looking west on Silva Street



Figure 2: View of eastern elevation existing dwelling, looking north above the top of the front fence



Figure 3: View of site from Silva Street roadway (Port Jackson Fig trees in the foreground)



Figure 4: Looking north along footpath and sandstone retaining wall below the Silva Street road level and existing public stairs



Figure 5: View of existing dwelling, looking south-east from 9 Silva Street



Figure 6: View of rear of existing dwelling, looking south towards Tamarama Beach and coastline from the rear balcony of 9 Silva Street.



Figure 7: View of site and Port Jackson Fig trees looking north from 12 Silva Street



Figure 8: View of existing southern elevation from rear of 9 Pacific Avenue, looking north towards subject site

1.3. Relevant Development History

A search of Council's records revealed the following relevant development history for the site:

- **PD-17/2019:** A pre-DA application was lodged, seeking advice regarding alterations and additions to the existing dwelling including demolition of the existing residence to construct an undercroft storage space and garage above. Council's pre-DA advice letter, dated 13 August 2019, provided the following commentary in relation to the key issues related to the proposal:

Streetscape

The proposed garage is considered bulky and detracts from the established character of the streetscape. Silva Street is situated on a steep hill sloping from the north towards the south. The western side of Silva Street comprises of various detached dwellings and associated garages that step down reflecting the topography of the street. The proposed garage will sit higher than the adjoining property to the north which is not consistent with the established pattern of the streetscape. The height of the proposed garage is recommended to be reduced to align with the adjoining property no 9 Silva Street and setback. The proposed garage is to be sympathetically integrated into the design of the dwelling and to be secondary in area and appearance to the primary residence. In the form presented, the design is not in keeping with the streetscape or controls of the Waverley Development Control Plan 2012 Amendment 6. Improved design and detailing is required to respect these issues.

Landscaping and Biodiversity

The site is located within the biodiversity habitat corridor and the application proposes to remove vegetation and open space, therefore the objectives and controls of Part B3 Landscaping and Biodiversity, specifically Section 3.2.2 Habitat Corridors should be addressed in any future development application. A landscape plan with a detailed planting list is also required in any future development application.

Tree Preservation

The proposal was referred to Council's Tree Management Officer who provided the following advice in relation to the street trees near the property:

- *Growing out of the sandstone retaining wall are two Ficus macrophylla (moreton bay fig) trees, both trees are approximately 8 metres in height with a canopy width of 10 metres in average health.*
- *On inspection it was noted that the large Moreton bay fig growing out of the sandstone retaining wall at the front of the property is unlikely to be impacted on by the proposed new garage with associated driveway crossover and alterations and additions to existing dwelling, notwithstanding this they should be retained & protected.*
- *No existing street trees will be approved for removal.*
- *The proposed new garage with associated driveway crossover and alterations and additions to existing dwelling would necessitate the pruning of the Moreton bay fig tree. The tree closest to the neighbour's driveway will require pruning for the proposed works. A request for pruning is to be submitted to Council with any future development application relating to the proposed works.*
- *A tree bond will be required to ensure the protection and maintenance of the street trees.*

Stormwater

The proposal was referred to Council's Stormwater Engineer who provided the following the advice in relation to the proposed stormwater design:

*The stormwater management plans prepared by Wilk + Partners Pty Ltd, Project Ref No. 184.03.19, DWG No. 8 (Issue A), dated 8 June 2019 are **not satisfactory** with respect to stormwater details.*

The drawings do not comply with the Waverley Development Control Plan 2012 in reference to Waverley Council's Water Management Technical Manual.

A detailed plan of the stormwater system from collection point to connection in Council stormwater pit is required in any future development application.

Transport

The proposal was referred to Council's Traffic Engineer who provided the following advice in relation to the proposed driveway and car space:

- *No reference has been made to the stormwater pit in front of the site. Significant work will be required to move the pit and make room for the driveway layback. Please note that Council does not allow the reduction of capacity of the stormwater pits/lintels.*

- *The engineering long sections show the new concrete footpath section falling into the property. Vehicular access must be designed to accommodate a B85 standard design vehicle.*
- *A geotechnical report is required for works associated with the existing sandstone retaining wall detailing any works and potential damage.*

Public Domain

The proposal was referred to Council's Asset Manager who provided the following advice in relation to the proposed works to the pedestrian footpath and stairs outside the property boundary:

- *The construction of the engineered column to support the suspended pedestrian footpath traversing the driveway will require ongoing inspections to ensure the structure is sound for use. The design will need to be modified to ensure the cavity below the suspended footpath is not filled and an access door to be placed on the footpath traversing the driveway.*
- *The block wall traversing the property frontage will need to be reconstructed. Inspection of the wall demonstrated defective cracks forming in the wall.*
- *The proposed pedestrian stairway is to have maximum of 18 stairs (raisers) in a single flight. Detailed drawings are required for any future development application.*
- *All new and replacement footpath is to be reconstructed with a 2% cross fall away from the property boundary and adhere to the specification and detail in the Waverley Councils Public Domain Technical Manual (PDTM).*
- *Council will not accept the erection of newly placed electricity columns within the Council's public domain to support the new development. Any proposed structures to be relocated either underground or inside the property boundary of the proposed development.*

The advice contained within Council's pre-DA letter concluded that the proposal would unlikely be supported under the current design, however, Council may consider an amended proposal if the above matters are addressed in any future development application.

It is noted that the subject application does not address all of Council's issues raised in the pre-DA letter advice and therefore, the application is recommended to be refused for reasons discussed further in this report.

1.4. Proposal

The development application seeks consent for demolition of the existing one storey detached dwelling and ancillary structures, and construction of a three storey dwelling with a 2 car garage including a car lift, ground level turntable, swimming pool and landscape works to the front and rear of the site, specifically the following:

Lower Ground Floor

- Excavation along the northern side boundary to provide car lift pit and turntable for a 2 car garage;
- Excavation to extend existing basement and building foundation area to provide lift access, OSD plant area, wine cellar, a family room adjacent to outdoor terrace and swimming pool;
- Construct a concrete retaining wall adjacent to the stairs along the northern side boundary;
- Alterations to stair access along the southern side boundary;
- Removal of 7 trees, transplant of 2 trees and retention of 3 trees on the site; and
- Fill below relocated public stairs adjacent to the front boundary.

Ground Floor

- Garage built to the northern boundary with a plant area immediately adjacent and built to the front boundary;
- Turntable courtyard along the northern side boundary;
- 3 bedrooms with ensuite bathrooms and laundry;
- Plant area to the west of the turntable including electrical room and a rainwater tank;
- New ramp along the northern side boundary to rear yard; and
- New landscaping in the front setback and porous paving along the southern side boundary.

First Floor

- New garage and vehicle crossing at the north-eastern corner of the site;
- Construct and relocation of existing public stairs further to the south along public footpath to provide new driveway crossing;
- Relocate pedestrian entry at the front boundary;
- Open plan living areas to the rear with a balcony; and
- Bedroom/study and WC and lift access.

Roof Plan

- Concrete slab roof above garage; and
- Flat roof with solar panels

1.5. Background

The development application was lodged on 13 April 2021 and deferred on 21 July 2021 for the following reasons:

1. Incorrect measurement of existing ground level and excessive proposed building height does not adequately respond to the slope of the site.

2. Incorrect calculation of FSR. The proposed variation to the FSR development standard is not supported as the proposal results in additional overshadowing impacts on adjoining properties.
3. The proposal should be amended to comply with building height and FSR development standards. Clause 4.6 written variations are required to be submitted to justify any proposed variation to the building height and FSR development standard under the Waverley LEP 2012.
4. A view loss analysis identifying view loss impacts on adjoining properties in accordance with the general principles for views and view sharing in *Tenacity Consulting v Warringah [2004] NSWLEC 140* is to be prepared and submitted.
5. Insufficient stormwater management information has been submitted to enable a proper assessment of the potential impacts of the proposal on Council's existing stormwater drainage system. In particular, the proposal to relocate existing kerb inlet pits within the road reserve is required to be at least 500mm from any vehicular crossing and should not be placed in front of neighbouring properties. Modelling of existing and post-development scenarios are required to be prepared and submitted demonstrating that the proposal will not worsen existing drainage.
6. Design and construction of the new public stairs must demonstrate compliance with the requirements of the Waverley DCP 2012 and Council's Public Domain Technical Manual. In particular, openings/access to the void under the proposed public stairs must be fully enclosed and not accessible by the public.
7. Structural design details are required to be submitted to enable a proper assessment of the vehicular crossing and stairs.
8. Car parking for more than 2 vehicles is contrary to the parking controls under the Waverley DCP 2012 and is not supported. The turntable and transit garage design are complex and a simplified parking arrangement with compliant dimensions, vehicular crossing and reduction in the extent of excavation is to be incorporated into amended plans.
9. The extent of window openings and balconies on the southern and western elevations will result in loss of privacy impacts on adjoining properties and is not supported. In particular, excessive balcony dimensions and area are to be reduced/deleted and window designed to minimise privacy impacts on adjoining properties.
10. Insufficient indigenous or local native plants have been incorporated into the landscape plan and does not satisfy the requirements under the Waverley DCP 2012.
11. Further boundary fence details are required to be shown on architectural plans. It is recommended that the front boundary fence be rebuilt and comply with the front fence details under the Waverley DCP 2012.

Amended plans in response to Council's deferral letter were submitted on 1 September 2021. The amended proposal included the amendments as follows:

- Reduction in overall building height to 8.7m;
- Reduction in FSR to 0.59:1;
- Deletion of car stacker adjacent to proposed turntable and replacement with plant room;
- Reconfiguration of lower ground level to reduce gross floor area by deletion of Bedroom 5/media room, reduced area of bathroom, deletion of linen storage and sauna;
- Deletion of ground floor rear balcony, replace with obscured glass Juliette balustrade;
- Privacy screening to ground floor Bedroom 2 window on the southern elevation;

- Reduce first floor rear balcony providing 5.315m setback to northern side boundary and privacy screen to the southern elevation;
- Deletion of south facing balcony, replace with non trafficable metal deck roof;
- Privacy screens to first floor south facing window to Bedroom 4 and living room; and
- New splayed external wall facing northern side courtyard to minimise visual bulk from adjoining property.

A view loss analysis was prepared and submitted to address concerns raised in Council's deferral letter and submissions received from surrounding properties.

No modelling of pre and post development stormwater drainage scenarios have been submitted to demonstrate that the proposal will not result in any worsening of drainage impacts as raised by Council's Stormwater Engineer.

2. ASSESSMENT

The following matters are to be considered in the assessment of this development application under section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act).

2.1. Planning Instruments and Development Control Plans

The following is an assessment against relevant legislation, environmental planning instruments, including State environmental planning policies (SEPPs), and development control plans.

2.1.1. State Environmental Planning Policies (SEPPs)

The following SEPPs apply and have been considered acceptable in the assessment of this development application:

- SEPP (Building Sustainability Index – BASIX) 2004.
- SEPP 55 Remediation of Land.
- SEPP (Vegetation in Non-Rural Areas) 2017.

2.1.2. Draft Waverley Local Environmental Plan 2022 (Draft Waverley LEP 2022)

It is acknowledged that the Draft Waverley Local Environmental Plan 2022 is on exhibition from 12 November 2021 to 23 January 2022, however at the time of this assessment, there are no relevant matters for consideration.

2.1.3. Waverley Local Environmental Plan 2012 (Waverley LEP 2012)

The relevant matters to be considered under the Waverley LEP 2012 for the proposed development are outlined below:

Table 1: Waverley LEP 2012 Compliance Table

Provision	Compliance	Comment
Part 1 Preliminary		

Provision	Compliance	Comment
1.2 Aims of plan	Yes	The proposal is not inconsistent with the aims of the plan.
Part 2 Permitted or prohibited development		
Land Use Table R3 Medium Density Residential Zone	Yes	The proposal is defined as dwelling house, which is permitted with consent or prohibited in the R3 zone.
Part 4 Principal development standards		
4.3 Height of buildings <ul style="list-style-type: none"> 9.5m 	Yes	The proposal has a maximum building height of 8.7m and complies with the development standard.
4.4 Floor space ratio and 4.4A Exceptions to floor space ratio <ul style="list-style-type: none"> 0.59:1 	No	The proposal is stated to have a FSR of 0.59:1 and comply with the FSR development standard. However, the proposal provides for various subfloor areas that are either unlabelled or very large for their intended purposes (eg plant room). Insufficient information has been provided in this respect and subsequently, the actual GFA proposed may exceed the development standard. Therefore, Council's calculations indicate the resulting GFA may exceed Council's maximum FSR development standard and is technically non-compliant. No clause 4.6 statement has been submitted with the application.
4.6 Exceptions to development standards	No	As discussed above, Council's calculations indicate the proposal may be technically non-compliant with Council's maximum FSR development standard however, no clause 4.6 statement has been submitted and therefore, the application is to be refused.
Part 6 Additional local provisions		
6.1 Acid sulfate soils	Yes	The site is identified as containing Class 5 Acid Sulfate soils. The proposal is not considered to have any adverse impacts on the environment.
6.2 Earthworks	No	Excavation along part of the northern side boundary is not setback a minimum 900mm from the side boundary. The excavation seeks to accommodate the garage with a car lift and the turntable which are not supported due to insufficient information submitted to adequately demonstrate that the proposal provides a functional parking arrangement, and is capable of satisfying stormwater management requirements under the Waverley DCP 2012, will not worsen existing drainage within Council's stormwater drainage system, and will not have any adverse impacts on the amenity of neighbouring properties.

2.1.4. Waverley Development Control Plan 2012 (Waverley DCP 2012) – Amendment No.9

The relevant matters to be considered under the Waverley DCP 2012 for the proposed development are outlined below:

Table 2: Waverley DCP 2012 – Part B General Provisions Compliance Table


Development Control	Compliance	Comment
1. Waste	Yes	Satisfactory.
2. Ecologically Sustainable Development	Yes	Satisfactory.
3. Landscaping and Biodiversity	No	Unsatisfactory. The site is located within land identified as a Habitat Corridor and the application was referred to Council's Biodiversity Officer for review. The amended landscape plans do not contain sufficient information to enable a proper assessment of the proposal against the requirement for minimum indigenous or local native plantings that would appropriately compensate the loss of tree canopy and contribution to the landscape character and ecology within the habitat corridor.
5. Vegetation Preservation	Yes	The proposal seeks to remove seven (7) trees on the site. The proposal was referred to Council's Tree Management Officer who raised no objection to the removal of trees on the site as the trees are not identified as significant. However, the existing Port Jackson Fig trees adjacent to the site on Silva Street are in good condition and contribute to the landscaped character of the street and are to be retained and protected. These street trees are not clearly shown or nominated on the plans for retention and protection.
6. Stormwater	No	Unsatisfactory. Refer to section 3 of this report on referral commentary in relation to stormwater.
8. Transport Parking Zone 2 Minimum parking rate: <ul style="list-style-type: none"> nil Maximum parking rate: <ul style="list-style-type: none"> 2 spaces for 3 or more bedrooms. 	No	<p>The proposal provides for 2 car spaces within the garage, a car stacker and a turntable in the courtyard on the ground floor level adjacent to the northern side boundary. The turntable courtyard is not immediately adjacent to principle living areas and is unlikely to be used as private open space. As such, the turntable could accommodate the parking of a third vehicle within the site, exceeding the maximum parking rate of 2 vehicles and is not supported.</p> <p>The detailed design of the car stacker garage does not comply with the dimensions required under the Australian Standard AS2890.1:2004.</p>

Development Control	Compliance	Comment
		<p>The proposal does not achieve the required sight triangles for a reversing vehicle. Council's Traffic Engineer raised no objection to variation to the requirement on the basis that use of the turntable allows cars to exit the site in a forward direction providing improved sight lines to pedestrians. However, the turntable will not be utilised by the car parked at the upper level of the garage. Given the use of the site as a residential dwelling, there is no practical way to enforce vehicles to exit the site in a forward direction. As such, insufficient sight triangles could impact pedestrian safety as persons travel along the stairs and footpath along Silva Street to and from Tamarama Beach. Any requirement to widen the driveway or sight triangles could potentially have additional impacts on stormwater management as it will affect the relocation of the kerb inlet pits along the road reserve.</p> <p>In summary, the proposed parking arrangement on site, is dysfunctional and raises safety concerns for the top level car reversing onto street. Ultimately, a redesign of a parking arrangement is required, or alternatively parking on-site deleted from the proposal.</p>
12. Design Excellence	No	Unsatisfactory. The proposal in its current form has failed to demonstrate that the provision of vehicular access to the site and subsequent alterations required within the existing public domain will provide a safer pedestrian environment and not have any adverse impacts on Council's stormwater drainage system.
14. Excavation	No	Unsatisfactory. The proposal seeks to excavation to the northern side boundary to provide a garage car stacker and a turntable courtyard. As the proposed car parking design and access is not considered suitable for the subject site, excavation to the side boundary is not supported. In addition, excavation for the installation of the turntable is not considered within the building footprint and is not supported. The proposed car parking contributes to building bulk at the rear of the site as deletion of the garage and turntable could bring building bulk towards the north-eastern portion of the site. Additional areas are also sought to be excavated beneath the dwelling and it is unclear what the use of these spaces will be.
16. Public Domain	No	Unsatisfactory. The proposal seeks to retain a solid 1.75m to 1.9m high masonry fence along the

Development Control	Compliance	Comment
		front boundary despite the proposal to demolish the existing dwelling and construction of a new dwelling. The proposal is inconsistent with the objective to minimise blank walls at ground level within the public domain and does not optimise opportunities for passive surveillance of the public domain immediately adjacent to the front boundary.

Table 3: Waverley DCP 2012 – Part C2 Low Density Residential Development Compliance Table

Development Control	Compliance	Comment
2.0 General Objectives		
	Yes	The proposal does not contravene the general objectives of this part of the DCP.
2.1 Height		
Flat roof dwelling house <ul style="list-style-type: none"> Maximum wall height of 7.5m 	Partially complies – acceptable on merit	Due to the sloping topography, the maximum external wall height varies across the site. The proposal has a maximum external wall height of 5.6m on the eastern (front) elevation, between 6.7m and 8.6m along the southern elevation, 7.5m on the northern elevation and 9m on the western (rear) elevation. Notwithstanding the exceedance of external wall height across parts of the proposed dwelling, the proposal comprises a flat roof form and is contained within the building height development standard. The non-compliance with this control is not considered to be a reason for refusal of the application.
2.2 Setbacks		
2.2.1 Front and rear building lines <ul style="list-style-type: none"> Predominant front building line 	No	<p>The proposal projects beyond the predominant front building line of surrounding properties on the western side of Silva Street and also projects beyond the front building setback of the existing dwelling to be demolished. The front building setback should align with the predominant setback of properties to the north as shown in Figure 9 below and is not supported in its current form.</p> <p>Whilst the proposed garage is aligned with the existing garage immediately to the north at 9 Silva Street, carparking on the site is not supported due to insufficient information demonstrating the proposal will not result in any worsening of Council's stormwater drainage infrastructure.</p>

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Predominant rear building line at each floor level 	Yes	<p>The proposed rear building line does not extend beyond the rear building line of the immediately adjoining property to the north or the rear building line of properties further to the north as shown in Figure 9 below.</p>  <p>Figure 9: Predominant front and rear building lines of adjoining properties on the western side of Silva Street</p>
<p>2.2.2 Side setbacks</p> <ul style="list-style-type: none"> Minimum of 1.5m (up to 12.5m) 	Partially complies	<p>The proposal has a northern side setback of 900mm at north-western corner of the dwelling on the ground floor and 1.5m on the first floor. The proposed garage at the north-eastern corner of the site has a nil side setback. The 900mm setback is adjacent to the plant area comprising of an electricity plant, store and rainwater tank. The plant area proposed on the ground floor is considered excessive and could be readily accommodated within the existing foundation space at the lower ground level adjacent to the southern side boundary. As such, the variation to the minimum 1.5m side setback is not supported as it contributes to building bulk along the northern side boundary and is inconsistent with the setback of the adjoining property. The side setback along the southern boundary on all floor levels is 1.5m and is consistent with the side setback control.</p>
2.3 Streetscape and visual impact		
<ul style="list-style-type: none"> New development to be compatible with streetscape context 	No	<p>The proposed new vehicular crossing to provide car parking on the site has not adequately demonstrated compliance with stormwater</p>

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Significant landscaping to be maintained. 	No	<p>drainage and traffic requirements. As such, the proposal has not demonstrated car parking is suitable for the subject site having regards to the constraints presented by the topography of the site, Silva Street and location of existing infrastructure within the public domain.</p> <p>The site currently contains substantial tree canopy and contributes to the greenery within the streetscape and surrounding area. Insufficient landscaping plans have been submitted to enable a proper assessment of proposed plantings to determine if the landscaped character of the site will be appropriately maintained.</p>
2.4 Fences		
<p><i>Front:</i></p> <ul style="list-style-type: none"> Maximum height of 1.2m Solid section no more than 0.6m high <p><i>Side and Rear:</i></p> <ul style="list-style-type: none"> Maximum height of 1.8m 	<p>No</p> <p>Yes</p>	<p>The proposal seeks to retain the existing brick fence measuring between 1.9m and 1.75m along the front boundary. Given the scope of works to demolish existing structures and construction of a new dwelling, it is considered appropriate for the proposal to provide a new fence that achieves better compliance with the DCP controls to enhance passive surveillance of the public domain.</p> <p>A new concrete wall will be constructed along the northern side boundary. The wall does not exceed 1.8m in height and will step down with the slope of the site and is acceptable.</p> <p>The existing retaining wall and brick fence along the southern side boundary will be retained.</p>
2.5 Visual and acoustic privacy		
<ul style="list-style-type: none"> Habitable windows are not to directly face habitable windows or open space of neighbouring dwellings unless direct views are screened or other appropriate measures are incorporated into the design External stairs are not acceptable. 	<p>Yes</p> <p>Acceptable on merit</p>	<p>Proposed windows to habitable rooms on the southern elevations consists of privacy screening or 1.5m high sill heights above the finished floor level to mitigate loss of visual privacy for adjoining properties.</p> <p>Due to the topography of the site, there are existing stairs adjacent to the southern side boundary providing access from the front of the site to the rear. At the rear of the existing dwelling are a set of stairs providing access to the rear yard. Retention and replacement of stairs at the rear of</p>

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Maximum size of balconies: <i>10m² in area</i> <i>1.5m deep</i> 	Partially complies	<p>the site to maintain access is will not result in additional amenity impacts for adjoining properties and is acceptable.</p> <p>The first floor rear balcony accessed from the principle living areas has an area of 9.75m² and varies in depth between 1.5m and 2.3m which exceeds the maximum depth control of 1.5m at the centre portion of the balcony. Given the elevated position of the site and balcony compared to the private open space of properties to the south, projection of the balcony with a depth of 2.3m with no privacy screening or substantial landscaping to mitigate overlooking is not appropriate and is not supported.</p>
2.6 Solar access		
<ul style="list-style-type: none"> Minimum of three hours of sunlight to living areas and principal open space areas on 21 June 	Yes	A minimum of 3 hours of solar access can be provided to principle living spaces of the proposed dwelling between 9am and 3pm during the winter solstice.
<ul style="list-style-type: none"> Minimum of three hours of sunlight maintained to at least 50% of principal open space areas of adjoining properties on 21 June. 	Yes	The principal private open space of properties immediately to the south of the site will maintain sunlight to at least 50% of principal private open space between 12noon and 3pm during the winter solstice..
<ul style="list-style-type: none"> Avoid unreasonably overshadowing of solar collectors (including habitable windows). 	Yes	The proposal will not result in unreasonable overshadowing of solar collectors or habitable windows of adjoining properties between 9m and 3pm during the winter solstice. as the built form generally within the permissible building envelope and maintains satisfactory solar access to adjoining properties.
2.7 Views		
<ul style="list-style-type: none"> Views from the public domain are to be maintained 	Yes	The proposal does not have any impact on existing views from the public domain.
<ul style="list-style-type: none"> Development to be designed and sited so as to enable a sharing of views with surrounding dwellings particularly from habitable rooms and decks. 	Yes	The proposal is generally consistent with built form controls and does not extend beyond the rear building line of the property immediately to the north. See discussion below for discussion on view impacts.
2.8 Car parking		

Development Control	Compliance	Comment
2.8.1 Design Approach <ul style="list-style-type: none"> Parking only allowed where site conditions permit Designed to complement the building and streetscape Car parking structures to be behind the front building line Driveways are to be located to minimise the loss of on street parking 	No	<p>The proposal to provide a car stacker garage for 2 cars and a turntable in a courtyard that will enable the parking of 3 vehicles on the site which exceeds the maximum car parking rate for a dwelling. The proposed car parking arrangement and access will require the relocation of existing kerb inlet pits on Silva Street and could potentially have adverse impacts on Council's stormwater drainage system. The provision of a car lift and turntable within a dwelling of this scale also is considered an unnecessary and dysfunctional manner to accommodating parking on-site.</p> <p>The applicant has not provided the required modelling requested by Council's Stormwater Engineer to demonstrate the provision of a new vehicle crossing will not worsen the capacity of Council's drainage system and therefore, car parking on the site cannot be supported.</p>
2.8.2 Parking rates	No	<p>Parking rates are set by Part B8 of Waverley DCP 2012. A maximum of 2 car parking spaces are permitted for a dwelling containing 3 or more bedrooms. Whilst the proposal seeks consent for a 2 car garage, the design and location of the turntable at ground level can accommodate a third vehicle and is not supported.</p>
2.8.3 Location <ul style="list-style-type: none"> Behind front building line for new dwellings 	No	<p>The proposed garage is in front of the front building line and is inconsistent with the control however, it is consistent with the location of the existing garage immediately to the north car parking locations for dwellings in the vicinity of the site.</p>
2.8.4 Design <ul style="list-style-type: none"> Complement the style, massing and detail of the dwelling Secondary in area and appearance to the design of the residences 	<p>Yes</p> <p>No – acceptable on merit</p>	<p>The garage presents as a single car garage when viewed from the street and is integrated into the design of the dwelling.</p> <p>Due to the topography of the site and setback of the property from the road reserve, the garage will be more visually prominent than the bulk of the dwelling when viewed from Silva Street. The form of the garage is similar in bulk and scale to the existing adjoining garage at 9 Silva Street and is acceptable.</p>
2.8.5 Dimensions <ul style="list-style-type: none"> 5.4m x 2.4m per vehicle 	No	<p>The proposed car stacker garage length and width do not comply with requirements under Australian Standards AS2890.1:2004.</p>
2.8.6 Driveways <ul style="list-style-type: none"> Maximum of one per property 	Yes	<p>One vehicle crossing is proposed for access to the site from Silva Street.</p>

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Maximum width of 3m at the gutter (excluding splay) 	Yes	The width of the vehicle crossing at the gutter complies with the maximum width at the gutter.
<ul style="list-style-type: none"> Crossings not permitted where 2 on street spaces are lost 	Yes	The proposed vehicle crossing does not result in the loss of 2 on street parking spaces immediately adjacent to the site.
2.9 Landscaping and open space		
<ul style="list-style-type: none"> Overall open space: 40% of site area (186.8m²) 	Yes	The site provides 259.09m ² of open space (55.48% of site area) and complies with the open space control.
<ul style="list-style-type: none"> Overall landscaped area: 15% of site area (70.05m²) 	Yes	The proposal provides a total landscaped area of 108.77m ² (23.3%) and complies with the landscape requirement.
<ul style="list-style-type: none"> Minimum area of 25m² for private open space 	Yes	The rear private open space comprising of a terrace, swimming pool and landscaping has an area of approximately 143.9m ² .
<ul style="list-style-type: none"> Front open space: 50% of front building setback area 	Yes	The open space provided in the front building setback is approximately 31.1m ² (72%% of the front setback area).
<ul style="list-style-type: none"> Front landscaped area: 50% of front open space provided 	Yes	Within the front open space approximately 24.4m ² of landscaping is provided (78.5% of front open space).
<ul style="list-style-type: none"> Outdoor clothes drying area to be provided 	No	An outdoor clothes drying area has not been demonstrated on the architectural or landscape plans. However, the site is considered to have adequate space to provide outdoor clothes drying for future occupants.
2.10 Swimming pools and spa pools		
<ul style="list-style-type: none"> Located in the rear of property Pool decks on side boundaries must consider visual privacy 	Yes	The pool is located at the rear of the site and the finished floor level of the adjacent pool deck is more than 1.8m below the height of the existing boundary fence and will not result in any additional visual or acoustic privacy impacts on adjoining properties.

The following is a detailed discussion of the issues identified in the compliance tables above in relation to the Waverley DCP 2012.

View Loss

Section 2.7 in Part C2 details all objectives and strategies for public and private domain views and view sharing, which generally seek to reduce impacts on existing views and vistas from the private and public domain.

A site inspection was carried out by Council's assessment officer at 7 and 9 Silva Street located to the north of the subject site. The applicant undertook site visits at 7 Silva Street and 12 Carlisle Street and submitted a view impact assessment to address the view sharing planning principles in accordance with the NSW Land and Environment Court Planning Principle based on *Tenacity Consulting v Warringah [2004] NSWLEC 140*. It is noted that requests for access by the applicant to 9 Silva Street and 14 Carlisle Street were denied. As such, photographs taken by Council's assessment officer at 9 Silva Street have been utilised for the view analysis (subject site in red, adjoining properties in yellow).



Figure 10: View loss assessment undertaken by applicant on properties outlined in yellow.



Figure 11: Location of adjoining properties subject of the view impact assessment (Source: Navon Planning)

The view sharing planning principle requires a four step assessment to determine if view sharing is reasonable as follows:

1. *The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (eg of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, eg a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.*
2. *The second step is to consider from what part of the property the views are obtained. For example the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.*
3. *The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them).*
4. *The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide*

the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.

Figures 12 to 17 show views from 9 Silva Street located immediately to the north of the site.

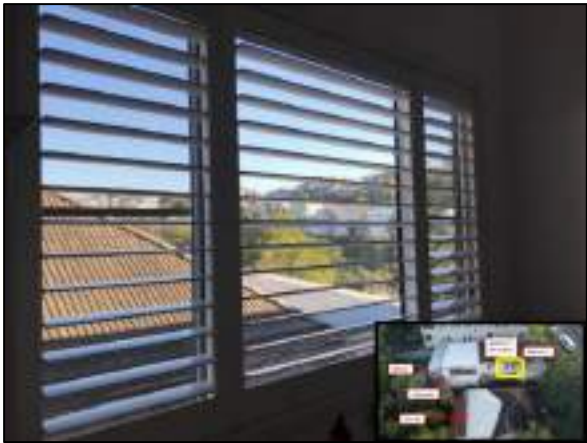


Figure 12: View looking south-west from Bedroom 1 at 9 Silva Street.



Figure 13: View looking south from Bedroom 1 at 9 Silva Street.



Figure 14: View south from living area at 9 Silva Street.



Figure 15: View looking south standing adjacent to window of living area at 9 Silva Street.



Figure 16: View looking south from rear balcony at 9 Silva Street.



Figure 17: View looking south at the louvred windows from the rear balcony at 9 Silva Street.

Partial views of the water and coastline to the south of the site are provided from the south facing windows in the living room in a standing position and from the rear balcony at 9 Silva Street in both standing and sitting positions. From the rear balcony, views of the water and land interface is obscured by tree canopies with views of the water visible across the existing roof of the dwelling on the subject site. Whilst these views are considered highly valued views, the views are obtained across the side boundary of 9 Silva Street and the southern side boundary of the subject site. It is considered difficult to protect these views as the proposed building footprint and envelope is compliant with building height and FSR development standards and does not extend beyond the predominant rear building line of adjoining properties.

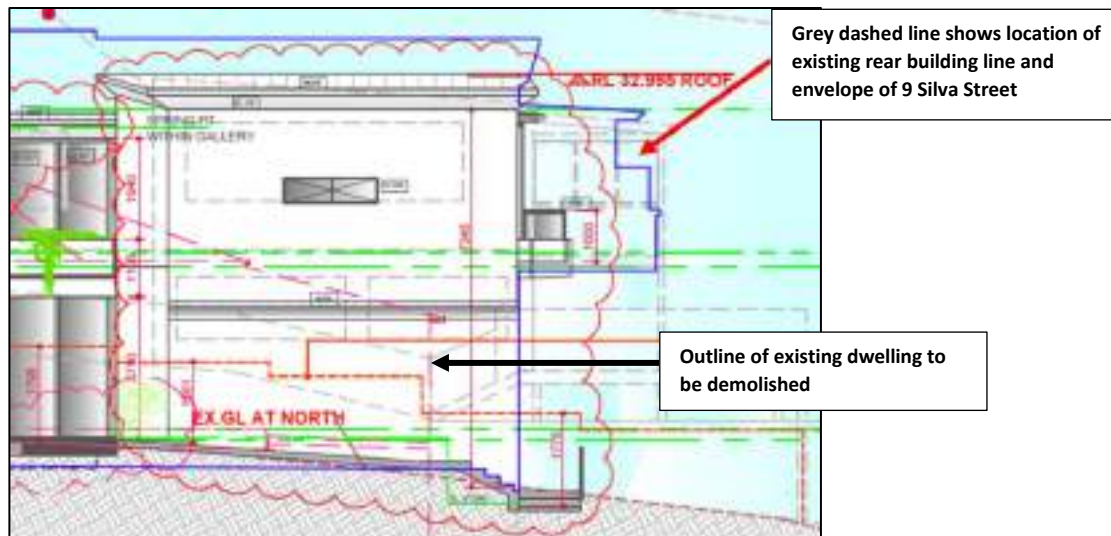


Figure 18: Proposed northern elevation showing rear building setback and location of rear balcony compared to existing rear building line and balcony at 9 Silva Street.

9 Silva Street

The extent of the impact of views from the living room area towards the water and land interface is considered **severe**. As shown **Figure 18**, the proposed rear building line on the ground and first floor levels are setback from the existing rear building line of 9 Silva Street and are compliant with built form controls under the Waverley DCP 2012. The existing views across the side boundary of 9 Silva Street will be equally impacted by a design that complies with built form controls.

The views of the water looking south from the rear balcony will be severely impacted by the proposal despite the rear building line not projecting beyond the rear building line of 9 Silva Street and the proposed reduction of the width of the rear first floor balcony. This enables views of the gully and outlook to the cliff adjacent to Tamarama Marine Drive and towards Tamarama Park to remain visible from 9 Silva Street. Whilst this view is not as highly valued as the water view to the south, it contributes to the amenity for occupants at 9 Silva Street and is more readily protected as it is not a view across a side boundary.

There are also two bedroom windows on the southern elevation of 9 Silva Street that has a direct outlook to the roof of the subject site, the landscaped cliff, and properties on Wolaroi Crescent to the south-west. These views are not considered to be highly valued and retention of these views would

unreasonably restrict the development potential of the site in accordance with permissible built form controls.

Having regard to the view impacts assessment to windows on the southern elevation and the rear balcony of 9 Silva Street, the amended proposal which has demonstrated the building footprint and envelope is consistent with built form controls will not result in any unreasonable loss of views particularly as the significant views from 9 Silva Street are provided across a side boundary.

7 Silva Street

An assessment of view impacts from 7 Silva Street has been undertaken by the applicant and discussed below, particularly considering the views window openings and balconies from the lower ground, ground and first floor levels shown in **Figure 19** below.



Figure 19: South facing windows and balconies at 7 Silva Street (Source: Navon Planning)

No 7 Silva Street is positioned at the higher side of the Silva Street and comprises south facing windows and balconies elevated above the roof height the existing dwelling on the site, as shown in the photographs in **Figures 20 to 31** below. No 7 Silva Street is located two properties to the north of the subject site and currently has views of the water and coastline from the first floor bedroom, bathroom and study, the ground floor living room and rear balcony, and the lower ground floor rear balcony.

The lower ground floor balcony to the rear of the 7 Silva Street has views of the water and land interface to the south and district views to the west. The views of the water to the south are partially obscured by the existing built form of 9 Silva Street. As the proposed dwelling is setback from the rear building line of 9 Silva Street, it will not result in any additional view impacts on the lower ground floor balcony and is acceptable.

The ground floor level of 7 Silva Street comprises of principle living area with window openings and a rear balcony on the eastern, southern and western elevations that provide views of the water, water and land interface and district views of Tamarama Park and surrounding developments. As shown in **Figures 23 and 24** the kitchen windows have views to the south across the side boundary and is over the roof of 9 Silva Street. Whilst the kitchen windows have an outlook to the south, the views across the roof top of surrounding properties towards Tamarama Marine Drive are not considered significant or iconic.

As shown in **Figure 32** below, the proposed dwelling will not exceed the height of the existing pitched roof at 9 Silva Street and is similar in height to the flat roof at the rear of 9 Silva Street. As such, the proposed built form will not result in any unreasonable view loss impacts to the ground floor window openings on the southern elevation or the rear balcony. As shown in **Figure 27**, the top of the proposed roof will partially obscure the water and land interface at the southern end of Tamarama Beach, however given the extent of the distant views of the ocean and coastline from the rear ground floor balcony, the reduction in the view is not considered significant and will not result in unreasonable view loss impacts.

Having regard to consideration of the extent of view loss on the whole property, the proposal does not have any additional impacts on existing ocean and district views available from the lower ground floor balcony and the windows and balconies on the eastern (front) elevation. As such, the extent of view impacts on 7 Silva Street is considered reasonable as the extent of view loss from the rear ground floor balcony is a result of a compliant building envelope viewed across the side boundary.

The first floor level of the 7 Silva Street has highly valued views of the water and the coastline from window openings on the southern elevation and the eastern (front) elevation of the dwelling. Given the elevated position of 7 Silva Street compared to the subject site, the proposed built form will not result in any view loss impacts of the water and land interface from the first floor windows on the southern elevation.



Figure 20: View looking south from first floor bedroom at 7 Silva Street.



Figure 21: View looking south from first floor bathroom window at 7 Silva Street.

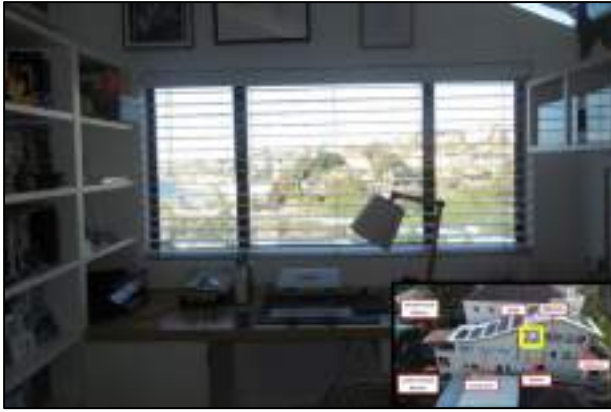


Figure 22: View looking south from study at 7 Silva Street.



Figure 23: View looking south from kitchen window (1 of 2) at 7 Silva Street.



Figure 24: View looking south from kitchen window (2 of 2) at 7 Silva Street.



Figure 25: View looking south from middle of living room at 7 Silva Street.



Figure 26: View looking south from living room window at 7 Silva Street (approximate height of proposal in yellow).



Figure 27: View looking south from balcony at 7 Silva Street (approximate height of proposal in yellow).



Figure 28: View looking west from rear ground floor balcony at 7 Silva Street.



Figure 29: View looking south from ground floor balcony at 7 Silva Street.



Figure 30: View south from lower ground floor balcony at 7 Silva Street.



Figure 31: View west from lower ground floor balcony at 7 Silva Street.

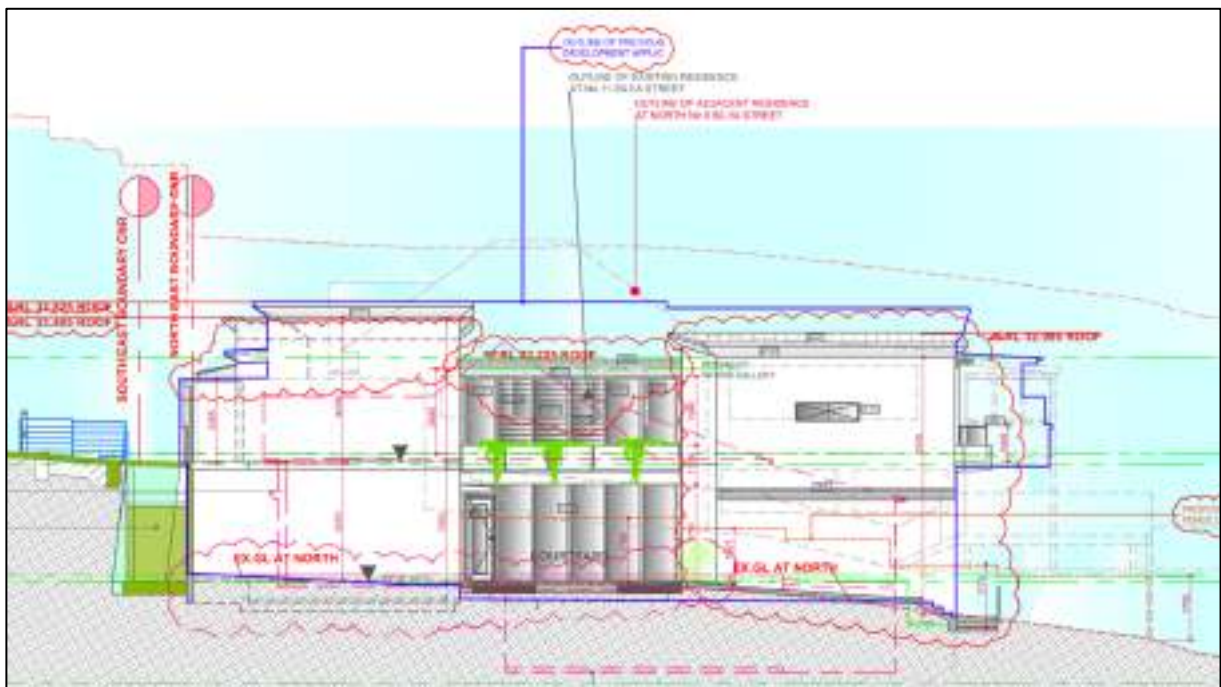


Figure 32: Proposed northern elevation showing the proposed building height in the context of existing height of the pitched roof at 9 Silva Street shown in grey dashed line.

12 Carlisle Street



Figure 33: Location and internal layout of 12 Carlisle Street.

The views to the south-east at 12 Carlisle Street have been identified in **Figures 34 to 37** below. The window openings to habitable rooms, balcony and the pool deck have expansive views of the water and land interface as well as district views. The approximate height of the proposed building as viewed from 12 Carlisle Street is indicated in a yellow line in the photographs below. As shown in Figure 34, the proposal will result in a minor projection into the lower left hand corner of the existing water views from the bedroom window at 12 Carlisle Street. The extent of the view impact is considered to have **negligible** impact on views of the water from the habitable rooms, balconies and pool deck as the proposed building envelope is generally positioned between existing built form of existing developments located further to the south-east when viewed from 12 Carlisle Street. As the proposal is contained within a compliant building envelope and complies with Council's building height development standard as well as the rear building line control, the minor view impact is considered reasonable in this circumstance and is acceptable.



Figure 34: View looking south-east from bedroom at 12 Carlisle Street.



Figure 35: View looking south-east from living room at 12 Carlisle Street.



Figure 36: View looking south-east from edge of living room window at 12 Carlisle Street.



Figure 37: View looking south-east from balcony at 12 Carlisle Street.



Figure 38: View looking south from pool deck

2.2. Other Impacts of the Development

The proposal is considered to have a significant detrimental effect relating to environmental, social or economic impacts on the locality, and is recommended for refusal.

2.3. Suitability of the Site for the Development

The site is not considered suitable for the proposal, particularly the proposal to provide on site car parking and new vehicular access from Silva Street.

2.4. Any Submissions

The application was notified for 14 days between 21 April and 5 May 2021 in accordance with the *Waverley Community Development Participation and Consultation Plan*.

Following receipt of amended plans and additional information, the application was re-notified for 14 days between 14 September and 28 September 2021.

A total of 24 unique submissions were received, 14 during the original notification and 10 during the re-notification period, from the following properties:

Table 4: Number of and where submissions were received from – original notification

Count	Property Address
1.	7 Silva Street, Tamarama
2.	8 Silva Street, Tamarama
3.	9 Silva Street, Tamarama
4.	12 Silva Street, Tamarama (2 letters received)
5.	7 Pacific Avenue, Tamarama
6.	8 Pacific Avenue, Tamarama (2 letters received)
7.	9 Pacific Avenue, Tamarama (3 letters received)
8.	10 Pacific Avenue, Tamarama
9.	11 Pacific Avenue, Tamarama (3 letters received)
10.	12 Pacific Avenue, Tamarama
11.	12 Carlisle Street, Tamarama
12.	14 Carlisle Street, Tamarama
13.	12 Simpson Street, Bondi
14.	42 Simpson St, Bondi

Table 5: Number of and where submissions were received from – re-notification

Count	Property Address
1.	7 Silva Street, Tamarama
2.	8 Silva Street, Tamarama
3.	9 Silva Street, Tamarama
4.	12 Silva Street, Tamarama
5.	7 Pacific Avenue, Tamarama
6.	8 Pacific Avenue, Tamarama
7.	9 Pacific Avenue, Tamarama (2 letters received)
8.	11 Pacific Avenue, Tamarama
9.	12 Pacific Avenue, Tamarama

The following issues raised in the submissions have already been discussed and addressed in the body of this report and/or the Recommendation:

- View loss
- Overshadowing
- Privacy
- Building height
- FSR
- Bulk and scale
- Setbacks
- Deep soil
- Tree removal and proposed landscape plantings
- Protection of Port Jackson Fig trees
- Stormwater management
- Car parking and access

All other issues raised in the submissions are summarised and discussed below.

Issue: Estimated cost of works is insufficient given scope of stormwater works required.

Response: Council's Stormwater Engineer and Assessment Officer has raised concerns relating to insufficient information adequately demonstrating that the proposal will not have an adverse impact on Council's stormwater drainage system, public domain and impacts on adjoining properties. Subject to the provision of additional information, the estimated cost of works may vary in response to the scope of stormwater management works required.

Issue: Proposed public domain works does not have Council's owners consent. Concerns raised with accessibility during construction works and impact of relocation of stairs to on adjacent property.

Response: Council's owners consent for the proposed development is not required for the lodgement of the Development Application. If the proposal was considered acceptable, Council's owners consent would be subsequently provided for the works to be carried out within the public domain.

Issue: Safe removal of asbestos.

Response: If the proposal was supported, appropriate conditions would be imposed requiring the safe removal of asbestos and hazardous materials from the site.

Issue: Construction traffic impacts on access to adjoining properties

Response: If the proposal was supported, appropriate conditions would be imposed requiring management of construction traffic during construction phases of the development.

Issue: Structural stability of works adjacent to 11 Pacific Avenue.

Response: If the proposal was supported, suitable conditions would be impose ensuring existing and proposed works maintain structural stability and mitigate potential impacts on adjoining properties.

2.5. Public Interest

The proposal is considered to have a detrimental effect on the public interest, and is recommended for refusal.

3. REFERRALS

The following internal referral comments were sought:

3.1. Stormwater

Council's Stormwater Engineer has reviewed the proposal and remains concerned that insufficient information has been submitted to address the requirements under Council's Water Management Technical Manual particularly demonstrating that the proposal, including the relocation of existing kerb inlet puts on the road reserve, will not result in any worsening of Council's stormwater drainage capacity.

Council's Stormwater Engineer has also noted that a minimum separation of 500mm is required between the edge of the lintel of any stormwater kerb inlet pit and the wing of any proposed vehicular crossing.

In the absence of a detailed stormwater management plan prepared by a suitably qualified and practising Civil Engineer including modelling of the pre-development and post-development stormwater drainage scenarios, a proper assessment of the impact of the proposal on the public domain and Council's stormwater infrastructure, and suitability of the proposed vehicular crossing cannot be undertaken. As such, the proposal in its current form, particularly the provision of a new vehicle crossing resulting in substantial alterations to the existing public footpath, stairs and stormwater drainage cannot be supported as Council's Stormwater Engineer and Assessment Officer cannot determine the potential impacts of the proposal on the public domain and amenity of adjoining properties.

Council's Stormwater Engineer has advised that the requested additional information particularly the modelling of the pre-development and post-development drainage scenarios would not be required if the proposal does not include car parking and construction of a new vehicular crossing on Silva Street. In this regard, no objection would be raised to the proposal if on site car parking was not proposed as part of the development.

3.2. Traffic and Development

Council's Traffic Engineer reviewed the proposal and has identified non compliances with the design of the car stacker garage, particularly the internal dimensions, however conditions requiring compliance with Australian Standards AS2890.1:2004 have been recommended.

It has also been identified that the proposed driveway design does not achieve strict compliance with Australian Standard AS2890.1 Clause 2.6.2 - Gradients of domestic driveways and Clause 3.2.4(b) - Sight distance to pedestrians. Council's Traffic Engineer has advised that the use of the turntable to enable cars to exit the site in a forward direction improves sightlines and pedestrian safety, therefore the non-compliance with required sight triangles is supported on the merit of the proposal.

Council's Assessment Officer remains concerned that the design and location of the turntable enables the site to accommodate parking for 3 vehicles and is inconsistent with the maximum car parking rates under the Waverley DCP 2012 for a dwelling. The reliance on the turntable to provide safer sightlines to pedestrians assists the car parked on the lower level of the car stacker but does not necessarily resolve the safety impacts of a reversing vehicle existing the garage at street level (for upper level vehicle). Furthermore, the location and design of the proposed vehicular crossing has a direct impact on the ability of the proposal to manage stormwater drainage impacts, which has not been sufficiently demonstrated by the information submitted by the applicant. As such, it is not considered appropriate to support a new vehicle crossing in this circumstance where the proposal may result in unacceptable impacts on Council's stormwater drainage system.

3.3. Tree Management

Council's Tree Management Officer has reviewed the proposal and raised no objection to the removal of seven (7) existing trees on the site as no trees are identified as significant specimens. However, it is noted that the removal of the trees will significantly reduce the contribution of existing tree canopy to the landscaped character of the site and locality, as such replacement tree planting that achieves maturity is supported.

The two (2) Port Jackson Fig trees located in the public domain adjacent to the front boundary of the site are in good health and contributes to the landscaped character of the locality. Council's Tree Management Officer raises no objection subject to conditions requiring the retention and protection of the trees during construction.

3.4. Biodiversity

Council's Biodiversity Officer has reviewed the proposal and identified insufficient information provided in the landscape plans that demonstrate compliance with the minimum planting of indigenous or local native plants in accordance with the Waverley DCP 2012. Notwithstanding this, no objection is raised to the proposal subject to conditions requiring an amended landscape plan including a detailed planting schedule to enable a proper assessment against the controls under the Waverley DCP and inspection of the property by Council's Tree Management Officer or Biodiversity Officer at the completion of landscape works.

3.5. Public Domain

Council's Public Domain Officer reviewed the originally submitted proposal and raised concerns that insufficient structural details have been submitted to demonstrate the proposed vehicular access and public domain works is feasible having regard to the constraints of the site and adjacent public domain. Council's Public Domain Officer also identified that any proposal that affects Council's stormwater drainage system must satisfy Council's Stormwater Engineer.

The amended plans were referred to Council's Public Domain Officer however, no further comments have been received at the time of writing this report. In this regard, the comments provided by Council's Stormwater Engineer have been considered to address stormwater management issues and impacts on Council's infrastructure.

4. CONCLUSION

The development application seeks consent for demolition of existing detached dwelling and structures, excavation and construction of a three storey dwelling, 2 car garage with car lift and turntable within the ground floor courtyard along the northern side boundary, and a new swimming pool, terrace and landscaping at the rear. The proposal also includes the construction of a new cantilevered vehicle crossing and relocation of existing stairs within the public domain immediately adjacent to the eastern (front) boundary at the site known as 11 Siva Street, TAMARAMA.

The principal issues arising from the assessment of the application are as follows:

- FSR non-compliance and no clause 4.6;
- Car parking
- Stormwater management
- Setbacks
- View loss

The assessment finds these issues unacceptable as insufficient information has been submitted to demonstrate that the proposed provision of vehicular access does not result in detrimental impacts on existing stormwater drainage capacity as the proposal requires the relocation of existing stormwater drainage pits in Silva Street. The proposal relies on the use of a turntable to enable the car parked on the lower level of the car lift to exit the site in a forward direction, to reduce the required sight triangles and total width of the vehicle crossing at the gutter. However, given the design and location of the turntable, it provides opportunity for a third car space within the site and exceeds the maximum car parking for a dwelling under the Waverley Development Control Plan 2012 and is not supported.

Whilst the deletion of the car parking and vehicular access would resolve the stormwater management issue, a significant redesign of the dwelling would be required particularly at the street frontage and requires a separate assessment against relevant planning controls and consideration of impacts on adjoining properties.

The proposal does not result in any unreasonable view loss impacts on adjoining properties as the building envelope and setbacks comply with the built form controls under the Waverley Local Environmental Plan 2012 and Waverley Development Control Plan 2012 and protection of views from adjoining properties across a side boundary is unreasonable given the proposal complies with built form controls for the site.

A total number of 29 submissions were received and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation. No Councillor submissions have been received. There are no declared conflicts of interest for this application.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for refusal.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the Act. It is recommended for refusal.

Development and Building Unit (DBU) Decision:

The application was reviewed by the DBU at the meeting on 24 November 2021 and the DBU determined:

- (a) The application is not acceptable and should be refused for the reasons in Appendix A.

DBU members: A Rossi, B McNamara, B Matlawski, J Zancarano, J Elijah

5. RECOMMENDATION TO WAVERLEY LOCAL PLANNING PANEL

That the development application be REFUSED by the Waverley Local Planning Panel for the reasons contained in Appendix A.

Report prepared by:



Peggy Wong
Senior Development Assessment Planner

Date: 24 November 2021

**Application reviewed and agreed on behalf of
the Development and Building Unit by:**



Judith Elijah
A/Manager, Development Assessment (Central)
**(Reviewed and agreed on behalf of the
Development and Building Unit)**
Date: 26 November 2021

Reason for WLPP referral:

2. Contentious development (10 or more objections)

APPENDIX A – REASONS FOR REFUSAL

Having regard to section 4.15(1) of the Environmental Planning and Assessment Act 1979 the development application is refused for the following reasons:

1. The proposal does not satisfy the objectives of the Environmental Planning and Assessment Act 1979, as stipulated in section 1.3 (g) as the proposal does not promote good design or amenity in the built environment.
2. The application does not satisfy section 4.15 (1)(a)(i) of the Act as it contrary to the following provisions of Waverley Local Environmental Plan (WLEP) 2012:

- a. *Clause 4.6 Exceptions to Development Standards*

The application exceeds the maximum allowable Floor Space Ratio (FSR) of 0.59:1 as prescribed by Clause 4.4 of WLEP 2012 and no clause 4.6 statement has been submitted to adequately address the required matters under subclauses 4.6 (3)(a) and (b) of Waverley LEP

Details: The application cannot be approved in the absence of a Clause 4.6 statement.

- b. *Clause 4.4 Floor Space Ratio*

The application exceeds the maximum allowable Floor Space Ratio (FSR) of 0.59:1 and no clause 4.6 statement has been submitted to adequately address the required matters under subclauses 4.6 (3)(a) and (b) of Waverley LEP

Details: The proposal is considered an overdevelopment of the site and the proposed development does not preserve the environmental amenity of neighbouring properties and the surrounding locality as required under clause 4.4 (1) (d) of WLEP.

3. The proposal does not satisfy section 4.15 (1)(a)(iii) of the Environmental Planning and Assessment Act 1979, as the proposal is contrary to Waverley Development Control Plan 2012, in particular, the following provisions:

- a. Part B3 – Landscaping and Biodiversity

- i. Section 3.2.2 *Habitat Corridors and Recognised Habitat*, specifically objectives (a) and (b) and control (a) as the submitted landscape plan contains insufficient information to demonstrate the proposed development is capable of accommodating the minimum required indigenous local native plants to contribute to the landscaped character of the area and enhance the ecological function of the habitat corridor.

- b. Part B8 – Transport

- i. Objective (k) and *Clause 8.1 Streetscape*, specifically objectives (a) and (b) and Clause 12.1 *Design* in Part B12 *Design Excellence*, specifically control (e)(i) and (x) as the proposed development, particularly the design and location of the vehicle crossing and its impacts on Council's stormwater drainage system, has not demonstrated the development is suitable for the site and that high quality urban design is achieved to contribute positively to the amenity of the streetscape.
 - ii. Section 8.2 *On-Site Parking*, specifically controls (a), (b) and (c) as the proposed car stacker garage and vehicle crossing is inconsistent with the minimum internal dimensions for the garage under *Australian Standard AS2890.1:2004* and the driveway design is inconsistent with the requirements under *AS2890.1 Clause 2.6.2 – Gradients of domestic driveways* and *Clause 3.2.4(b) Sight distance to pedestrians*.
 - iii. Section 8.2.2 *Car Parking Provision Rates*, specifically control (a), Clause 8.2.4 *Parking for Low Density Residential Development*, specifically control (b)(iii), and Section 2.8.2 *Parking Rates*, specifically controls (a) and (b)(iii) in Part C2 of the *Waverley Development Control Plan 2012* as the proposed number of vehicles able to be parked on site exceeds the maximum car parking rate for a dwelling and the proposal has not sufficiently demonstrated that on site parking is suitable for the site and the locality having regard to not worsening impacts Council's stormwater drainage system.
- c. Part B6 – Stormwater Management
 - i. Section 6.1 *Stormwater Management and WSUD*, specifically objectives (f) and (i) and controls as the proposal has submitted insufficient information to demonstrate the proposal will not result in additional stormwater runoff that will adversely affect Council's stormwater drainage system and that compliance with Council's *Water Management Technical Manual* is achieved.
- d. Part B14 – Excavation
 - i. Controls (a), (d) and (l) as the proposed car parking and turntable requires excavation up to the northern side boundary and is not wholly contained within the building footprint. The proposed car parking design adds building bulk to the rear of the dwelling.
 - ii. Control (k) as the proposal seeks to provide a ground level plant and storage area including as rainwater tank that should be relocated to the lower ground level to minimise building bulk and demonstrate more efficient use of the building to enhance amenity for occupants.

e. B16 - *Public Domain*

- i. Section 16.1 *Improving the Public Domain*, specifically objective (g) and control (i) and Section 2.4 *Fences* in Part C2 of the Waverley Development Control Plan 2012, specifically objectives (b) and (d) and controls (a) and (b) as the proposal to retain the existing solid masonry wall along the front boundary presents an excessive blank wall adjacent to the public domain and does not contribute to the amenity or passive surveillance of the public domain.
- ii. Insufficient details relating to the public domain have been provided to carry out a proper assessment.

f. Part C2 – *Low Density Residential Development*

- i. Section 2.2.1 *Front and Rear Building Lines*, specifically control (a) as the proposed front building line projects beyond the predominant front building line of immediately adjoining properties to the north of the site on the western side of Silva Street.
 - ii. Section 2.2.2 *Side Setbacks*, specifically control (a) as part of the northern side setback at the ground level is setback less than 1.5 from the northern boundary, is inconsistent with the side setback of the adjoining property and does not provide adequate building separation.
 - iii. Section 2.5 *Visual and Privacy Impacts*, specifically objective (a) and controls (e)(iii) and (iv) as the rear first floor balcony is exceeds the maximum balcony depth and will result in additional loss of privacy to adjoining properties.
4. The proposed development does not satisfy section 4.15 (1)(b) of the Environmental Planning and Assessment Act 1979, as the proposal has not demonstrated the new works, particularly the car parking and required access will not have an adverse environmental impact on the public domain and amenity of adjoining properties.
 5. The proposal is contrary to 4.15 (1)(c) of the Environmental Planning and Assessment Act 1979, as it has not demonstrated that provision of vehicular access to the site will not have adverse environmental impacts on Council's stormwater drainage infrastructure and amenity impacts on neighbouring properties and is therefore considered unsuitable for the site.
 6. The proposal is not considered to be in the public interest *for the reasons outlined above*, contrary to Section 4.15 (1)(e) of the Environmental Planning and Assessment Act, 1979.
 7. The application is contrary to section 4.15 (1)(e) of the Act in relation to the public interest as it is not compatible with the existing and desired future character of the locality and the broader Waverley local government area.

AMENDED PLANS



RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE



WILK + PARTNERS PTY LTD
Architecture & Design
T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell
11 Silva Street
Tamarama NSW 2026

Site Plan
DEVELOPMENT APPLICATION
TRUE NORTH
Scale bar: 0 1 2 3 4 5 6 7 8 9 10

Sheet Scale : 1:250 @ A3 APPROX
Date: 29 March 2021
Drawn by: SW
Project Ref No:184.03.19
Sheet No: DA- 203 Sheets in set: 18
Current Sheet Revision No: A 1

LOWER GROUND FLOOR PLAN

- (X) TREES TO BE REMOVED IN ACCORD WITH ARBORIST REPORT (3,6,7,8,10,11,12)
- (X) TREES TO BE RETAINED IN ACCORD WITH ARBORIST REPORT (1,2,5)
- (T) TREES TO BE CONSIDERED FOR TRANSPLANTATION IN ACCORD WITH ARBORIST REPORT (4,9)

INTERNAL WALL TYPICAL-140mm
110mm 'DINCELL' CONCRETE WITH P/B FACES

EXTERNAL WALL TYPICAL- 250mm-
110mm 'DINCELL' CONCRETE INTERNALLY WITH AIR GAP/
INSULATION/ BOARD CLADDING AS RAINSCREEN EXTERNALLY

AMENDED PLANS

WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell

11 Silva Street
Tamarama NSW 2026

RECEIVED
Waverley Council

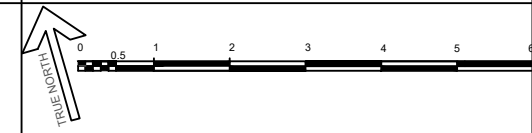
Application No: DA-122/2021

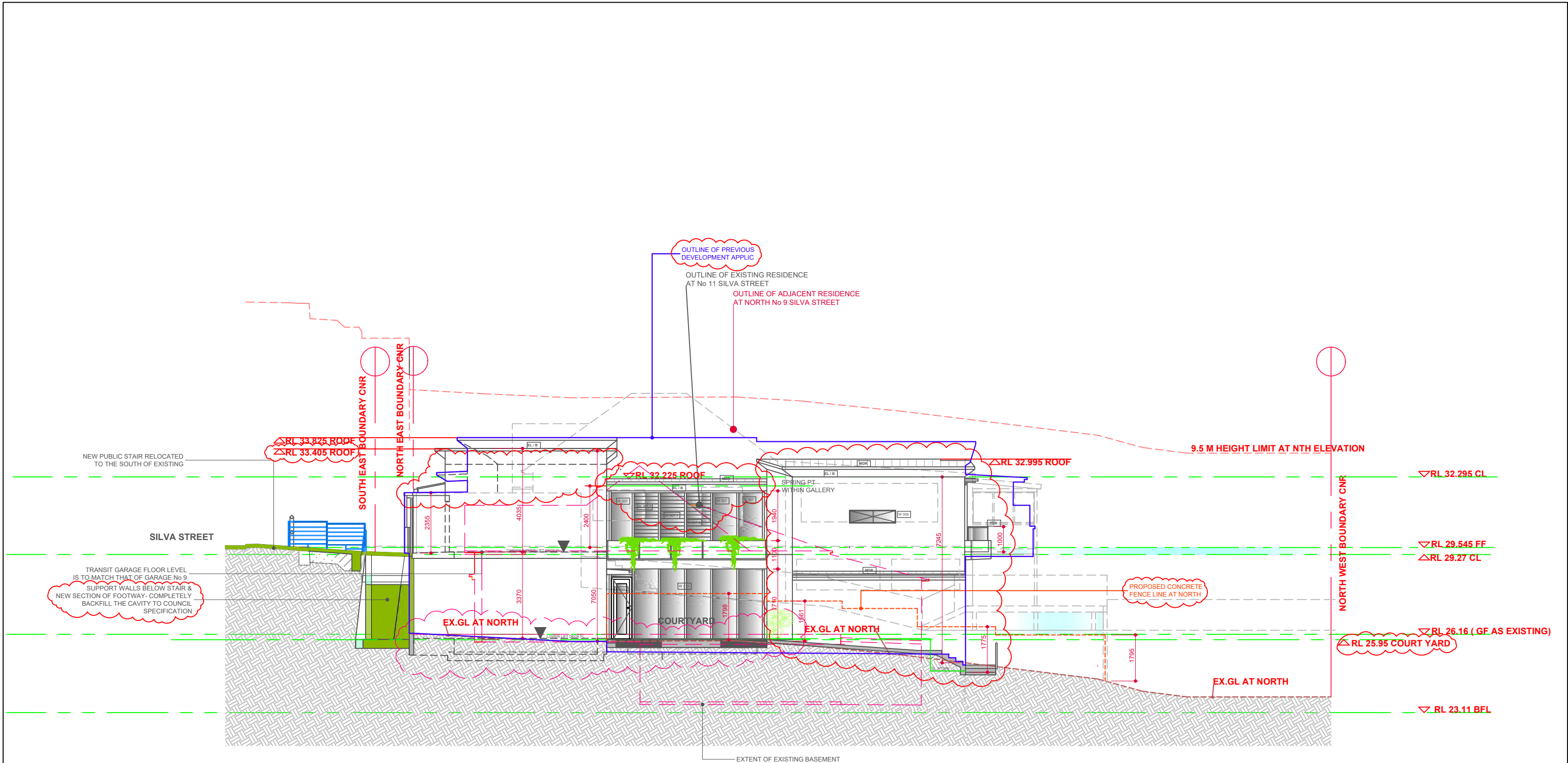
Date Received: 01/09/2021

Lower Ground Floor Plan
DEVELOPMENT APPLICATION

Sheet Scale : 1:100@A3
Date: 29 March 2021
Drawn by: SW

Project Ref No:184.03.19
Sheet No: DA - 301 Sheets in set: 18
Current Sheet Revision No: A 1





NORTH ELEVATION

AMENDED PLANS

RECEIVED
Waverley Council
 Application No: DA-122/2021
 Date Received: 01/09/2021

ISSUE/REV	DESCRIPTION STAGE	DATE
A1	Development Application - Amended	31.08.21

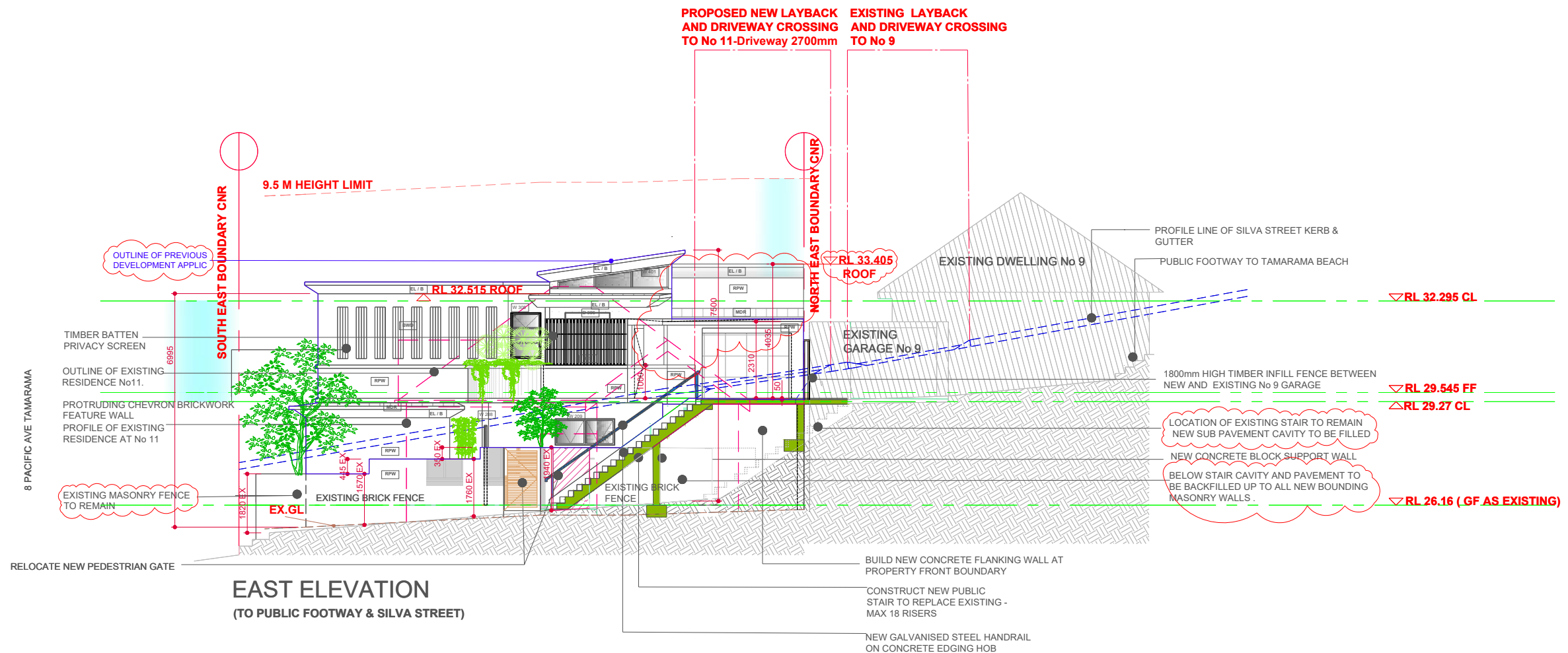


WILK + PARTNERS PTY LTD
 Architecture & Design
 T: (02) 93877525 M: 0408401750
 E: wilkpartners@optusnet.com.au
 Nominated Architect: Sol Wilk ARB Reg No. 4355
 ABN 30072861404

S.Rodwell
 11 Silva Street
 Tamarama NSW 2026

North Elevation
 DEVELOPMENT APPLICATION
 0 0.5 1 2 3

Sheet Scale : 1:150@ A3
 Date: 29 March 2021
 Drawn by: SW
 Project Ref No: 184.03.19
 Sheet No: DA- 402 Sheets in set: 18
 Current Sheet Revision No: A 1



AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

ISSUE/REV	DESCRIPTION STAGE	DATE
A1	Development Application - Amended	31.08.21



WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404



S. Rodwell

11 Silva Street
Tamarama NSW 2026

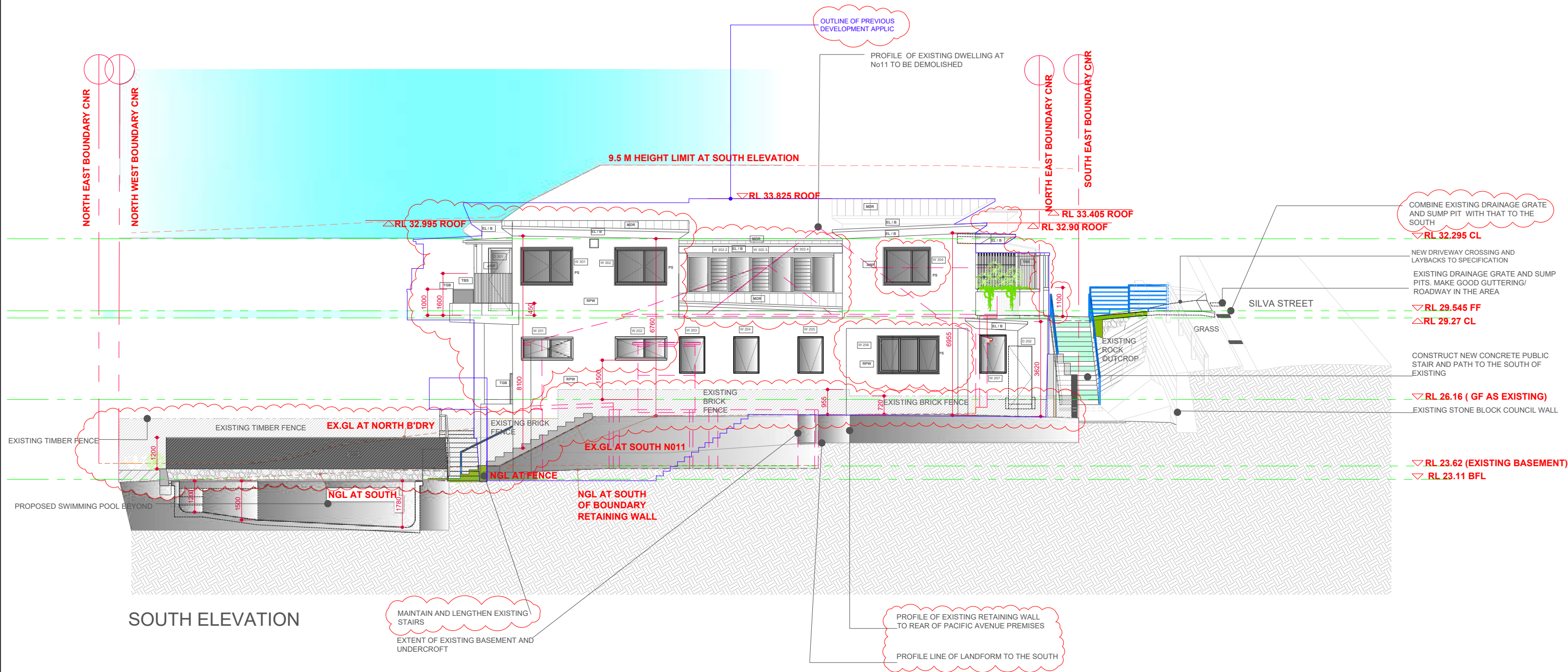
East Elevation

DEVELOPMENT APPLICATION



Sheet Scale : 1:150 @ A3
Date: 29 March 2021
Drawn by: SW

Project Ref No: 184.03.19
Sheet No: DA-403 Sheets in set: 18
Current Sheet Revision No: A 1



AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE

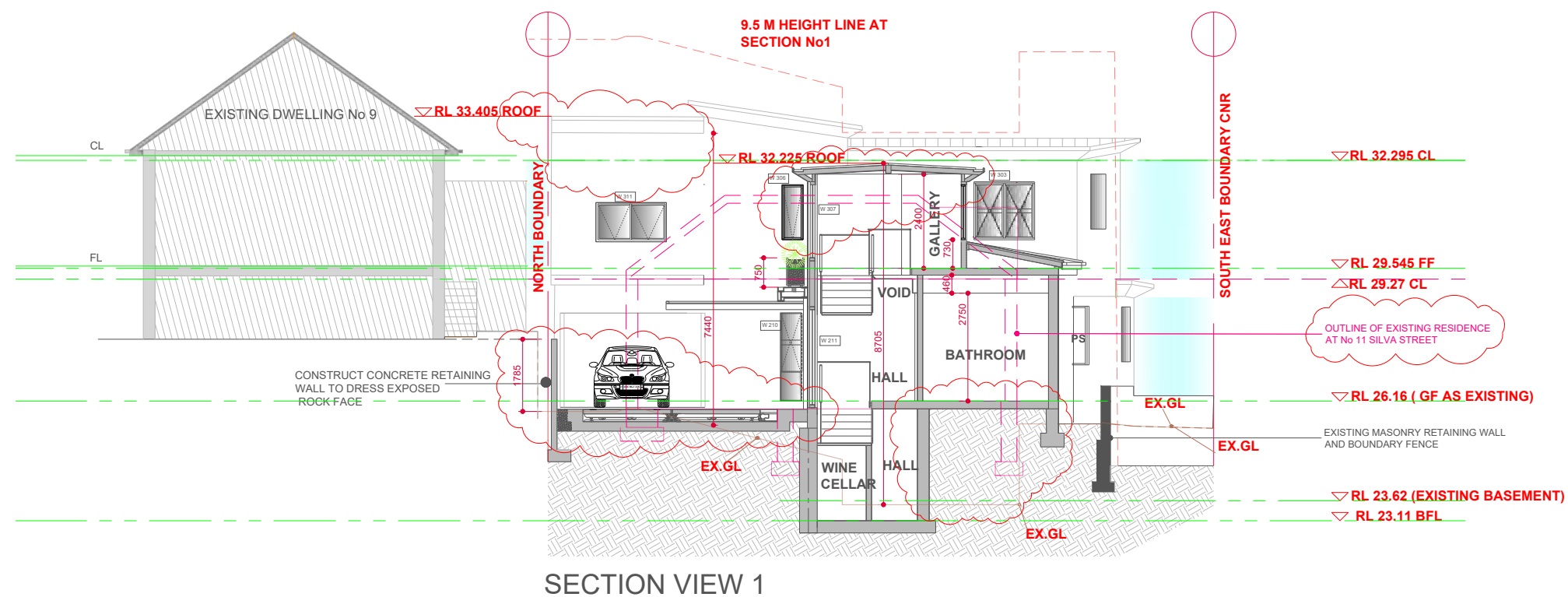


WILK + PARTNERS PTY LTD
Architecture & Design
T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell
11 Silva Street
Tamarama NSW 2026

South Elevation
DEVELOPMENT APPLICATION
0 0.5 1 2 3

Sheet Scale : 1:150@A3
Date: 29 March 2021
Drawn by: SW
Project Ref No: 184.03.19
Sheet No: DA- 404 Sheets in set: 18
Current Sheet Revision No: A 1



AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE

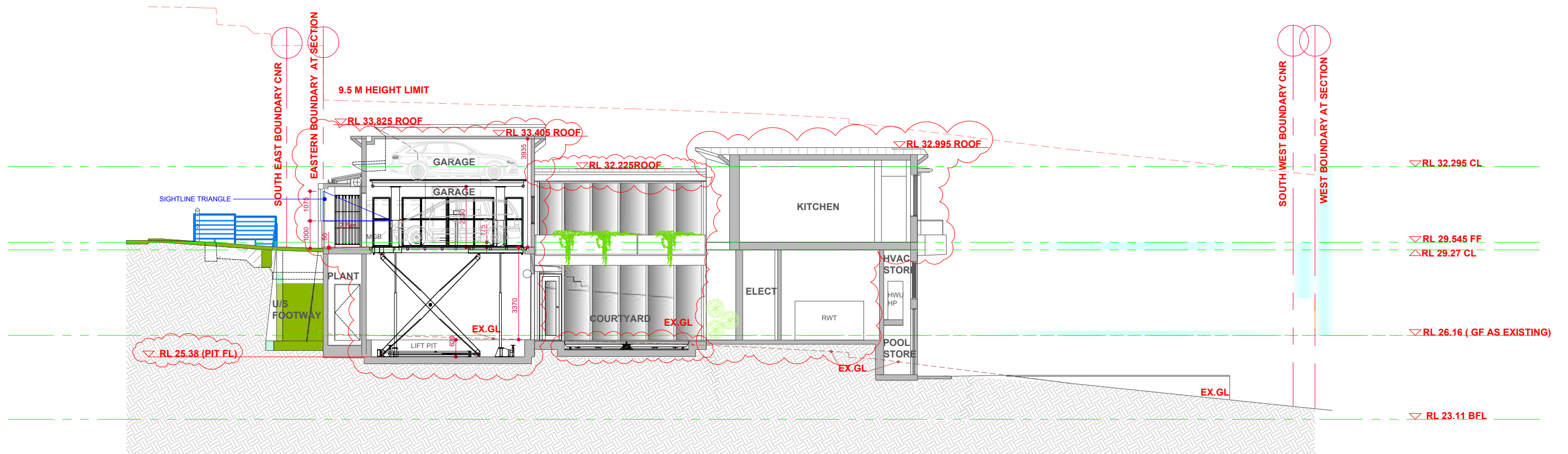


WILK + PARTNERS PTY LTD
Architecture & Design
T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S.Rodwell
11 Silva Street
Tamarama NSW 2026

Sectional view 1
DEVELOPMENT APPLICATION
0 0.5 1 2 3

Sheet Scale : 1:150 @ A3
Date: 29 March 2021
Drawn by: SW
Project Ref No: 184.03.19
Sheet No: DA- 501 Sheets in set: 18
Current Sheet Revision No: A1



SECTION VIEW 2

AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE

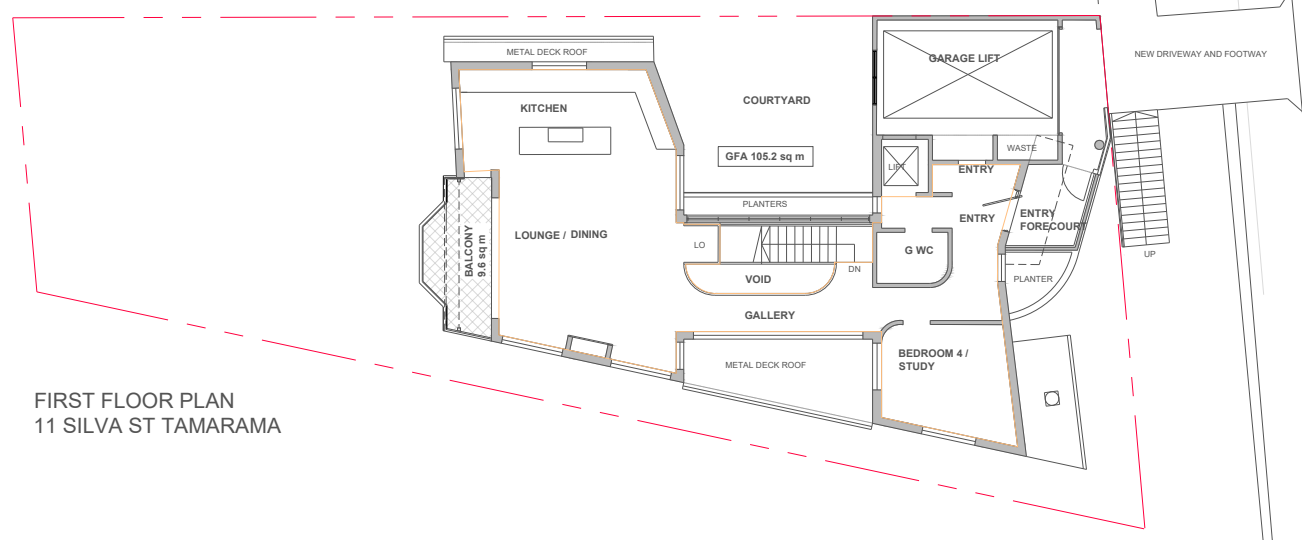
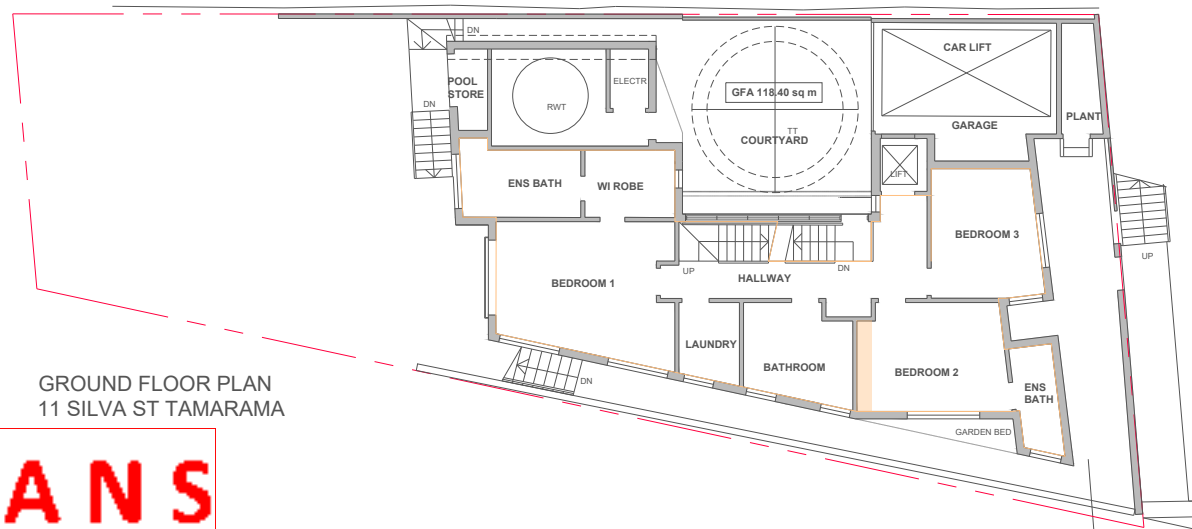
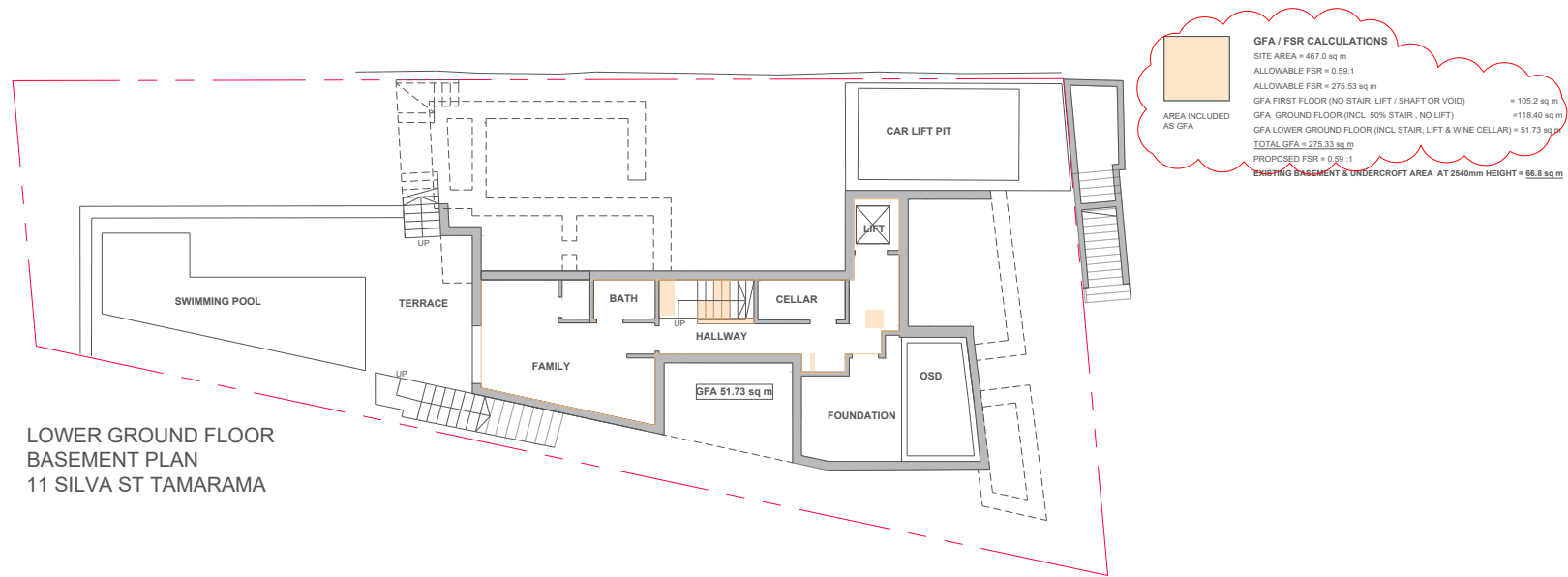


WILK + PARTNERS PTY LTD
Architecture & Design
T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell
11 Silva Street
Tamarama NSW 2026

Sectional View 2
DEVELOPMENT APPLICATION
0 0.5 1 2 3

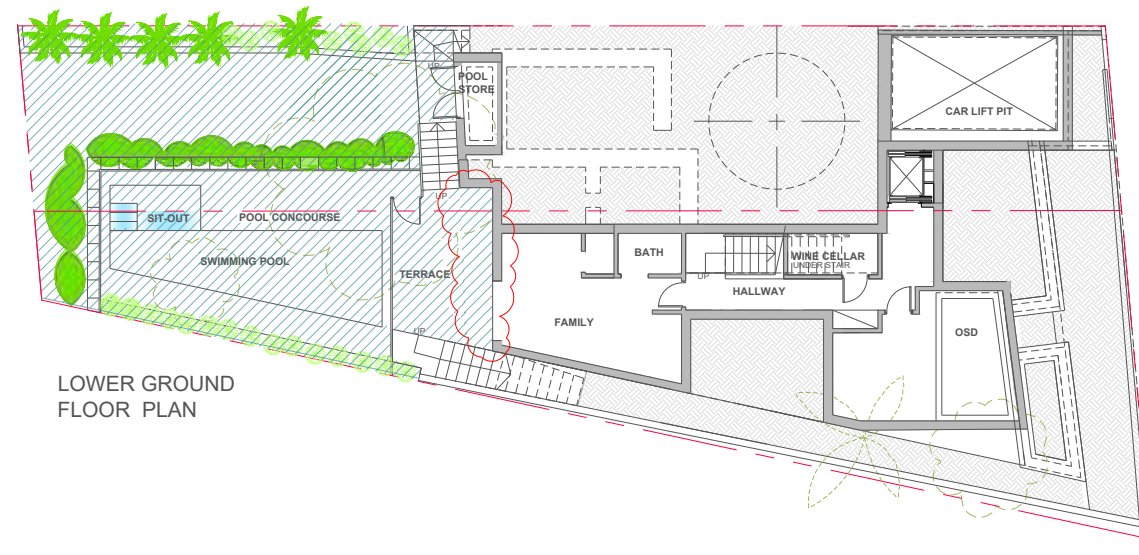
Sheet Scale : 1:150 @ A3
Date: 29 March 2021
Drawn by: SW
Project Ref No: 184.03.19
Sheet No: DA- 502 Sheets in set: 18
Current Sheet Revision No: A1



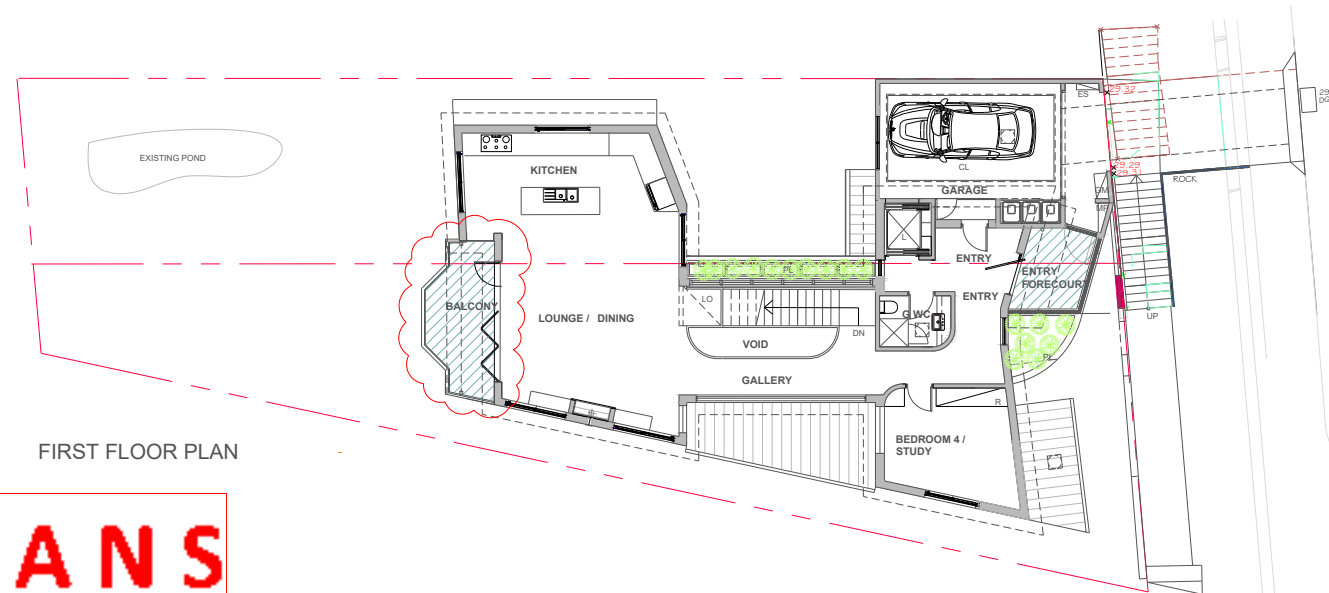
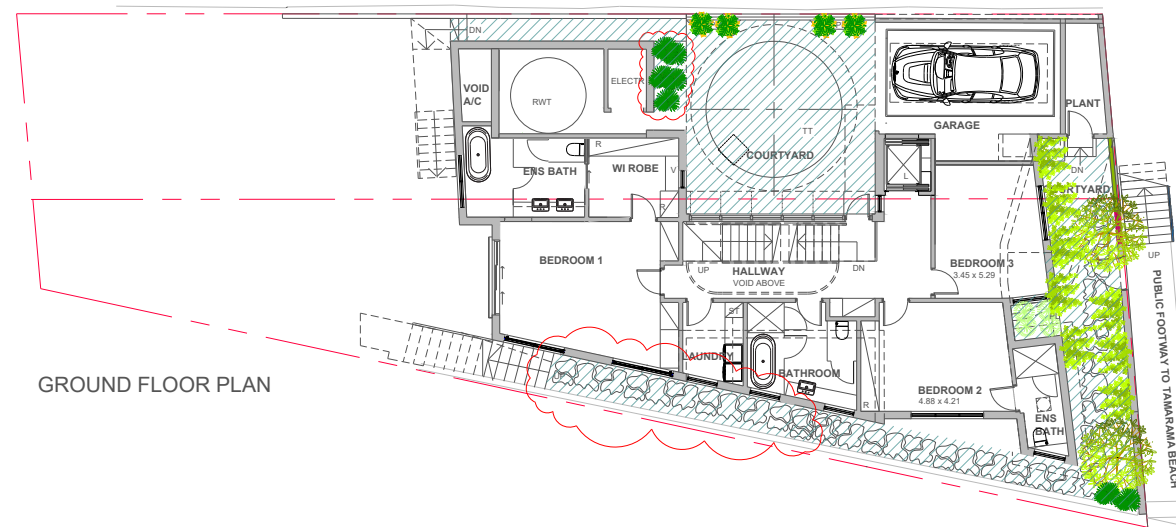
AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE



OPEN SPACE CALCULATIONS	
SITE AREA	= 467.0 sq m
REQUIRED MIN OPEN SPACE	= 186.80 sq m (40% SITE AREA)
OPEN SPACE AT FIRST FLOOR (BALC + FORECOURT)	= 15.76 sq m
OPEN SPACE AT GROUND FLOOR	= 94.58 sq m
OPEN SPACE AT LOWER GROUND FLOOR	= 148.75 sq m
TOTAL AREA OF OPEN SPACE	= 259.09 sq m
PROPOSED AREA OF OPEN SPACE	= 55.48 %



RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021

AMENDED PLANS

ISSUE/REV	DESCRIPTION STAGE	DATE
A1	Development Application - Amended	31.08.21



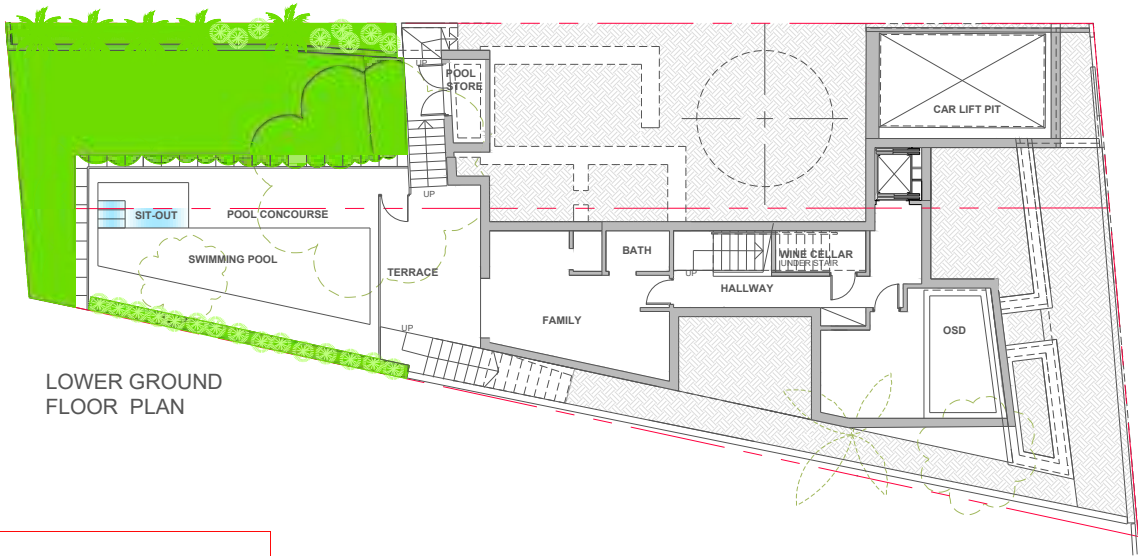
WILK + PARTNERS PTY LTD
Architecture & Design
T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S.Rodwell
11 Silva Street
Tamarama NSW 2026

Open Space Calculations
DEVELOPMENT APPLICATION

Sheet Scale : 1:250 @ A3
Date: 29 March 2021
Drawn by: SW
Project Ref No: 184.03.19
Sheet No: DA- 602 Sheets in set: 18
Current Sheet Revision No: A1

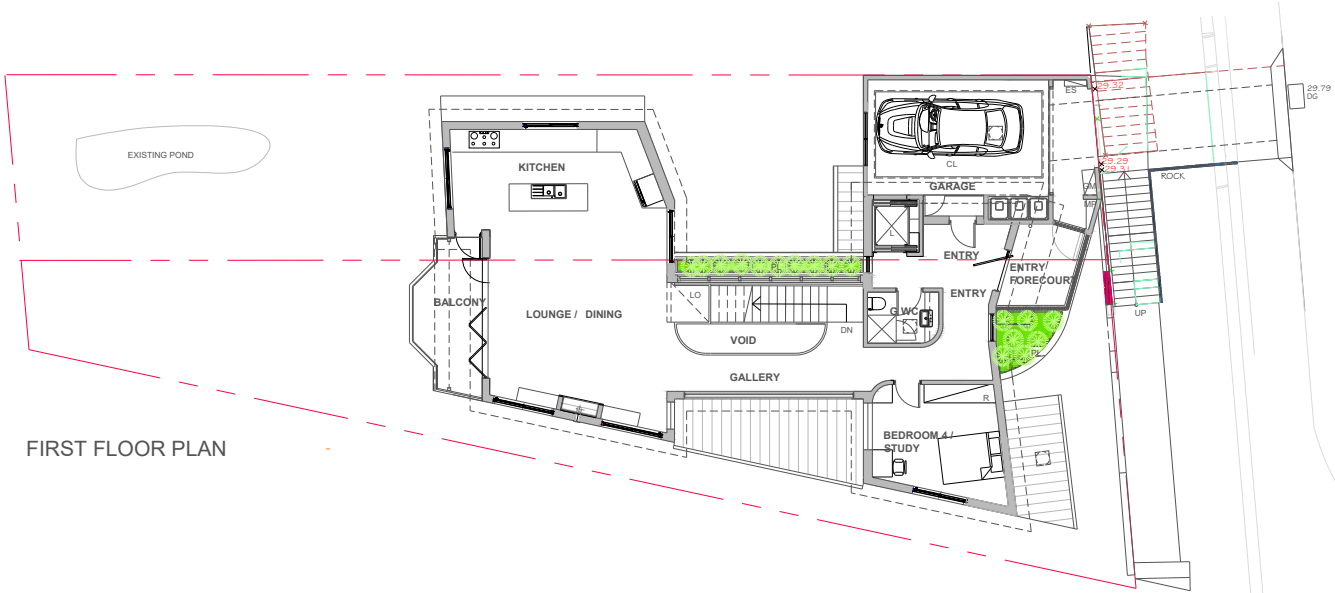
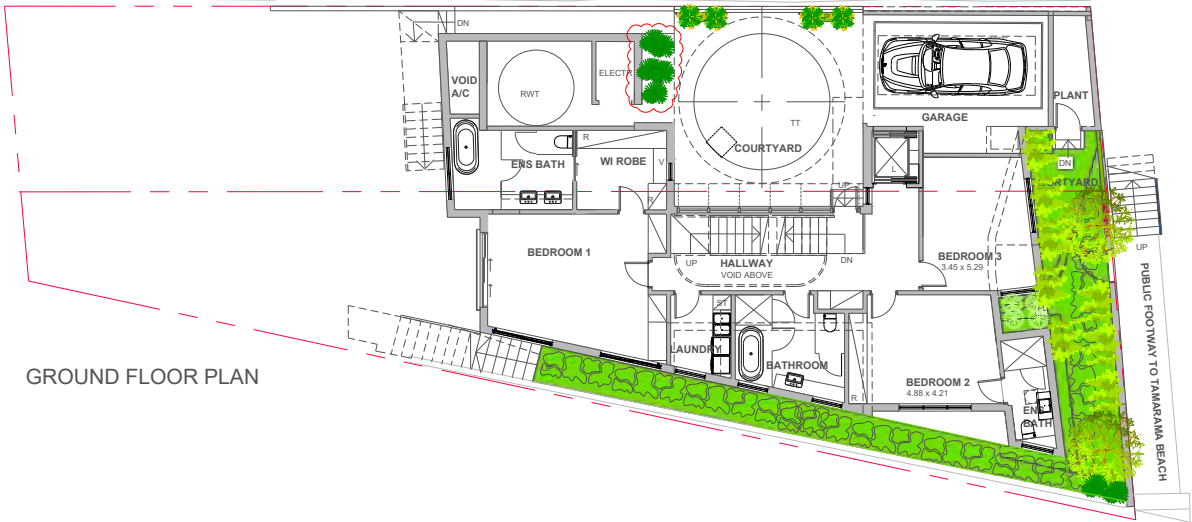
RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021



LANDSCAPING CALCULATIONS	
SITE AREA = 467.0 sq m	
REQUIRED MIN LANDSCAPED AREA = 70.05 sq m (15 % SITE AREA)	
LANDSCAPED AREA AT FIRST FLOOR (BALCS + FORECOURT)	= 4.86 sq m (NOT INCL)
LANDSCAPED AREA AT GROUND FLOOR	= 38.26 sq m (INCL. FRONTAGE)
LANDSCAPED AREA AT LOWER GROUND FLOOR	= 70.51 sq m
TOTAL AREA OF OPEN LANDSCAPING	= 108.77 sq m
PROPOSED AREA OF LANDSCAPING PROVIDED	= 23.3%

MINIMUM AREA OF LANDSCAPING (8%) TO BE PROVIDED OF AVAILABLE OPEN SPACE AT FRONTAGE OF SITE
OPEN SPACE AVAILABLE AT FRONTAGE = 29.76 sq m (INCL PLANT ROOM)
PROPOSED AREA OF LANDSCAPING PROVIDED AT FRONTAGE IS = 24.56 sq m = 82.52%

AMENDED PLANS



ISSUE/REV	DESCRIPTION STAGE	DATE
A1	Development Application - Amended	31.08.21



WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

C

S. Rodwell

11 Silva Street
Tamarama NSW 2026

Landscaped Area Calculations

DEVELOPMENT APPLICATION

Sheet Scale : 1:250 @ A3
Date: 29 March 2021
Drawn by: SW

Project Ref No: 184.03.19
Sheet No: DA- 603 Sheets in set: 18
Current Sheet Revision No: A 1

WINDOW SCHEDULE										
TAG	ORIENTATION	LOCATION	WIDTH (mm)	HEIGHT (mm)	SILL (mm)	OPENING AREA (Sq m)	NATURAL LIGHT AREA (Sq m)	FORMAT	FRAME TYPE	EXTENT OF SHADING (mm)
LOWER GROUND FLOOR										
W-101	SOUTH	RUMPUS/ GYM	2,020	700	1,690	0.71	1.42	D. GLAZED SLIDING	T.B. ALUMINIUM	0
W-102	SOUTH	RUMPUS / GYM	2,020	700	1,690	0.71	1.42	D. GLAZED SLIDING	T.B. ALUMINIUM	0
W-103	SOUTH	LINEN	900	700	1,690	0.63	0.63	AWNING SASH	ALUMINIUM	0
W-104	WEST	MEDIA / BED 5	880	2,400	0	1.32	2.11	D.H. SASHLESS	ALUMINIUM	2.10
GROUND FLOOR										
W 201	SOUTH	BEDROOM 1	2,020	900	1,500	1.21	1.11	D. GLAZED SLIDING	T.B. ALUMINIUM	327
W 202	SOUTH	BEDROOM 1	2,020	900	1500	1.21	1.11	D. GLAZED SLIDING	T.B. ALUMINIUM	327
W 203	SOUTH	LAUNDRY	1,000	1,400	1,000	1.40	1.40	AWNING SASH	ALUMINIUM	290
W 204	SOUTH	BATHROOM	1,000	1,400	1,000	1.40	1.40	AWNING SASH	ALUMINIUM	688
W 205	SOUTH	BATHROOM	1,000	1,400	1,000	1.40	1.40	AWNING SASH	ALUMINIUM	495
W 206	SOUTH	BEDROOM 2	2,400	1,400	1,000	2.24	3.36	AWNING SASH	ALUMINIUM	327
W 207	SOUTH	ENSUITE BATH	1,050	1,400	1,000	1.47	1.47	AWNING SASH	ALUMINIUM	400
W 208	SOUTH	BEDROOM 3	1,105	2,400	0	1.66	2.65	AWNING SASH	ALUMINIUM	567
W 209	EAST	BEDROOM 3	1,800	800	1,795	1.44	1.44	AWNING SASH	ALUMINIUM	1690.00
W 210	WEST	LIFT LOBBY	545	2,250	0	0.76	1.23	VERT. DOUBLE HUNG	ALUMINIUM	1120.00
W 211	NORTH	STAIRWELL	5,145	2,575	-0.17	0	13.25	OBSCURE GLASS CURTAIN WALL	ALUMINIUM	870
W 212	EAST	W I ROBE	600	1,500	900	0.90	0.90	AWNING SASH	ALUMINIUM	1120.00
W 213	WEST	ENSUITE BATH	1,800	1,400	1,010	2.52	2.52	AWNING SASH	ALUMINIUM	2530.00
FIRST FLOOR										
W 301	SOUTH	LGE / DINING	2,020	1,400	1,000	1.41	2.83	D. GLAZED SLIDING	T.B. ALUMINIUM	400
W 302	SOUTH	LGE / DINING	2,020	1,400	1,000	1.41	2.83	D. GLAZED SLIDING	T.B. ALUMINIUM	400
W302.1	EAST	LOUNGE	900	1330	675	1.20	1.20	DH SASHLESS	ALUMINIUM	400
W302.2	SOUTH	GALLERY	715	1330	675	0.95	0.95	LOUVRE		400
W302.3	SOUTH	GALLERY	715	1330	675	0.95	0.95	LOUVRE		400
W302.4	SOUTH	GALLERY	715	1330	675	0.95	0.95	LOUVRE		400
W302.5	SOUTH	GALLERY	2,800	1330	675	0.00	3.70	FIXED		400
W 303	WEST	BEDROOM 4	1550	1,330	675	2.06	2.06	D.H. SASHLESS	ALUMINIUM	400
W 304	SOUTH	BEDROOM 4	1,800	1,400	1,000	1.26	2.52	D. GLAZED SLIDING	T.B. ALUMINIUM	400
W 305	EAST	ENTRY	900	1,400	1,025	0	1.26	3 PANEL FIXED / OPENING	ALUMINIUM	400 / 1,150
W 306	WEST	LIFT LOBBY	545	1,400	995	0.76	0.76	AWNING SASH	ALUMINIUM	1
W 307	NORTH	STAIRWELL	2,690	1,870	465	5	4.53	OBSCURE GLASS CURTAIN WALL	ALUMINIUM	520
W307.1	NORTH	STAIRWELL	825	1,870	465	1	1.54	OBSCURE LOUVRE	ALUMINIUM	400
W307.2	NORTH	STAIRWELL	940	1,870	465	1	1.75	OBSCURE LOUVRE	ALUMINIUM	400
W307.3	NORTH	STAIRWELL	922	1,870	465	1	1.72	OBSCURE LOUVRE	ALUMINIUM	400
W 308	EAST	DINING	1,800	1,400	1,000	1.40	1.40	D. GLAZED SLIDING	T.B. ALUMINIUM	400
W 309	NORTH	KITCHEN	1,800	500	950	0.45	0.90	OBSCURE D. GLAZED SLIDING	T.B. ALUMINIUM	100
W 310	WEST	KITCHEN	2,020	1,400	1,000	1.40	1.40	D. GLAZED SLIDING	T.B. ALUMINIUM	2440.00
W 311	WEST	GARAGE	1,800	1,000	850	1.80	1.80	AWNING SASH	ALUMINIUM	100
ROOF / CLERESTORY										
W 401	EAST	ENTRY	3,310	390 -730	3,160	0	1.85	D. GLAZE FIXED OBSCURE	ALUMINIUM	400
W-402	NORTH	ENTRY	2,600	740	3,120	0	1.92	D. GLAZE FIXED OBSCURE	ALUMINIUM	400
W-403	NORTH	HALLWAY	5,145	847	2,930	2.15	4.36	D.GLAZED PAIR LOUVRED WINDOWS OBSCURE	ALUMINIUM	400
W-404	NORTH	KITCHEN	5,490	938	2,750	2.24	5.15	D. GLAZED PAIR LOUVRED WINDOWS OBSCURE	ALUMINIUM	400
ROOF SKYLIGHTS										
SK 501	ROOF	GF BATH	665	665	-	-	0.33	D. GLAZED FIXED	C.BOND STEEL/ TIMBER	-
SK502	ROOF	GUEST WC	665	665	-	-	0.33	D. GLAZED FIXED	C.BOND STEEL/ TIMBER	-
SK 503	ROOF	ENSUITE BED 2	665	665	-	-	0.33	D. GLAZED FIXED	C.BOND STEEL/ TIMBER	-
SK 504	ROOF	GARAGE	665	665	-	-	0.33	D. GLAZED FIXED	C.BOND STEEL/ TIMBER	-

EXTERNAL DOOR SCHEDULE									
TAG	ORIENTATION	LOCATION	WIDTH (mm)	HEIGHT (mm)	OPENING AREA (Sq m)	NATURAL LIGHT AREA (Sq m)	FORMAT	FRAME TYPE	EXTENT OF SHADING (mm)
LOWER GROUND FLOOR									
D 101	WEST	POOL STORE	1,760	2,400	4.22	0	PAIR SOLID DOORS WITH 4 VENTS	ALUMINIUM	2,500
D-102	WEST	MEDIA / BED 5	920	2,400	2.21	2.11	ALUMINIUM / GLASS	ALUMINIUM	2,500
D 103	WEST	RUMPUS / GYM	2,480	2,400	5.95	5.95	ALUMINIUM / GLASS MULTIFOLD	ALUMINIUM	2,500
GROUND FLOOR									
D 201	WEST	BEDROOM 1	2,460	2,400	5.90	5.90	ALUMINIUM / GLASS MULTIFOLD	ALUMINIUM	2,500
D 202	SOUTH	PLANT RM	900	2,400	2.16	0	SOLID DOOR	ALUMINIUM	MIN 2,500
D 203	NORTH	STAIRWELL	825	2,400	1.98	1.98	ALUMINIUM / GLASS OBSCURE + TOPLIGHT	ALUMINIUM	870
FIRST FLOOR									
D 301	SOUTH	KITCHEN	900	2,400	1.97	1.97	ALUMINIUM / GLASS	ALUMINIUM	2,500
D 302	WEST	LGE / DINING	3,990	2,400	9.58	9.58	ALUMINIUM / GLASS MULTIFOLD	ALUMINIUM	2,500
D-303	EAST	LOUNGE	880	2,200	1.80	1.80	ALUMINIUM / GLASS	ALUMINIUM	400
D-304	SOUTH	GALLERY	5,605	2,200	12.33	12.33	ALUMINIUM / GLASS MULTIFOLD + FIXED TOPLIGHTS	ALUMINIUM	450
D-305	WEST	BEDROOM 5	900	2,200	1.80	1.80	ALUMINIUM / GLASS	ALUMINIUM	400
D 306	EAST	ENTRY	1,410	2,400	3.38	0	SOLID TIMBER DOOR	TIMBER	1,245
D 307	NORTH	ENTRY/ GARAGE	900	2,025	1.74	0	SOLID TIMBER DOOR	ALUMINIUM	ENCLOSED

AMENDED PLANS

RECEIVED

Waverley Council

Application No: DA-122/2021

Date Received: 01/09/2021

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE



WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404



S Rodwell

11 Silva Street
Tamarama NSW 2026

Opening Schedule

DEVELOPMENT APPLICATION

Sheet Scale : NTS
Date: 29 March 2021
Drawn by: SW

Project Ref No: 184.03.19
Sheet No: DA- 701 Sheets in set: 18
Current Sheet Revision No: A 1

AMENDED PLANS

RECEIVED
Waverley Council

Application No: DA-122/2021

Date Received: 01/09/2021



ASSESSOR DETAILS	
Name:	Robert Romanous
Direct Number:	(02) 8484 4042
Office:	1300 787 302
AAO:	ABSA
Assessor Number:	101535

ASSIGNMENT DETAILS	
Project Name:	113209 – 11 Silva St, Tamarama
Software:	BERSPro – v4.4.0.6
Date:	31/08/2021
BASIX Certificate Number:	11777625_02
Group Certificate Number:	0005766696-01

CLIENT DETAILS
Name: Steven Rodwell
Phone: 01443 651168

WCC COMPLIANCE

In addition to BASIX Commitments, building compliance is required to comply with the 'New South Wales Additions' in the NCC 2019- Volume 2. This includes New South Wales Part 3.12.1 to 3.12.5. Specific mention is made of the following provisions:

- Building thermal construction is in accordance with 3.12.1.1
- Loss of ceiling insulation is compensated for by increased roof insulation in accordance with 3.12.1.2(e)
- Where metal frames are used that thermal breaks are installed in accordance with 3.12.1.2(c) & 3.12.1.4(d)
- Any floor in-slab heating or cooling in accordance with 3.12.1.5(a)(iii) for suspended floor & 3.12.1.5(c) & 3.12.1.5(d) for a slab on ground
- Any roof lights, windows, doors and exhaust fans are sealed in accordance with 3.12.3.1 to 3.12.3.6.
- Any new air-conditioning system is installed in accordance with 3.12.5.0 to 3.12.5.3

NUMERICAL TECHNICAL NOTE

- Models rated with no downlights
- Light coloured roof for temperate or cool climates
- Kitchens / wet areas tiled
- All other internal areas carpet
- Sealed vents to wet areas / laundry / kitchen
- Single story dwellings within 10m modelled as obstruction
- Double story dwellings within 20m modelled as obstruction
- Structures located at South are not modelled as obstruction
- All dwellings contain at least one unconditioned zone, excluding garage

BASEX TECHNICAL NOTES

- Walls to common areas modelled as external with zero solar absorptance
- All ensuite are treated as conditioned
- Spaces without an openable window / door are included in the zone which they are accessed
- No mechanical heating or cooling appliances are modelled.
- Ceiling fans included in NatHERS model



WATER	
Fees - 41%	
Central Rainwater Tank	3,000L
Connected with	Landscape, laundry tap, and pool tap.
Landscape	115.54m ²
Water Taps	5 Star
Showerheads	4 Star (4.5-6L/min)
Toilet Flusher	4 Star
Clothes Washer	-
Dishwasher	-
Pool	Max 30.2kL
Pool Heating	Electric heat pump or better (Solar PV)

THERMAL COMPONENT		
FLOOR		
GLAZING		
Sliding window	Fixed / Louvre	Averaging / Mixed / Mixed
Double Glazed – Thermally Broken	Single Glazed – Low-E / Soft Low-E	Single Glazed – Low-E / Soft Low-E
U-value 3.56 SHGC 0.56 (± 5%)	U-value 4.51 SHGC 0.54 (± 5%)	U-value 4.90 SHGC 0.53 (± 5%)
WALLS		
External Walls	Additional R2.5 90mm insulation	
Internal walls (Garage / Sub floor to dwelling)	Additional R2.5 90mm insulation	
ROOF		
Ground floor	No additional insulation modelled	
Intermediate floors	No additional insulation modelled	
Suspended floor under Kitchen / pantry	Concrete - Additional R1.20 25mm rigid board insulation	
WALLS		
All exposed ceilings	Additional R4.0 insulation	
Metal roof	Additional R1.8 bulk reflective insulation	

ENERGY	
Pass – 56%	
BUILDINGS	
Hot Water	Electric heat pump
Heating /Cooling	HVAC – 1 phase EER 3.0-3.5
Lighting	Dedicated LED throughout
Ventilation	Bathroom fan ducted to façade or roof w/ manual switch Kitchen fan ducted to façade or roof w/ manual switch Laundry fan ducted to façade or roof w/ manual switch
Appliances	Electric oven w/ gas cooktop
Solar PV	Minimum 3.5pKW system
Pool Heating	Electric heat pump or better (Solar PV)

Ref: BASIX-113209

Page 1 of 2

Ref: BASIX- 113209

Page 2 of 2

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE



WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell

11 Silva Street
Tamarama NSW 2026

BAsix Commitments

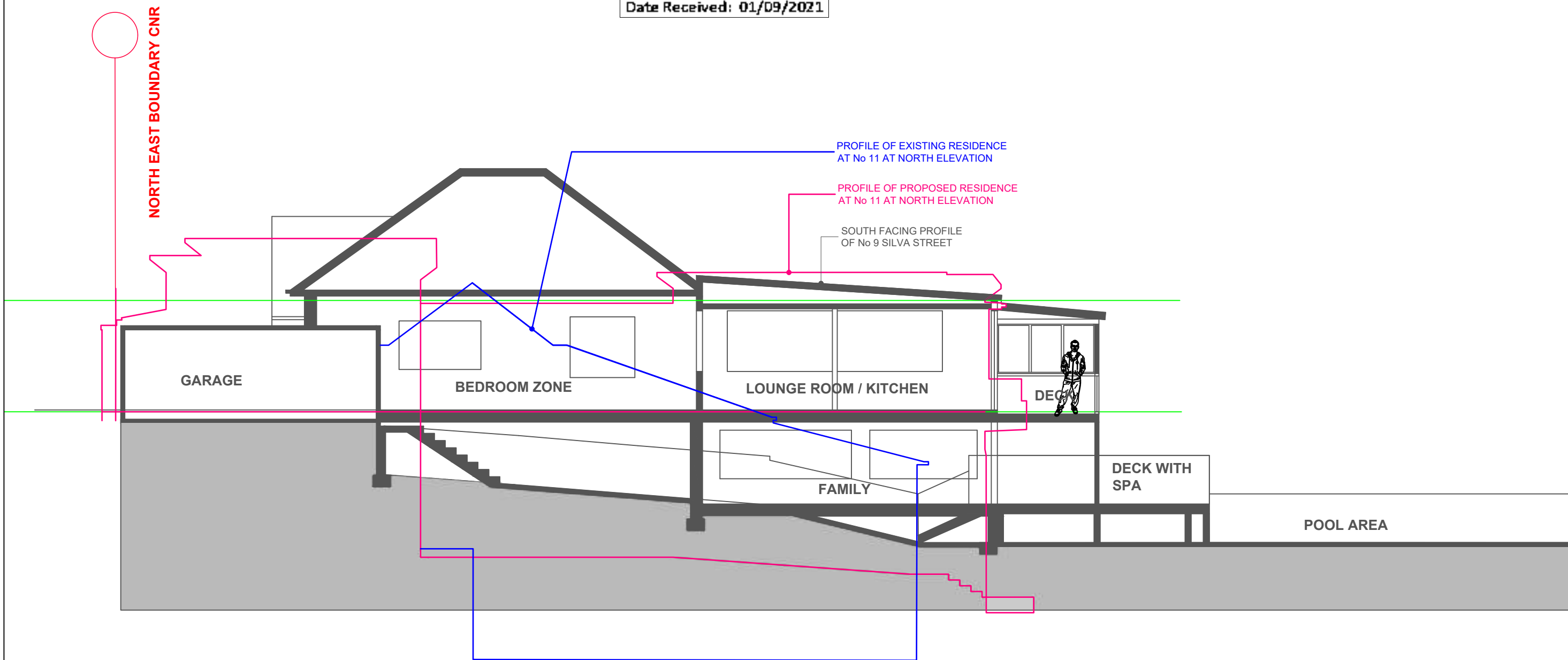
DEVELOPMENT APPLICATION

Sheet Scale : N/A
Date: 29 March 2021
Drawn by: SW

Project Ref No: 184.03.19
Sheet No: DA- 702 Sheets in set: 18
Current Sheet Revision No: A 1

AMENDED PLANS

RECEIVED
Waverley Council
Application No: DA-122/2021
Date Received: 01/09/2021



COMPARATIVE PROFILES OF No 9 WITH EXISTING No 11 AND PROPOSED DEVELOPMENT No 11

A1	Development Application - Amended	31.08.21
ISSUE/REV	DESCRIPTION STAGE	DATE



WILK + PARTNERS PTY LTD
Architecture & Design

T: (02) 93877525 M: 0408401750
E: wilkpartners@optusnet.com.au
Nominated Architect: Sol Wilk ARB Reg No. 4355
ABN 30072861404

S. Rodwell

11 Silva Street
Tamarama NSW 2026

Comparative Profiles
DEVELOPMENT APPLICATION

0 0.5 1 2 3 4 5 6

Sheet Scale : 1:100@A3
Date: 29 March 2021
Drawn by: SW

Project Ref No:184.03.19
Sheet No: DA - 703 Sheets in set: 18
Current Sheet Revision No: A 1



Report to the Waverley Local Planning Panel

Application number	DA-268/2020
Site address	79, 81, 85, 87, 91, 93, 95-97, 99, 101-103 Wellington Street BONDI BEACH
Proposal	Demolition of all structures and construction of two four-storey residential flat buildings containing 52 apartments including infill affordable housing units and two-level basement parking.
Date of lodgement	25/08/2020
Owner	Bond@I Pty Ltd and Careless Whisper Pty Ltd
Applicant	PBD Architects Pty Ltd
Submissions	Two notifications: <ul style="list-style-type: none"> • 67 known properties and 25 letters of support • Member for Vaucluse • Councillor John Wakefield
Cost of works	\$23 592 268
Principal Issues	<ul style="list-style-type: none"> • Separation distances • Height • Character and design • Overshadowing
Recommendation	That the application be APPROVED in accordance with the conditions contained in the report.

SITE MAP



PREAMBLE

Executive Summary

The development application seeks consent for the demolition of all structures on the site and construction of two four-storey residential flat buildings containing 52 apartments including infill affordable housing units and two-level basement parking at the sites known as 79, 81, 85, 87, 91, 93, 95-97, 99, 101-103 Wellington Street, Bondi Beach.

The principal issues arising from the assessment of the application are as follows:

- Separation distances
- Height
- Character and design
- Overshadowing

The assessment finds these issues acceptable as the proposal has been amended multiple times to improve the design, character and impacts of the development. The proposal largely complies with the provisions of the Apartment Design Guide (ADG), the Affordable Housing SEPP, Waverley LEP and DCP with those areas of minor non-compliances being assessed as having reasonable impacts upon surrounding properties and the streetscape.

The proposal and subsequent amended plans have been notified. The first notification drew 57 submissions against the proposal and 26 letters of support. The second notification drew 35 submissions against the proposal. In all, objections were received from 67 known properties and 25 letters of support from known properties. Submissions were also received from the Member for Vaucluse, the Honourable Gabrielle Upton and Councillor John Wakefield. The issues raised in the submissions have been considered and addressed in this report and in the Recommendation.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for approval subject to conditions of consent.

Site and Surrounding Locality

A site visit was carried out on 23 September 2020.

The sites are identified as:

- 79 Wellington Street (Lot 19 in DP 130484). This site is located on the corner of Wellington and O'Brien Streets and contains a single storey detached dwelling.
- 81 and 83 Wellington Street (Lots A and B in DP 405463), containing a pair of single storey, semi-detached dwellings each on their own allotment.
- 85 and 87 Wellington Street (Lots B and A in DP 442995), containing a pair of single storey, semi-detached dwellings each on their own allotment.

- 89 Wellington Street (Lots 12 and 13 in DP 130497), containing a single storey detached dwelling.
- 91 Wellington Street (Lots 1 and 2 in DP 129007), containing a single storey detached dwelling.
- 93 Wellington Street (Lot 1 in DP 957235), containing a single storey detached dwelling.
- 95-97 Wellington Street (Lot 2 in DP 984970), containing a two-storey residential flat building.
- 99 Wellington Street (Lot 1 in DP 984970), containing a two-storey residential flat building.
- 101-103 Wellington Street (Lots 10 and 11 in DP 130497), containing a single storey detached dwelling. Driveway access is provided between 99 and 101-103 Wellington Street to a single storey structure along the rear boundary of 95-97, 99 and 101-103 Wellington Street containing eight individual garages.

The site is irregular in shape, comprised of the previously listed 11 allotments, with a frontage to Wellington Street measuring 86.76m and O'Brien Street measuring approximately 25m. It has an area of 3493m² with various falls across the site of approximately 2.38m from south to north along the Wellington Street frontage and a fall from the street frontage toward the rear of the property in an easterly direction up to 2.5m.

The site is adjoined by 105 Wellington Street to the north where a mixed use development, containing a synagogue with four-storey resident flat buildings to the rear, is currently under construction. Adjoining to the east (rear) of the site, for a length of 59.94m, the majority of the shared boundary is a serviced apartment block at 59-61 O'Brien Street, the remainder of the eastern boundary is shared with a pair of semi-detached dwellings at 63-65 O'Brien Street.

Adjoining to the south (side) of the site at 65A O'Brien Street is a two-storey detached dwelling with swimming pool.

Figures 1 to 9 are photos of the site and its context.



Figure 1: 79 Wellington Street on the corner with O'Brien Street (65A O'Brien Street is in the background). Source: Google Streetview



Figure 2: 81 and 83 Wellington Street frontage



Figure 3: 85 and 87 Wellington Street frontage



Figure 4: 89 Wellington Street frontage



Figure 5: 91 Wellington Street frontage



Figure 6: 93 Wellington Street frontage with the residential flat building at 95-97 Wellington Street in the background



Figure 7: 99 Wellington Street frontage



Figure 8: 101-103 Wellington Street frontage



Figure 9: Garages within the rear yard of 95-97, 99 and 101-103 Wellington Street

Relevant Development History

A search of Council's records revealed that there have been various developments consents for alterations and additions to the properties that form part of the development site. Of particular relevance to the subject application is the following development history:

- PD-30/2019: Pre-DA advice for the demolition of existing structures at 89, 91, 93, 95-97, 99 and 101-103 Wellington Street was provided in November 2019. The Pre-DA advice related to FSR (bulk and scale), setbacks and separation distances, privacy, on-site waste collection, retention of trees, urban design, provision of a three-storey scale to Wellington Street, landscaping, subterranean apartments, and heritage.

Proposal

The development application seeks consent for the demolition of all structures on all sites and the construction of a new residential flat building development with two levels of basement parking beneath.

The proposal will provide 52 apartments over two x part three and four-storey residential flat buildings separated by a central driveway to the basement car park. The northern building is nominated as 'Building A' and the southern building as 'Building B'. The two buildings will be comprised of 20 x 1-bedroom, 23 x 2-bedroom and 9 x 3-bedroom apartments.

The central two levels in Building A have been nominated as affordable rental housing apartments, providing 14 apartments in total, with a mix of 7 x 1-bedroom and 7 x 2-bedroom apartments.

The proposal will provide two levels of basement car park with access and egress via a central driveway from Wellington Street. The basement car park will provide the following parking:

- 46 residential parking spaces of which 10 are accessible spaces,
- 10 visitor parking spaces of which 1 is accessible,
- 19 motorcycle spaces,

- 52 bicycle parking spaces,
- 52 storage cages,
- separate waste storage rooms for each building.

A bin holding room and bulky waste storage area is provided at the ground floor level along Wellington Street. This area will not be visible from the public domain being contained below the apartments above (ie, semi-basement). This semi-basement area will also contain plant and fire egress.

Communal open space will be provided predominantly within the rear setback of the site along the eastern boundary. Each apartment will be provided with private open space in the form of balconies or courtyards. The apartments fronting Wellington Street at upper ground level will be provided with courtyards with individual direct access to/from the street.

Separate pedestrian entries will be provided from Wellington Street to Buildings A and B and a secondary pedestrian entry from O'Brien Street (to the south) to Building B.

Background

The development application was lodged on 25/08/2020 for the demolition of all structures on the sites and construction of two four-storey residential flat buildings containing 71 apartments including infill affordable housing units and two-levels of basement parking. This scheme had an FSR of 1.4:1 (4890m²).

The application was deferred on 14/12/2020 for the reasons following (summarised):

- **Character of local area:** The bulk and scale of the development is out of character with the existing character of the area. The building form should be broken up into separate parts to lessen the bulk and respond to the character of the street.
- **Floor Space Ratio:** Any exceedance of the maximum FSR is unlikely to be supported. The GFA should be recalculated to include the applicable walkways and the bulk and scale of the proposal reduced to comply with the FSR development standard. Any additional FSR above the maximum allowed under WLEP (eg bonus under the Affordable Housing SEPP) will only be supported if all other required provisions under the SEPP are met with attention drawn to clause 16A of the SEPP.
- **Amenity Impacts:** Unreasonable additional overshadowing and privacy impacts. The proposal, as a minimum, should meet the separation distances required by the Apartment Design Guide (ADG) and the setback controls of Waverly DCP 2012.
- **Height:** As a minimum, the building bulk should comply with the height control. The plans indicate that the height has been taken from 'natural ground line' whereas it must be from 'existing ground levels' in accordance with the survey data.
- **Design Excellence Advisory Panel:**
 - Consideration of amenity impacts upon 65A O'Brien Street;
 - Investigate the potential of a communal open space on the roof as the provision of an adequately sized and appropriately located communal open space is critical to encouraging social

interaction; Ensure the aperture to sky for the central circulation space is adequate, allowing ventilation and some sunlight access;

- A higher sustainability standard should be provided;
- Further information is required regarding the three subterranean units.
- **Waste Collection:** The bin holding area along the western side of the site is not appropriately located. Council's preference is for on-site collection of waste bins. If this cannot be accommodated, the bin holding area should be more appropriately located, concealed near the vehicular entry to the site.
- **Vehicular Access, Parking:** Driveway gradients, provision of a loading space, parking numbers.
- **Stormwater matters**

Amended plans were received by Council on 08/06/2021 which reduced the scale of the development from an FSR of 1.4:1 to 1.19:1 and the number of apartments from 71 to 56 (18 affordable). After assessment, the application was again deferred to address the following main outstanding matters:

- **Floor Space Ratio (FSR):** The amended proposal has incorrectly calculated GFA/FSR and a large part of the space within the semi-basement area at the ground floor level must be included in the calculations. As previously discussed, the calculable floor space should be relocated to the basement.
- **Urban Design:** Even though the design takes cues from certain inter war styles of Bondi Beach, the chosen design with curved elements does not respond to the streetscape character of Wellington Street. The rounded or semi arched windows at the top level and in the facades between the portions of the building that come forward are considered out of character with the local area. To address this issue, the arched windows are required to be replaced with more orthogonal or square/rectangular windows. Additionally, consider if half levels for the carpark could allow parking half a level higher on the Wellington Street side, thereby reducing the amount of excavation (refer to comments previously regarding FSR).
- **SEPP 65 and Apartment Design Guide (ADG):** The proposal continues to provide substandard separation distances from 65 and 65A O'Brien Street resulting in increased overshadowing and amenity impacts. The building must be set back a *minimum* of 6m from 65A and 65 O'Brien Street on all boundaries. No part of the building may encroach within the 6m separation zone in order to ensure that amenity impacts upon the adjoining dwellings are not unreasonable.
- **Waste Collection:** Waste collection must be provided on-site. In this regard, a space on the driveway which allows Council's Waste Collection vehicles to reverse onto the site should be provided. To accommodate this, the gradient of the first 12 metres of the driveway (10 metre truck plus 2 metres for loading) from the property boundary would need to be a minimum of 4%. A Traffic Signal system for cars entering and leaving the site when waste is being collected should be addressed within the Traffic Report.

Further amended plans and updated documentation were received on 24/11/2021 with the principal changes being summarised as follows:

- A further reduction of 4 apartments to 52 (14 of which are affordable) due to increased separation distances from 65 and 65A O'Brien Street dwellings to ensure strict compliance with the 6m separation distances required by the Apartment Design Guide (ADG).
- A further reduction in gross floor area (GFA) by 186m² to 3962m² (a reduction overall from the original plans of 928m²) to an FSR of 1.13:1. The amended development now utilises 818m² of the available 1746.5m² bonus allowable under the SEPP, that is, 928m² below the maximum development standard bonus.
- A further reduction in the number of parking spaces to 56 spaces.
- Relocation of the services at the ground level to the basement to ensure strict compliance with the GFA and FSR definitions.

ASSESSMENT

The following matters are to be considered in the assessment of this development application under section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act).

Planning Instruments and Development Control Plans

The following is an assessment against relevant legislation, environmental planning instruments, including State environmental planning policies (SEPPs), and development control plans.

State Environmental Planning Policies (SEPPs)

The following SEPPs apply and have been considered acceptable in the assessment of this development application:

- SEPP (Building Sustainability Index – BASIX) 2004.
- SEPP 55 Remediation of Land.
- SEPP 65 (Design Quality of Residential Apartment Development).
- SEPP (Affordable Rental Housing) 2009.
- SEPP (Vegetation in Non-Rural Areas) 2017.
- SEPP (Housing) 2021.

Further detailed discussion regarding SEPP 65 (Design Quality of Residential Apartment Development) and SEPP (Affordable Rental Housing) 2009 is provided following:

SEPP (Design Quality of Residential Apartment Design)

The application was referred to the Waverley Design Advisory Excellence Panel (DEAP) on 16 September 2020. The amended plans were not referred to the DEAP. The DEAP's comment of the proposed development against the nine design quality principles under Schedule 1 of SEPP 65 and a planning response to each comment, particularly regarding the amended plans, are set out in **Table 1** of this report.

Table 1: Assessment against the Nine Design Quality Principles under SEPP 65

Principle
<p>Principle 1: Context and Neighbourhood</p> <ul style="list-style-type: none"> • <i>Street and interfaces conditions to Wellington are generally supported. The amalgamation of the individual properties to form a single consolidated site presents a range of opportunities to manage built form, amenity and open spaces – many of which are captured in the current scheme.</i> • <i>Careful consideration of the impact on 65A O’Brien St should be factored into the design, given the current design seeks a significant increase in yield through the AHSEPP. This should not come at the cost of neighbouring amenity.</i> <p>Planning comment: The amended scheme substantially reduced the bulk and scale of the development and introduces 6m separation distances from 65 and 65A O’Brien Street. The FSR has been reduced to 1.13:1. The proposal achieves compliance with the separation distances of the Apartment Design Guide (ADG) in this corner of the site to reduce amenity impacts upon the two adjoining dwellings at this part of the site.</p>
<p>Principle 2: Built Form and Scale</p> <ul style="list-style-type: none"> • <i>Two building elements around the central basement access is supported, as it allows modulation and transition of the form along the falling topography.</i> • <i>The sculptured form is supported, subject to some amendments along the southern elevation to better mediate with 65A O’Brien St.</i> • <i>Investigate with Council the potential of a communal open space on the roof. The panel believes this could be supported given the site’s corner location, long street frontage and limited neighbours.</i> • <i>Ensure the aperture to sky for the central circulation space is adequate, allowing ventilation and some sunlight access – this is critical given the reliance on this breezeway for a range of amenity outcomes.</i> <p>Planning comment: The amended scheme has visibly divided the proposal into four buildings fronting Wellington Street with separate, clear and legible entries to Buildings A and B. This provides greater articulation to the street façade and reduces the bulk of the proposal as it presents to Wellington Street.</p> <p>The communal open space on the roof was not sought by the Applicant, as this would result in further variation to the height development standard.</p> <p>The open nature of the circulation core has been enhanced by providing enlarged openings to the new recessed entries. Although the apartments do not rely upon the circulation core to meet the requirements of the ADG for solar access and ventilation, this will nonetheless increase the amenity of the apartment entries.</p>
<p>Principle 3: Density</p> <p><i>Panel generally supportive of this proposal, given the accommodation of the AHSEPP bonus and the impacts associated with the additional floor space generally being managed across the site – subject to 65A O’Brien Street’s impacts, see other comments.</i></p> <p>Planning comment: The final amended proposal ensures no unreasonable amenity impacts upon the adjoining dwelling (discussed in detail throughout this report) by increasing the minimum</p>

Principle

separation distance from this dwelling (and No. 65 O'Brien) to 6m. This is considered acceptable taking into consideration the zoning of the site and the applicable development standards.

Principle 4: Sustainability

Given the scale of the site, retention of a significant proportion of units for Affordable Housing, and the bonus uplift being sought through the AHSEPP, the panel expects a higher sustainability standard being provided, including;

- *Provision of ceiling fans in bedrooms to reduce the reliance on A/C*
- *Shading devices to north-facing windows to reduce heat load*
- *Provision of PV cells on the extensive roof area*
- *Site-wide rainwater capture, cleansing and reuse (grey water)*
- *Car share provision in basement to reduce the number of parking spaces*
- *Dedicated bike storage at ground (not basement) to encourage use*

Planning comment: The amended proposal includes space for PV cells on the roof and conditions will ensure ceiling fans to habitable rooms and bicycle parking adjacent to entries are shown on the Construction Certificate documentation.

The BASIX Certificate includes the requirement for rainwater or stormwater tank for irrigation of the common landscaped area.

Principle 5: Landscape

- *Assigning the ground floor spaces to the adjacent apartments (southern corner adjacent to 65A O'Brien Street) at the rear to improve the amenity of these units, while ensuring a sense of ownership to this marginal space, and reduce potential amenity impacts if they remained communal. This approach should be supplemented with additional communal open space on the roof – see above.*
- *The panel support the retention of the large paper bark tree as a focus for the main communal space.*

Planning comment: The area adjacent to 65 and 65A O'Brien Street continues to be communal open space however perimeter planting will provide a buffer to the adjoining dwellings. Communal open space on the roof was not sought by the Applicant due to height restrictions.

Principle 6: Amenity

- *Amenity of 65A O'Brien St, sense of enclosure, overshadowing and privacy interfaces*
- *Privacy screen for Bed 2 of BUG09 to curve to the north to reduce visual impact from No. 65A O'Brien St*
- *Support the direct access from Wellington Street to the ground floor units*
- *Support the three subterranean units, subject to the street frontage treatment, landscaping, species selection and analysis of view lines into the units from street – request further information*

Planning comment: As previously discussed, the amended plans provide greater setbacks to the adjoining residential dwellings ensuring amenity impacts are not unreasonable.

The amended proposal removes the three subterranean units.

Principle
Principle 7: Safety <ul style="list-style-type: none"> Access to the site via O'Brien Street should be clearly signposted, with appropriate lighting, and any blind-spot designed out of the scheme – this relates to the folded concrete sleeves that modulate this part of the building. <p>Planning comment: Discussion regarding the O'Brien Street entry is provided in Table 2 of this report and signposting will be required by condition. The folded concrete sleeves have been removed from the proposal which ensure that there are no blind spots at this entry, improving security.</p>
Principle 8: Housing Diversity and Social Interaction <ul style="list-style-type: none"> The provision of an adequately sized and appropriately located communal open space is critical to encouraging social interaction. The location of this space will be determined by the approach to the roofscape and ground plane. <p>Planning comment: The proposal includes large areas of communal open space within the rear of the site along the eastern boundary. Although this area does not receive abundant solar access throughout the day, due to the orientation of Wellington Street this is the most private and logical area for communal open space. The provision of communal space on the roof of the development was explored however this would involve further exceedance of the height development standard to provide a lift, stairs and balustrading and as such, this option was not pursued by the Applicant. The amended proposal has added seating within the communal entries from Wellington Street for social interaction in an area with ample solar access.</p>
Principle 9: Aesthetics <ul style="list-style-type: none"> The material palette of natural stone, raw and ribbed concrete and metal screens is generally supported. The concrete finishes with integral colour is to be maintained and not replaced with painted finishes. <p>Planning comment: The amended proposal retains the finishes as originally proposed.</p>

Apartment Design Guide

An assessment against the provisions within the ADG is provided in Table 2 of this report.

Table 2: Apartment Design Guide

Design Criteria	Compliance	Comment
Part 3 Siting the development		
3A Site analysis	Yes	The application and proposed building have considered the site, local and wider context.
3B Orientation	Yes	The proposed building has been orientated and designed to relate to the shape of the site, location of neighbouring buildings and public domain.

Design Criteria	Compliance	Comment
		Refer to detailed discussion in subsequent sections of this report regarding overshadowing impacts upon surrounding properties.
3C Public domain interface	Yes	The proposed building provides a successful interface with the public domain and will improve the character and quality of the streetscape. Extensive planting and landscape treatment along the street frontages will contribute to the streetscape and the pedestrian environment.
3D Communal and public open space ADG control: Minimum of 25% of site Minimum of 50% direct sunlight to the principal usable part on winter solstice for a min of 2 hours	Yes No (acceptable on merit)	<p>Communal open space is provided throughout the site however predominantly within the rear setback of the site, equating to 1080m² or 31% of the site.</p> <p>The principal area of private open space is located on the east and south-eastern side of the building and as such, the majority of this area will be largely overshadowed throughout the day. The DEAP suggested that a communal open space area could be provided on the roof to overcome this issue, however this would result in further variation to the height development standard and potential amenity impacts and as such, this was not included in the amended proposal. Instead, further areas of communal space were provided on the Wellington Street frontage by way of recessed entries with the amended proposal incorporating bench seating at each entry to further enhance amenity and socialisation.</p> <p>All communal open spaces areas are accessible.</p>
3E Deep soil zones ADG control: 7% of the site, deep soil zones should be provided	Yes	<p>The proposal provides 551m² as deep soil equating to 16% of the site.</p> <p>The deep soil zone is located to retain significant trees on site. Additionally, deep soil areas are located at the front and the rear to allow adequate landscaping for streetscape presentation and to provide a buffer to adjoining properties.</p>
3F Visual privacy	No	Refer to discussion following this table.

Design Criteria	Compliance	Comment
Min separation distances from buildings (windows and balconies) to side and rear boundaries: <ul style="list-style-type: none"> Up to 12m (4 storey) <ul style="list-style-type: none"> – 6m habitable & 3m non-habitable 		
3G Pedestrian access and entries	Yes	<p>All pedestrian access points and entries are connected to, and address, the public domain, are easily identifiable and provide a strong connection with the streetscape.</p> <p>The main pedestrian entries to Buildings A and B are from Wellington Street with a secondary entry from O'Brien Street. A security gate is provided on the O'Brien Street frontage to ensure that this is not utilised as a main entry to the building for visitors. A condition is recommended that signposting of the secondary entry directs visitors to the main entries from Wellington Street. As such, it is considered that the entry from O'Brien Street will not unreasonably impact upon surrounding properties.</p> <p>The properties fronting Wellington Street have direct access from Wellington Street activating the street edge.</p>
3H Vehicle access	Yes	<p>The vehicular access point is centrally located on the site to achieve safety and minimise conflicts between pedestrians and vehicles. The vehicular access splits the building into two separate buildings presenting with less bulk and scale within the streetscape.</p>
3J Bicycle and car parking	Yes	<p>The numerical controls of the DCP apply in terms of parking and bicycle rates – refer to Table 4 for further details.</p> <p>The carpark is located below ground ensuring no impact on the bulk, scale and visual presentation of the building.</p> <p>Other modes of transport are catered for including bicycle parking.</p>
Part 4 – Designing the building		

Design Criteria	Compliance	Comment
4A Solar and daylight access <ul style="list-style-type: none"> Living rooms and private open spaces of at least 70% of units receive minimum of 2 hours direct sunlight between 9am-3pm mid-winter A maximum of 15% receive no direct sunlight between 9am-3pm mid-winter. 	<p>Yes</p> <p>Yes</p>	<ul style="list-style-type: none"> 37 apartments (71%) receive at least 2 hours mid-winter. 8 apartments (15%) receive no direct sunlight <p>The proposal is consistent with the remaining objectives of this part of the ADG ensuring that daylight access is satisfactory and incorporating shading in the warmer months.</p>
4B Natural ventilation <ul style="list-style-type: none"> All habitable rooms are naturally ventilated Number of units with natural cross ventilation is maximised: <ul style="list-style-type: none"> At least 60% of units naturally ventilated in the first 9 storeys of the development. 	Yes	<ul style="list-style-type: none"> All habitable rooms within the development are provided with at least one window for natural ventilation. 61.5% of apartments (32 of the 52 apartments) are naturally cross-ventilated. The majority of the units have dual aspects in order to achieve cross ventilation. <p>None of the apartments rely on the internal corridors for natural ventilation.</p>
4C Ceiling heights <ul style="list-style-type: none"> Habitable rooms – 2.7m Non-habitable rooms – 2.4m 	Yes	<p>The ceiling heights can comply with the minimum requirement, providing 3.05m floor to floor heights for the residential levels. A detailed typical section was provided demonstrating compliance with this control.</p>
4D Apartment size and layout <p>The following minimum internal areas apply:</p> <ul style="list-style-type: none"> <i>Studio = 35 m²</i> <i>1 Bed = 50 m²</i> <i>2 Bed = 70 m²</i> <i>3 Bed = 90 m²</i> <i>Add 5m² for each additional bathroom (above 1)</i> <p>Every habitable room must have a window in an external wall with a total minimum glass area of</p>	Yes	<p>All units have internal areas in excess of the minimum ADG requirements. In this regard, the proposed unit sizes and layout are acceptable.</p> <p>The glazed area to each habitable room is of an acceptable size in relation to the dimensions of the room. Notwithstanding, prescribed conditions require compliance with the National Construction Code (NCC).</p> <p>The bedrooms have a satisfactory size to meet the intent of the design criteria. The kitchens are separate to the circulation spaces.</p> <p>All of the living areas in each apartment are open plan and generally comply with the depth criteria.</p>

Design Criteria	Compliance	Comment
not less than 10% of the floor area of the room. Maximum depth of open plan living layouts is 8m.		The proposal is consistent with the objectives of this part of the ADG.
4E Private open space and balconies All apartments provide primary balcony as follows: <ul style="list-style-type: none"> • Studio – 4m², no min depth • 1-bed – 8m² & 2m depth • 2-bed - 10m² & 2m depth • 3+bed - 12m² & 2.4m depth • Ground level, min 15m² & 3m depth 	Yes	<p>All apartments are provided with a balcony or courtyard accessed from the main living areas which generally meet the minimum requirements of the ADG in terms of area and depth. There are some 3-bedroom units which do not achieve the 2.4m depth however in all instances the area provided is significantly more than the required area. On balance, this is considered acceptable.</p> <p>The design of the balconies and courtyards is integrated into the architectural form, providing articulation to the building, as well as providing casual surveillance to Wellington Street and O'Brien Street. The finishes of the balconies are consistent with the palette of materials in the building overall. Screens or solid side walls are provided to enhance privacy where appropriate.</p>
4F Common circulation and spaces <ul style="list-style-type: none"> • Max of 8 units accessed off a circulation core on a single level 	No	<p>The development is divided into two separate buildings, each accessed via a central core with smaller circulation spaces running parallel to the main walkway.</p> <ul style="list-style-type: none"> • Maximum of 9 apartments accessed off the central core within Building A on Levels 1 and 2 (with 5 and 7 apartments accessed off the core on other levels). • Maximum of 7 apartments accessed off the central core within Building B. <p>The ADG acknowledges that achieving this design criteria may not be possible on all sites and where this is the case, the number is capped at 12 apartments which may be considered if a high level of amenity for common lobbies, corridors and apartments can be demonstrated. The amended proposal provides corridors with ample sunlight and natural cross ventilation by being open at either end and to the central entries on Wellington Street. The length of the corridors will be articulated with small, indented entries and increased width at the main central entries. The number of apartments accessed</p>

Design Criteria	Compliance	Comment
		from the central core to each building is considered acceptable in this instance.
4G Storage In addition to kitchens, bathrooms and bedrooms, the following is provided: <ul style="list-style-type: none"> • 1-bed – 6m³ • 2-bed – 8m³ • 3+bed – 10m³ 	Yes	The proposal provides separate storage within each apartment and 52 storage cages (for each apartment) at the ground level within the services area. The storage provided generally meets the requirements and objectives of the ADG.
4H Acoustic privacy	Yes	<p>The amended proposal is accompanied by a thorough site analysis that has considered the constraints of the site and relationship to surrounding buildings and local context. This analysis has considered individual apartment exposure to acoustic privacy impacts and each habitable room has been designed to protect the acoustic privacy of future occupants and surrounding buildings.</p> <p>Noisy areas within the proposed development including building entries and corridors are generally located adjacent to each other.</p> <p>The amended proposal has incorporated appropriate separation distances from adjoining properties and boundaries into the design to ensure that acoustic and visual privacy impacts are not unreasonable.</p> <p>The amended proposal has adequately considered and addressed the design guidance requirements in 4H of the ADG.</p>
4K Apartment mix	Yes	<p>The proposal is comprised of:</p> <ul style="list-style-type: none"> • 20 x 1-bedroom apartments (including 10 affordable) – 41% • 23 x 2-bedroom apartments (including 8 affordable) – 43% • 9 x 3-bedroom apartments – 16%. <p>The proposed apartments will support a wide variety of household types and sizes. The apartment mix is considered appropriate taking into consideration the proximity of the site to public transport options and the medium density urban environment.</p>

Design Criteria	Compliance	Comment
4L Ground floor apartments	Yes	<p>Direct access from the street is provided for the ground floor apartments on Wellington Street.</p> <p>The ground level apartments on both streets address and activate the street frontages with courtyards and landscaping.</p>
4M Facades	Yes	<p>The proposed building provides an interesting architectural design with each façade contributing to the visual interest of the building and character of the local area.</p> <p>The entry to each building is clearly defined by the recessed forecourts, further emphasised by the façade design and the articulation provided by the blades. The residential apartments are clearly identifiable. All elevations are rationally designed and respond to their use.</p>
4N Roof design	Yes	<p>The roof incorporates screened services areas and has a cohesive relationship with the overall building design. Skylights for improved solar access to the top floor rear apartments is included.</p>
4O Landscape design	Yes	<p>The proposed landscaping of the site is diverse with landscaping incorporated at most levels of the building. The SEE states that <i>'the landscape plan accompanying the application provides for 11,389 new plants (including 53 different varieties) that will enhance the amenity and visual setting of the site, streetscape, and surrounding neighbourhood as required by the controls. A total of 137 of these have mature growth heights of 5 metres or more.'</i></p> <p>All 6 trees in the public domain on Council's verge in front of the site are being retained with conditions requiring additional street trees to address any gaps within the streetscape.</p> <p>The proposed landscaping responds to the conditions of the site and is appropriate in this medium density area.</p>
4P Planting on structures	Yes	<p>Planting is predominantly in deep soil. Where provided to terraces over the basement, planting</p>

Design Criteria	Compliance	Comment
		<p>will be within raised planter beds for adequate soil volume and depth.</p> <p>The proposal provides a significant contribution to the public domain with additional greenery proposed along Wellington Street and the O'Brien Street frontage.</p> <p>A portion of each balcony and courtyard is dedicated to landscaping allowing opportunities for private planting and greenery to every apartment.</p> <p>The landscape plan is detailed and provides for a mixture of plant species, including low maintenance varieties.</p>
4Q Universal Design	Yes	<p>The proposal provides 13 'liveable' apartments equating to 25% of the development.</p> <p>A condition is also recommended to ensure that the 'liveable' apartments achieve a benchmark of silver level universal design features.</p> <p>Adaptable and accessible apartments are discussed in Table 6 of this report in accordance with the DCP provisions.</p>
4U Energy	Yes	<p>Adequate solar access and natural light are provided to all apartments with extensive glazing proposed.</p> <p>The apartments within the building incorporate passive environmental design, meeting the cross-ventilation requirements in the ADG. Natural ventilation will be provided to all habitable rooms and typically, to all common areas and circulation spaces. Opportunities for natural ventilation are incorporated into the design through dual aspect apartments, corner apartments, and openable windows.</p> <p>The proposal includes an area on the roof for photovoltaic cells further enhancing environmental sustainability.</p>
4V Water management and conservation	Yes	<p>A BASIX Certificate has been provided with the application which indicates that the proposal will meet the required water target.</p>

Design Criteria	Compliance	Comment
		Flood management systems are integrated into the site design. An on-site detention (OSD) tank is provided and appropriately located.
4W Waste management	Yes	<p>The application proposes waste collection from within the site from the driveway via Wellington Street. The main waste storage rooms for each building are located within the basement. A waste holding room is proposed with access to the waste collection area from the driveway for ease of collection.</p> <p>Communal waste chutes will be provided for residents in convenient and accessible locations related to each vertical core.</p>
4X Building maintenance	Yes	<p>The guideline suggests that building design should provide protection from weathering, systems and access for maintenance and materials which reduce ongoing maintenance costs. There is no evidence to suggest that the proposed building could not achieve this through the detailed construction certificate documentation process.</p> <p>The SEE states that painted surfaces have been minimised in the design with natural and durable materials maximised for long-term durability.</p>

The following is a detailed discussion of the issues identified in the compliance table above in relation to the SEPP 65 ADG.

Visual privacy

The ADG requires separation distances from buildings to the side and rear boundaries of 6m for habitable rooms and 3m for non-habitable rooms. These separation distances apply where there are windows or balconies oriented toward the rear and side boundaries of the site. **Figure 10** below shows the relationship of the site with surrounding properties:



Figure 10: Aerial image (source: Nearmap) demonstrating the relationship of surrounding properties to the development site

The separation distances of Building A and B are discussed separately.

Building A:

Building A is located adjoining the Synagogue building to the north-east of the site. Building A provides setbacks of 3.28m to the front portion of the building, being to bathrooms and bedrooms, and 4.69m to balconies for the rear portion. The Synagogue is not a residential building and Building A will be located opposite the Synagogue only with the residential flat buildings on that site being set back beyond the rear boundary of the subject site (refer to Figure 10). The Synagogue is set back 11m from the side boundary with the subject site providing sufficient separation to the proposed development.

Building A is also set back 5.66 – 7.52m from the rear boundary with 59-61 O'Brien Street (serviced apartments). As indicated in **Figures 11 and 12** below, 59-61 O'Brien Street has minimal setbacks from the boundary with the subject site, and as such, only small highlight windows are provided along this façade. The serviced apartments are orientated toward the east with outlook to the parking and pool area internal to that site. The setbacks of the subject development to balconies exceeds the ADG requirement at 7.52m however the section of the building that provides only 5.66m contains only windows to bedrooms which are provided with privacy screening. This is considered acceptable in terms of visual and acoustic privacy.



Figure 11: Opposing elevation of 59-61 O'Brien Street on eastern boundary



Figure 12: Opposing elevation of 59-61 O'Brien Street on eastern boundary

Building A and B of the subject development provide a minimum of 6.1m separation between the two buildings satisfying the criteria of the ADG.

Building B:

Building B has been amended twice at the request of Council officers to provide a **minimum** separation distance of 6m from all boundaries to satisfy the design criteria of the ADG. The final amended plans satisfies this request resulting in 6m from both dwellings at 65A and 65 O'Brien Street.

The increased separation distances from both adjoining dwellings at 65A and 65 O'Brien Street results in improved solar access and visual and acoustic privacy than otherwise would have been the result with the two previous proposed schemes.

Given the above analysis it is considered that the proposal provides adequate separation distances given the surrounding context and will not result in unreasonable visual or acoustic privacy impacts upon surrounding properties.

SEPP (Affordable Rental Housing) 2009

Part 2 Division 1 – In-fill affordable housing

Part 2 division 1 of SEPP (Affordable Rental Housing) 2009 (the ARHSEPP) relates to development for the purposes of in-fill affordable housing.

The subject site is zoned R3 *Medium Density Residential* and residential flat buildings are permissible with development consent. The site does not contain a heritage item or draft heritage item.

The site is located within an 'accessible area' being within 400m walking distance of a bus stop used by a regular bus service (within the meaning of the [Passenger Transport Act 1990](#)) that has at least one bus

per hour servicing the bus stop between 06.00 and 21.00 each day from Monday to Friday (both days inclusive) and between 08.00 and 18.00 on each Saturday and Sunday. As detailed within the Traffic and Transport Report submitted with the application there are 13 bus stops within 400m of the site which meet the definition of a regular bus service.

Accordingly, this Division, and the following clauses, apply to the development application.

Table 3: Clause 13 Floor space ratios

Development Standard	Compliance	Planning Comment
13 - Floor space ratios:		Site = 3493m ²
(1) 20% of GFA to be used for affordable housing;	Yes	Total GFA = 3962m ²
(2) (a) if the existing maximum floor space ratio is 2.5:1 or less:	Yes	A minimum of 20% of the floor space must be affordable. There are 14 apartments on the upper ground (UG) and level 1 in Building A that are nominated as affordable housing. The proposal will provide 23% (939m ²) of floor space as affordable housing and as such qualifies for the bonus.
(i) 0.5:1—if the percentage of the gross floor area of the development that is used for affordable housing is 50 per cent or higher, or		
(ii) Y:1—if the percentage of the gross floor area of the development that is used for affordable housing is less than 50 per cent, where:		The proposal provides 23% of the floor space as affordable housing and therefore the bonus allowable equates to 0.23:1. Given the applicable FSR under the LEP is 0.9:1, the maximum FSR with bonus under the SEPP is 1.13:1. The proposed development has an FSR of 1.13:1 complying with the development standard.
AH is the percentage of the gross floor area of the development that is used for affordable housing.		
Y = AH ÷ 100		

Clause 14 - Standards that cannot be used to refuse consent

Clause 14 of the SEPP outlines that if the proposal complies with set standards, the application cannot be refused on the grounds of those standards. If the proposal does not comply with the standards of Clause 14, the consent authority reserves the right to refuse the application on those grounds, if warranted. An assessment of the proposal has been carried out according to these standards as outlined in the table below.

Table 4: Clause 14 – Standards that cannot be used to refuse consent

Development Standard	Compliance	Planning Comment
Site area: At least 450m ²	Yes	The site is 3493m ²

Development Standard	Compliance	Planning Comment
Landscaped area: <ul style="list-style-type: none"> • 30% of the site 	Yes	The proposal provides 34% of the site (1207.5m ²) as landscaped area.
Deep soil zone: <ul style="list-style-type: none"> • 15% of site; • Min dimension of 3m; • If practicable, at lease 2/3 at rear. 	Yes	The proposal provides 16% (551m ²) of the site as deep soil, the majority of which is contained at the rear of the site with a minimum dimension exceeding 3m.
Solar access: <ul style="list-style-type: none"> • Living rooms and POS of 70% of units receive a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter 	No	The development provides 57% (8 of 14) of affordable housing apartments with a minimum of 3 hours direct sunlight between 9am and 3pm mid-winter. This is only a minor variation to the requirement and given that the development overall meets the requirements of the ADG in terms of solar access, the variation is accepted.
Parking: <ul style="list-style-type: none"> • At least 0.5 parking spaces for each dwelling containing 1 bedroom and at least 1 parking space for each dwelling containing 2 bedrooms and at least 1.5 parking spaces for each dwelling containing 3 or more bedrooms. 	Yes	The proposal provides 14 affordable housing apartments comprised of 7 x 1-bedroom and 7 x 2-bedroom apartments. The minimum parking under the ARHSEPP is: <ul style="list-style-type: none"> • 1-bed: 7 x 0.5 = 3.5 • 2-bed: 7 x 1 = 7 A total of 11 spaces is required for the affordable housing units. A condition to this effect is provided in Appendix A.
Dwelling size: 50sqm – 1-bed 70sqm – 2-bed	Yes	The affordable housing units comply with these requirements.
16 – Continued application of SEPP 65	Yes	SEPP 65 applies and is discussed in detail in Tables 1 and 2 of this report.
16A – Character of local area	Yes	Refer to Table 1 of this report for discussion in relation to the comments of the Design Excellence Panel. Refer to detailed discussion following this table.
17 – Must be used for affordable housing for 10 years (1) A consent authority must not consent to development to which this Division applies unless	Yes	A condition to this effect is included in Appendix A.

Development Standard	Compliance	Planning Comment
<p>conditions are imposed by the consent authority to the effect that—</p> <p>(a) for 10 years from the date of the issue of the occupation certificate—</p> <p>(i) the dwellings proposed to be used for the purposes of affordable housing will be used for the purposes of affordable housing, and</p> <p>(ii) all accommodation that is used for affordable housing will be managed by a registered community housing provider, and</p> <p>(b) a restriction will be registered, before the date of the issue of the occupation certificate, against the title of the property on which development is to be carried out, in accordance with section 88E of the Conveyancing Act 1919, that will ensure that the requirements of paragraph (a) are met.</p>		
18 – Subdivision	N/A	No subdivision is proposed

Clause 16A Character of local area

Clause 16A of the ARH SEPP states the following:

A consent authority must not consent to development to which this Division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.

The planning principle of ‘compatibility of proposal with surrounding development’ arising from the NSW Land and Environment Court case of *Project Venture Developments v Pittwater Council [2005] NSWLEC 191* provides a framework in considering the design compatibility of the proposal with the character of the surrounding local area. Two key questions asked in that planning principle to test the compatibility of a development within its context are as follow:

1. *Are the proposal’s physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.*

2. *Is the proposal's appearance in harmony with the buildings around it and the character of the street?*

The original application was referred to the Waverley Design Excellence Advisory Panel (the DEAP) on 16 September 2020 for comment on the design excellence of the development. The physical impacts of the proposal upon surrounding properties are discussed in detail elsewhere in this report and are assessed as being reasonable. The proposal has been amended twice since it was first submitted to address issues in relation to visual and acoustic privacy, setbacks, overshadowing and compatibility of bulk and scale.

The subject proposal includes the amalgamation of 11 sites with the subdivision pattern demonstrated below in **Figure 13**.



Figure 13: Aerial photo (source: Nearmap) noting that the blue coloured area is the subject site and the pink coloured area are the adjoining sites capable of being redeveloped

The shaded pink area includes 65A, 65, 63 and 59-61 O'Brien Street. Properties 65A, 65 and 63 O'Brien all contain dwellings whilst 59-61 O'Brien Street contains a part one and two storey building containing serviced apartments (formerly a motel). These sites all have the same zoning, height and FSR development standards applicable as the subject site. There is no reason that these sites could not be amalgamated in the future into a single development site for a residential flat development, in a similar manner to the subject development. In this way, the proposal does not result in site isolation or constrain the redevelopment of the surrounding properties into larger scale development.

No. 65A contains a detached dwelling and 65 and 63 contain a pair of semi-detached dwellings. A dwelling house is a permissible land use in the R3 zone. The current sites contain dwellings and there is adequate scope for these properties to be developed to their full potential as a dwelling. It is noted that one of the objectives of the R3 zone is to provide a variety of housing types within a medium density residential environment and residential flat buildings and dwellings are both permissible land uses within the zone. In this respect, not all sites within the R3 zone need to be developed into residential flat buildings to be consistent with the objectives of the zoning. Notwithstanding, there is the potential for a larger development site if those sites indicated previously were amalgamated. In either situation, whether these sites are amalgamated or retained as dwelling houses, the proposal does not result in site isolation or unreasonably constrain the development potential of surrounding sites.

The amended proposal provides three storeys to Wellington Street with the third level set back from the level below. The recessed upper level lessens the bulk of the structure at the street presenting as two-storey with a recessed third level. The length of each building has been further articulated in the amended scheme by providing deep recessed entries to each building. This further lessens the bulk of the building along the Wellington Street frontage of the site providing enhanced articulation and visual interest to the front façade.

The proposal also appropriately addresses the corner with O'Brien Street providing an interesting and articulated three-storey façade that addresses the corner and the adjoining residential dwelling to the south-east. The four-storey form is concealed to the rear of the site where the site slopes to the south-east.

Council's Urban Designer requested changes to the arched windows to be more orthogonal or square/rectangular windows to better reflect the character of the surrounding area. This has been incorporated into the amended plans.

The proposal is within an area undergoing change and is situated on the border with a lower density area. The sites opposite on Wellington Street are restricted to a height and FSR of 9.5m and 0.6:1 respectively. The proposal appropriately addresses this transition by providing only three-storeys along the street frontages containing the four-storey form to the rear where adjoining sites have the same development standards applicable. This is considered an appropriate response to the lower density and height requirements within Wellington Street.

The proposal appropriately responds to the existing and emerging character of the local area. The amended proposal is consistent with the height, bulk and scale of surrounding recent development with part three and four-storey built form being the emerging character of the area given the zoning of the site for medium density development. The proposal is considered to appropriately address clause 16A of the ARHSEPP.

Part 3 – Retention of Affordable Housing

The proposal includes the demolition of two residential flat buildings that have not been strata subdivided and as such Part 3 of the ARHSEPP applies. Council's Housing Planner had advised that the potential loss of any existing affordable housing will be offset by the provision of infill affordable housing as part of this proposal. In this regard, no contribution for the loss of affordable housing is warranted.

Waverley Local Environmental Plan 2012 (Waverley LEP 2012)

The relevant matters to be considered under the Waverley LEP 2012 for the proposed development are outlined below:

Table 5: Waverley LEP 2012 Compliance Table

Provision	Compliance	Comment
Part 1 Preliminary		
1.2 Aims of plan	Yes	The proposal is consistent with the aims of the LEP.
Part 2 Permitted or prohibited development		
Land Use Table <ul style="list-style-type: none"> R3 Medium Density Residential Zone 	Yes	The proposal is defined as a residential flat building, which is permitted with consent in the R3 zone. The proposal is consistent with the objectives of the zone.
Part 4 Principal development standards		
4.3 Height of buildings <ul style="list-style-type: none"> 12.5m 	No	The proposed development provides a maximum height of 13.857m, exceeding the standard by 1.357m equating to a variation of 10.86%.
4.4 Floor space ratio <ul style="list-style-type: none"> 0.9:1 1.13:1 with bonus of 0.23:1 under the ARHSEPP 	Yes	The proposal provides an FSR of 1.13:1. This has been discussed previously in this report under the provisions of the ARHSEPP which allows a bonus of 0.23:1 under the provisions for infill affordable housing.
4.6 Exceptions to development standards	See discussion	The application is accompanied by a written request pursuant to clause 4.6 of Waverley LEP 2012 to vary the height development standard. A detailed discussion of the variation to the development standard is presented below this table.
Part 5 Miscellaneous provisions		

Provision	Compliance	Comment
5.10 Heritage conservation	Yes	<p>The site is not located within a heritage conservation area nor does it contain listed buildings.</p> <p>The site is opposite heritage-listed sites at 108 and 110 O'Brien Street and 132 Wellington Street.</p> <p>The proposed development is visually separated from the heritage-listed buildings being located on the opposite side of the street in relation to both sites. There are sufficient separation distances from the proposed new building to the items and overshadowing will not occur.</p> <p>The proposal will not harm the significance of the heritage-listed buildings within the vicinity.</p>
Part 6 Additional local provisions		
6.2 Earthworks	Yes	<p>The proposal includes excavation of the site to provide a car park. A Geotechnical Desktop Study was provided that provides general geotechnical advice and recommends further testing, dilapidation surveys of adjoining properties and vibration monitoring.</p> <p>All standard conditions of consent are recommended in Appendix A including the submission of a thorough Geotechnical Report. The recommendations of the Geotechnical Desktop Study are referenced in the consent conditions.</p> <p>The excavation is considered acceptable in this regard.</p>
6.3 Flood planning	Yes	<p>The site is not identified as flood affected under LEP 2012. However, the property has been identified as flood affected under the Council endorsed Waverley LGA Flood Study 2020. However, this flood study has not yet been incorporated into the LEP/DCP and has no statutory weight at this stage. The Applicant has been made aware of this and an advisory note is included on the consent.</p> <p>The flood study has been taken into consideration to a certain degree in the</p>

Provision	Compliance	Comment
		<p>amended plans and as such the subterranean apartments that were originally proposed have been removed and a flood wall incorporated into the stormwater management plans to protect the rear apartments at ground floor level.</p> <p>Conditions have been provided by Council's Stormwater Engineer which are included in Appendix A.</p>

The following is a detailed discussion of the issues identified in the compliance table above in relation to the Waverley LEP 2012.

Clause 4.6 Exceptions to Development Standards

The application seeks to vary the height of buildings development standard in clause 4.3 under Waverley LEP 2012.

The site is subject to a maximum height development standard of 12.5m. The proposed development has a height of 13.597m, exceeding the standard by 1.097m equating to a variation of 8.8%.

A written request has been submitted to Council in accordance with clause 4.6(3)(a) and (b) of Waverley LEP 2012 seeking to justify the contravention of the development standard by demonstrating:

- (a) That compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and
- (b) That there are sufficient environmental planning grounds to justify contravening the standard.

A copy of the applicant's written request has been provided to the Waverley Local Planning Panel for consideration.

Applicant's Written Request - Clause 4.6(3)(a) and (b)

The applicant seeks to justify the contravention of the height development standard on the following basis:

- (a) That compliance with the development standard is unreasonable or unnecessary in the circumstances of the case:

- (i) *The buildings preserve the environmental amenity of public spaces and the sharing of views despite the variation to the height limit, as the area of height breach is not visible from the public domain and there are no view impacts associated with the breach.*
 - (ii) *In terms of the environmental amenity of neighbouring properties, both the lift overrun breaches and the stair enclosure roof breach on Building B entirely preserve their amenity to the same extent anticipated by the controls. There are no measurable or material impacts on any property resulting from these non-compliant areas given their central-roof locations.*
 - (iii) *Building A and B's north-eastern corner parapet breach also preserves the amenity of neighbouring properties. The only measurable impact from the 356mm (Building A) and 611mm (Building B) breaches of the height standard would be the associated shadow impact from that element. Not only is the variation so minor that it makes only a marginal difference compared to a compliant parapet, it is also inconsequential as the shadows from this part of the building fall only onto the roof of an adjoining property and only for a narrow period of time in the late afternoon.*
 - (iv) *There are no impacts on solar collectors, to private open spaces or windows or the like of any neighbouring property. Further, in the case of Building B, the offending portion of the stair enclosure roof is to a recessed and set back portion of the building some distance from the rear boundary, away from and not visible from the neighbouring properties.*
 - (v) *This development seeks a modest extent of flexibility to the standard, for a limited area associated with a centralised lift overrun, plant screening, stair enclosure and a slice of the parapet wall, whereas all other components on both buildings comply with the standard.*
 - (vi) *The variations that are sought achieve better outcomes for and from the development by allowing a continuation of the architectural expression consistently around the leading edge of the building, and in the case of the stair enclosure, access to a private roof area.*
 - (vii) *The proposal provides generous side and rear setbacks generally across the whole site, with a lesser setback on the street corner of Wellington Street and O'Brien Street, where it provides a direct response to the building character and setbacks on opposing corners. For these reasons, the height, bulk and scale of the development is complementary to the desired future character objectives.*
 - (viii) *The height breach does not in any way diminish the development's positive contribution to the physical definition of the street network and the breach is not visibly discernible from any public space. The front of both buildings entirely comply with the development standard and therefore have an appropriate height as experienced from the public domain. The buildings' modulation, stepped height, central break and the vertical expression along their frontages positively complements the street network.*
- (b) That there are sufficient environmental planning grounds to justify contravening the standard:
- (i) *The proposal introduces a significant amount of affordable rental housing to a desirable location with excellent connection to public transport, employment and recreational facilities.*
 - (ii) *The building complies with the setback controls despite the inherent pressure from accommodating bonus floor space onto the site as facilitated by the incentives under the ARH SEPP, whereby 939m² of the overall development is being offered as affordable rental*

housing in the form of 14 units to a registered community housing provider for 10 years – noting that the development is 928m² below the maximum GFA available under these provisions.

- (iii) The scale of the buildings is 4 storeys as anticipated by the controls, despite the pressure of the additional floor space as noted above, with no storeys or accommodation above the height plane and a considerable portion of both buildings appearing as 3 storeys.*
- (iv) The additional height is caused in part by the building's response to flood planning levels that are addressed as required by Council's engineers with raised floor levels in lieu of other flooding mitigation measures that would otherwise be available to a building on this site.*
- (v) The buildings themselves comply or have inconsequential variations to the height standard when the lift overrun and stair enclosure is excluded, as follows:*
 - Building A: Western side parapet (for a small portion only): 356mm (2.8% variation).*
 - Building B: North-Western side parapet: 611mm (4.9% variation)*
- (vi) The overshadowing analysis demonstrates that the areas of height breach have an imperceptibly small area of additional overshadowing to the roof of neighbouring buildings only. The impact is minimised by the building's over-compliance with the rear setback controls at these points.*
- (vii) The building footprints occupy an appropriate proportion of the site area, complying with setbacks, communal area, landscaped area and deep soil area controls.*
- (viii) The design, form and scale of the buildings is complementary to, and compatible with, the prevailing design of emerging development and the existing character of the locality.*
- (ix) The building design displays design excellence qualities and therefore satisfies the new Object inserted into the EP&A Act 1979 which seeks to promote good design and amenity of the built environment.*

Consideration of Applicant's Written Request - Clause 4.6(4) (a) (i) and (ii)

Development consent must not be granted unless the consent authority is satisfied that:

- (a) The applicant's written request has adequately addressed the matters required to be demonstrated by subclause 3 of clause 4.6 being that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the standard; and
- (b) The proposed development will be in the public interest because it is consistent with the objectives of the particular development standard and the objectives for development within the zone in which the development is proposed to be carried out.

Does the written request adequately address those issues at clause 4.6(3)(a)?

It is considered that the applicant has adequately addressed that compliance with the standard is unreasonable or unnecessary in the circumstances of the case and has referenced one or more of the following justifications as set out in *Wehbe v Pittwater Council* (2007) 156 LGERA 446:

- (a) the objectives of the development standard are achieved notwithstanding non-compliance with the standard;*
- (b) to establish that the underlying objective or purpose is not relevant to the development with the consequence that compliance is unnecessary;*
- (c) to establish that the underlying objective or purpose would be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable;*
- (d) to establish that the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable; and*
- (e) to establish that "the zoning of particular land" was "unreasonable or inappropriate" so that "a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land" and that "compliance with the standard in that case would also be unreasonable or unnecessary.*

The applicant specifically relies upon justification (a) outlined above to address clause 4.6(3)(a) of Waverley LEP 2012.

Does the written request adequately address those issues at clause 4.6(3)(b)?

The applicant has adequately addressed that there are sufficient environmental planning grounds to justify contravening the development standard. The written request has outlined the minimal consequences of the non-compliance upon the environmental amenity of surrounding properties and the streetscape and sufficiently argued that these consequences are reasonable. The written request provides a convincing argument that strict compliance would be burdensome on the proposal achieving orderly and economic use of the site to accommodate additional housing stock in the locality. Further discussion is provided below justifying how the development achieves the objectives of the development standard and the zone objectives despite the non-compliance with the development standard.

Is the development in the public interest?

The proposed development will be in the public interest because it is consistent with both the objectives of the particular development standard and the objectives for development within the zone in which the development is proposed to be carried out.

The objectives of the height development standard are as follows:

- (a) to establish limits on the overall height of development to preserve the environmental amenity of neighbouring properties and public spaces and, if appropriate, the sharing of views,*
- (b) to increase development capacity within the Bondi Junction Centre to accommodate future retail and commercial floor space growth,*
- (c) to accommodate taller buildings on land in Zone B3 Commercial Core of the Bondi Junction Centre and provide an appropriate transition in building heights surrounding that land,*

(d) to ensure that buildings are compatible with the height, bulk and scale of the desired future character of the locality and positively complement and contribute to the physical definition of the street network and public space.

Objectives (b) and (c) are not relevant to the subject site.

The variation to the height development standard is largely confined to plant with only minor variations to the building proper for Buildings A and B. The following diagram in **Figures 14 and 15** demonstrates the extent of the height variation across the development site:

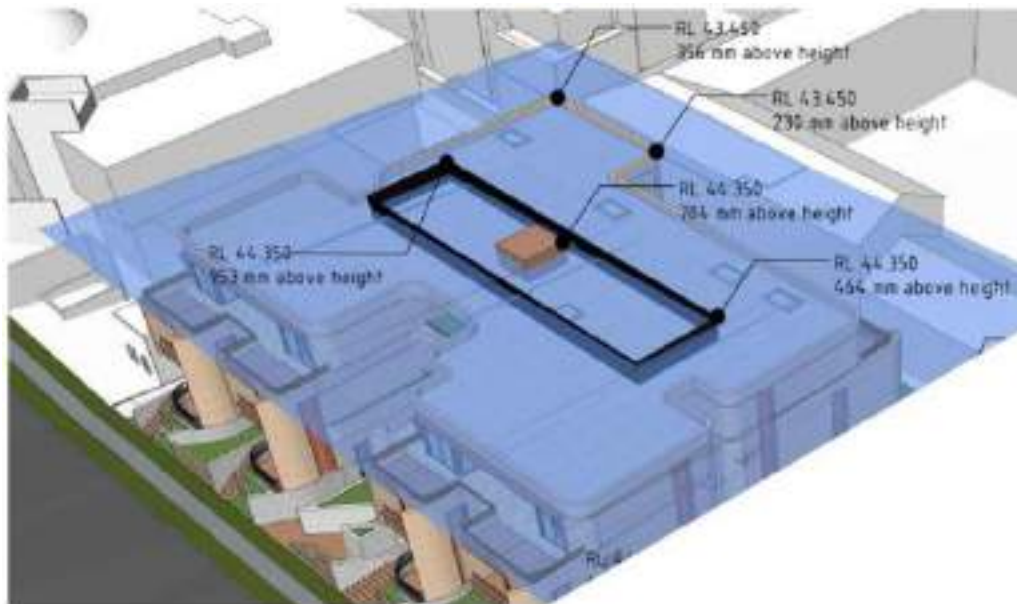


Figure 14: Height plane diagram provided by applicant for Building A

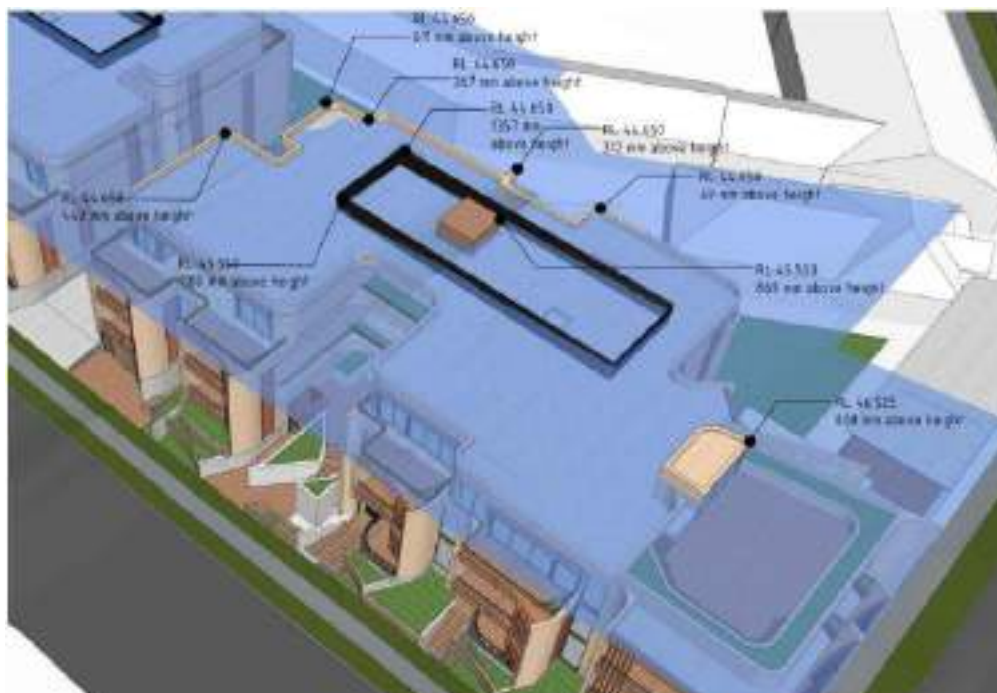


Figure 15: Height plane diagram provided by applicant for Building B

The shadow diagrams indicate that the height variation to the roof will result in a slither of additional shadow at various times throughout the day on the winter solstice on the rear elevations of the properties to the south. The affected areas will continue to receive solar access as the shadows move over the building throughout the day, with only a minor reduction attributed to the variation to the development standard.

As detailed throughout this report, the proposed development will not have unreasonable impacts upon the amenity of surrounding properties particularly in terms of significant view loss, overshadowing or acoustic and visual privacy. In this regard, the proposal is considered to be consistent with objective (a) of the height development standard.

Objective (d) of the height development standard is to ensure that buildings are compatible with the height, bulk and scale of the desired future character of the locality and positively complement and contribute to the physical definition of the street network and public space.

The contribution of the building to the streetscape and surrounding area has been extensively discussed throughout this report, particularly during the discussion of Clause 30A of the ARHSEPP. The minor variation to the height development standard to both buildings will not result in detrimental impacts to the streetscape or the locality. The minor height variation is due to variations in the fall of the land and as both buildings will straddle different allotments it can be reasonably expected that there will be variations to levels made over time. The height variations could be overcome by sinking the building further into the ground, however the minor additional overshadowing does not warrant the additional excavation associated with this.

The development standard dictates medium density development of four-storey scale. The proposal presents to the street with a three-storey scale with the upper floor levels set back to read as recessive within the streetscape. The proposal has a height, bulk and scale which is considered to respond to the surrounding context and the desired future character of the locality. The proposal is considered to be consistent with objective (d).

The objectives of the R3 *Medium Density Residential* zone are as follows:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To maximise public transport patronage and encourage walking and cycling.*

The proposal is consistent with the relevant zone objectives in that it provides for the housing needs of the community within a medium density zone. The proposal will provide a variety of dwellings within the building including affordable housing apartments. There is a significant need for affordable housing within the Waverley Local Government Area and the subject development will provide a generous contribution to the affordable housing stock available. A condition will require that the affordable housing is retained for 10 years consistent with the requirements of the ARHSEPP.

The zone objectives seek to enable other land uses that provide facilities or services to meet the day to day needs of residents. Although the proposal does not provide these facilities, the objective does not require that each site provide these, only that these uses are enabled through alternative land uses permitted within the zoning. The land use proposed, being a residential flat building, is a permissible use.

Public transport patronage is encouraged by allowing no more than the maximum permitted parking to be provided on site. The provision of a greater number of parking spaces, encourages greater car use and consequently higher levels of traffic. The DCP has been formulated to limit the maximum number of vehicle spaces to encourage less car ownership and greater public transport patronage. In terms of cycling and walking, the site is within walking distance of Bondi Beach, Hall Street and Campbell Parade shops and public transport. The proposal will also provide bicycle parking for every apartment.

The proposal is considered to be consistent with the objectives of the R3 zone.

Conclusion

For the reasons provided above the requested variation to the height development standard is supported as the applicant's written request has adequately addressed the matters required to be addressed by clause 4.6 of the Waverley LEP 2012 and the proposed development would be in the public interest because it is consistent with the objectives of height development standard and the R3 zone.

Draft Waverley Local Environmental Plan 2012 (Draft Waverley LEP 2012)

It is acknowledged that the Draft Waverley Local Environmental Plan 2022 is on exhibition from 12 November 2021 to 23 January 2022, however at the time of this assessment, there are no relevant matters for consideration.

Waverley Development Control Plan 2012 (Waverley DCP 2012) – Amendment No.8

The relevant matters to be considered under the Waverley DCP 2012 for the proposed development are outlined below:

Table 6: Waverley DCP 2012 – Part B General Provisions Compliance Table

Development Control	Compliance	Comment
1. Waste 1.4.1.1 Storage <ul style="list-style-type: none"> Bin storage area to be provided with rates in B1-2 1.4.1.2 – Residential <ul style="list-style-type: none"> Bulky waste storage area 	Yes	The application proposes waste collection from within the site from the driveway via Wellington Street. The main waste storage rooms for each building are located within the basement. A waste holding room is proposed with access to the waste collection area from the driveway for ease of collection.

Development Control	Compliance	Comment
<p>To be provided and bulky problem waste area with rates.</p> <ul style="list-style-type: none"> • > 3 storeys convenient waste transport system (ie. Chute) • 1.4.2 – Access and Collection • 1.4.3 – Amenity • 1.4.4- Management 		<p>Communal waste chutes will be provided for residents in convenient and accessible locations related to each vertical core.</p> <p>A Site Waste and Recycling Management plan has been submitted with the application to address waste disposal during construction. Condition of consent will be imposed regarding ongoing waste on site.</p> <p>The waste and recycling storage area is located in an area convenient for users of the site.</p> <p>Council's Waste and Recycling Officer has reviewed the proposal and the waste management plan submitted with the proposal and raised no objections subject to the imposition of conditions relating to the size or waste storage areas, number of bins and ongoing management of waste.</p>
<p>2. Ecologically sustainable Development</p>	<p>Yes</p>	<p>The following comments were provided by Council's Sustainability Officer:</p> <ul style="list-style-type: none"> • <i>The applicant has met the minimum requirements under the BASIX legislation, meeting the Energy, Thermal Comfort and Water target and has provided an accurate and up-to-date BASIX Certificate.</i> • <i>The applicant has provided an accurate Nationwide House Energy Rating Scheme (NatHERS) certificate from an accredited assessor and the plans are marked with the correct NatHERS stamps (including QR code and AAO stamp).</i> • <i>Please note:</i> <i>There is no requirement for an Energy Assessment Report to meet a 30% reduction in greenhouse gas emissions compared to a reference building, as referred to in correspondence from Stargate Property dated 12/8/20. This development is residential only so only needs to meet the BASIX requirements and the National Construction Code requirements for a Class 2 building.</i> • <i>There is significant scope for this development to exceed the minimum BASIX Energy score through the installation of PV panels on the roof connecting to common area energy use</i>

Development Control	Compliance	Comment
		<p><i>and also potentially to reduce grid electricity use in apartments.</i></p> <p>The amended plans indicate a screened area on the roof of each building for photovoltaic panels.</p>
3. Landscaping and Biodiversity	Yes	<p>The landscaping plan has been reviewed and is considered acceptable, maintaining as much existing vegetation as possible and is cohesive with the site and streetscape.</p> <p>The existing natural features, including a large shade tree within the rear of the site, have been retained.</p>
5. Vegetation Preservation	Yes	<p>There are a number of trees to be removed from the site and comments and conditions from Council's Tree Preservation Officer have been provided (refer to Section 4 <i>REFERRALS</i>). The proposal also includes the replanting of a number of trees on site to offset the loss of existing trees.</p> <p>Council's Public Domain Team have also commented on the application, and include conditions in relation to street trees, to fill the gaps which currently exist in the streetscape. A further 10 street trees will be required to be planted as part of this development.</p>
6. Stormwater	Yes	<p>Refer to previous discussion in relation to flood levels in Table 5.</p> <p>The stormwater management plan was reviewed by Council's Stormwater Engineer and conditions provided which are included in Appendix A.</p>
<p>7. Accessibility and adaptability</p> <ul style="list-style-type: none"> • 20% of dwellings must be adaptable • 1 accessible car space per adaptable unit • All units must be liveable units 	Yes	<p>The proposal provides level access to, and throughout, the site and lift access to the upper and basement levels in both buildings.</p> <p>The proposal provides 10 adaptable apartments each with an accessible parking space and 13 'liveable' apartments.</p> <p>The DCP requires that all units are liveable apartments. Notwithstanding, the ADG, which takes precedence over the DCP, requires that 20% of units (ie, 10) comply with universal housing design. A condition to this effect is included in Appendix A.</p>

Development Control	Compliance	Comment
		Prescribed conditions of consent ensure compliance with the access standards.
<p>8. Transport</p> <p>8.1 – Streetscape</p> <p>8.2 – On Site Parking Zone 2</p> <ul style="list-style-type: none"> • Vehicle Access • Car parking Provision Rates • Motorcycle Parking • Bike Parking <p>8.3 – Loading Facilities</p> <p>8.4 – Pedestrian/Bicycle Circulation and Safety</p> <p>8.5 – Green Travel Plan</p> <p>8.6 - Traffic and transport Management Plan</p> <p>8.7 – Car Share</p> <p>8.8 – Electric Vehicle Charging Points</p>	Yes	<p>The proposal provides a two-way driveway from Wellington Street providing access to two levels of basement parking.</p> <p>The vehicular access to the site is limited to one cross over, is satisfactorily located and complies with the minimum required dimensions and other technical requirements.</p> <p>The development is comprised of 52 apartments, of which 14 are affordable housing units under the ARHSEPP. As previously discussed, a minimum of 11 car spaces are required for the affordable housing units under the ARHSEPP (these requirements override the DCP as the SEPP is a higher order control). The remaining units are comprised of the following:</p> <ul style="list-style-type: none"> • 13 x 1-bedroom (max of 8 spaces) • 16 x 2-bedroom (max of 14 spaces) • 9 x 3-bedroom (max of 13 spaces) <p>Under the provisions of the DCP, the minimum parking requirement for these units is nil with a maximum of 35.</p> <p>Upon considering that the ARHSEPP is a minimum requirement and the DCP is a maximum, the amount of resident parking required on site is a minimum of 11 and a maximum of 46. The DCP also requires 10 visitor spaces, 19 motorcycle spaces and that 10% of all spaces are to be accessible.</p> <p>The amended proposal provides a basement car park with:</p> <ul style="list-style-type: none"> • 46 residential parking spaces of which 10 are accessible spaces, • 10 visitor parking spaces of which 1 is accessible, • 19 motorcycle spaces. <p>The proposal complies with the numerical requirements for parking in the DCP. The</p>

Development Control	Compliance	Comment
		<p>allocation of parking to meet all applicable controls is included as a condition of consent in Appendix A.</p> <p>The DCP requires 52 resident bicycle spaces and 5 visitor spaces. The proposal provides 68 bicycle parking spaces complying with the DCP. A condition will require that the visitor spaces are located in an easily accessed location near the entries to the buildings.</p> <p>For developments greater than 50 apartments, a loading space is required. The Traffic Report states that the loading/unloading of goods will be undertaken by vans/utilities from within the basement level, within a shared servicing/visitor parking space. It is considered appropriate that the loading space shall be a dedicated space for service vehicles to ensure limited conflicts of use and as such a condition will require that one residential space shall be a dedicated loading space.</p> <p>The proposal is consistent with the objectives and controls within this part of the DCP, subject to conditions. Also refer to Section 3 of this report for comments from Council's Infrastructure Services Manager.</p> <p>The proposed 52 residential units would require 5 electric vehicle charging points and 1 charging point for electric bicycles and mobility scooters. The architectural plans do not indicate any electric vehicle charging bays. An appropriate condition is included in Appendix A.</p> <p>A Green Travel Plan has been provided which concludes that the development allows for residents and visitors to travel to and from the site via alternative modes of travel, thereby reducing the dependency on private vehicles.</p> <p>In terms of traffic generation, Council's Transport Department have advised:</p> <p><i>According to the RMS Technical Direction: Guide to Traffic Generating Developments Updated traffic</i></p>

Development Control	Compliance	Comment
		<p>surveys (August 2013), the residential component of this development will generate:</p> <ul style="list-style-type: none"> • 0.19 AM peak (1 hour) vehicle trips per unit, and • 0.15 PM peak (1 hour) vehicle trips per unit. <p>The proposed 52 apartment units will generate 9.9 vehicle trips in the AM peak hour and 7.8 vehicle trips in the PM peak hour. The additional traffic is negligible and should not adversely affect the local and surrounding road network.</p>
9. Heritage	Yes	<p>Refer to Table 5 of this report.</p> <p>The site is located within the boundaries of the Bondi- Rose Bay sandbody, although not designated by the DCP as an area of high sensitivity in relation to Aboriginal Cultural Heritage. A condition is recommended in Appendix A in this regard.</p>
10. Safety	Yes	<p>The proposal does not contravene the objectives of this part of the DCP in particular by way of providing balconies overlooking the street, the communal space and the internal walkways, increasing passive surveillance of these areas.</p>
12. Design Excellence	Yes	<p>As previously discussed in this report, the proposal has an acceptable design given the surrounding context of the area and is a suitable response to the site and streetscape.</p>
14. Excavation	Yes	<p>Refer to Table 5 of this report for further discussion regarding excavation.</p> <p>The proposed excavation does not add to the scale of the building and is set back from the site boundaries a minimum of 1500mm. The amended plans have raised the lower level apartments out of the ground resulting in improved amenity.</p> <p>Appropriate conditions are included in Appendix A regarding the excavation.</p>
16. Public Domain	Yes	<p>Conditions regarding improvements within the public domain are included in Appendix A.</p>

Development Control	Compliance	Comment
17. Inter War Buildings	No	<p>The Heritage Assessment submitted with the application indicates the following:</p> <p><i>‘The Wellington’ flats at Nos 95-97 and 99-101 Wellington Street are not listed as heritage items or located in a Heritage Conservation Area as defined by the Waverley LEP 2012.</i></p> <p><i>The visual survey of the immediate area along Wellington Street has illustrated that there are several fine examples of interwar flat buildings. These buildings exhibit a higher order of Interwar architectural details than ‘The Wellington’ flats which are comparatively plain and devoid of articulation that does not relate them strongly or uniquely to the interwar style.</i></p> <p><i>‘The Wellington’ flats are compromised Interwar Flat Buildings. They have been developed from the original semi-detached dwellings. They have been further altered and are in a dilapidated condition. The retention of the original dwellings and modifications include:</i></p> <ul style="list-style-type: none"> <i>• Reduction of the original first floor balcony openings to Wellington Street and their enclosure. Infill of the balcony with double hung windows.</i> <i>• Modifications to the rear of the buildings including two storey extensions to both buildings.</i> <i>• Replacement of the terracotta roof tiles.</i> <i>• The retention of the brick arch windows and side brickwork elevations of the original single storey semi-detached dwellings.</i> <i>• Retention of the casement windows from the original semi-detached dwellings.</i> <i>• The site planning of the flats as two separate buildings indicates the retention of the two semi-detached floor plates.</i> <p><i>The flats are plain in appearance and don’t exhibit architectural details characteristic of the Interwar style. The street survey of Wellington Street, below, has illustrated seven intact Interwar flat buildings that have a rich palette of details indicative of the style. The Wellington flats in comparison have been built around the foundations of the existing semi-detached bungalows on the site and still</i></p>

Development Control	Compliance	Comment
		<p><i>corporate features of those dwellings including the ground floor casement windows to Wellington Street and brick arch windows on the side elevation. The pedestrian separation between the buildings suggest it is the original setback between the dwellings and the existing footprint and foundations of the houses have been maintained for the flats. The rear of the buildings have been modified with a two storey extension.</i></p> <p><i>The lack of specific interwar architectural detail and the confused elevations brought about by the retention of the original dwelling windows and footprint, dramatically diminishes the significance of these buildings as examples of interwar flat buildings. It is not warranted to retain these modified and 'cobbled together' buildings, particularly when there are much finer examples in the same street.</i></p>

Part C3 of the DCP applies to residential flat buildings. Development that is subject to SEPP 65 is required to address the provisions of the Apartment Design Guide (ADG), in addition to this Part of the DCP. As per Clause 6A of SEPP 65, if a DCP contains provisions that specify requirements, standards, or controls in relation to the following, those provisions are of no effect:

- (a) visual privacy,
- (b) solar and daylight access,
- (c) common circulation and spaces,
- (d) apartment size and layout,
- (e) ceiling heights,
- (f) private open space and balconies,
- (g) natural ventilation,
- (h) storage.

As the development is subject to SEPP 65, those provisions that conflict with the assessment in relation to the ADG (Table 2) are not considered in the table below.

Table 7: Waverley DCP 2012 – Part C3 Other Residential Development Compliance Table

Development Control	Compliance	Comment
3.1 Site, scale and frontage		
<ul style="list-style-type: none"> Minimum frontage: 15m – R3 zone 	Yes	The site has a total frontage to Wellington Street of 86.76m and to O'Brien Street (side elevation) of approximately 25m.

Development Control	Compliance	Comment
Relevant side setbacks must be able to be achieved for any isolated sites.		<p>The objectives of this part of the DCP are to encourage the amalgamation of sites for improved design outcomes. Given that the proposal will amalgamate 11 sites to form one larger development site, the proposal is consistent with the intent of these controls.</p> <p>Site isolation has been previously discussed in this report. The adjoining site at 65A O'Brien Street has already been recently developed into a two-storey dwelling with appropriate setbacks for the dwelling use (approval in 2016). Any redevelopment into a higher density land use would be subject to the site becoming part of a larger amalgamated site with those properties to the east identified previously in this report.</p>
3.2 Height		
<ul style="list-style-type: none"> Refer to the LEP Maximum external wall height: 9.5m 	No (acceptable on merit)	<p>This matter is discussed in Section 2.2.2 and meets the objectives of the DCP control.</p> <p>The proposal will exceed the external wall height control in parts across the development however will present to the Wellington and O'Brien Street frontages with a three-storey scale (with the upper level set back) above a raised landscaped podium containing the building entries and landscaped courtyards. The four-storey component is located toward the rear and complies with the height development standard of the LEP which is a higher order control.</p> <p>The proposal complies with the objectives of this part of the DCP with an appropriate scale and character that responds to the desired future character of the area.</p>
3.3 Setbacks		
<p>Street setbacks</p> <ul style="list-style-type: none"> Consistent with the predominant building line setback along the street. The front setback is to be free of any below ground structures. The front setback is to have a soil depth to 	Yes	<p>The subject site amalgamates 11 properties into one and as such will form the predominant setback on this side of Wellington Street. The proposal provides 3m setbacks to the balconies fronting Wellington Street with blade walls projecting marginally further forward. At the corner with O'Brien Street the building extends further forward to address the corner.</p>

Development Control	Compliance	Comment
<p>support mature trees and shrubs that contribute to the streetscape and the amenity of the public domain.</p> <ul style="list-style-type: none"> Setbacks above street frontage height are to be included where the adjacent building includes upper levels setbacks. 		<p>During the assessment of the adjoining Synagogue building to the north-east of the site it was established that a 3m street setback was consistent with the predominant character of the south-eastern side of Wellington Street. The Synagogue building itself is set back further and conditions ensured that any ancillary structures did not encroach on the 3m setback (with the exception of low fencing and works for access). The subject development is generally consistent with the setbacks for the Synagogue site (105 Wellington Street) with generally 3m to the front balconies and the main building set back beyond. Structures within the 3m setback include terraced landscaping and access such as pathways and driveway.</p> <p>The basement and subterranean services area will not encroach upon the front 3m setback to ensure deep soil landscaping.</p> <p>Level 2, the upper third storey presenting to Wellington Street, will be further set back than the levels below to be recessive in the streetscape, lessening the bulk and scale of the building on Wellington Street.</p> <p>The setbacks along the O'Brien Street frontage and the corner are considered appropriate given the protruding blade walls and angular balconies provide articulation to this elevation. This setback is consistent with 65A O'Brien Street which is the adjoining dwelling to the east.</p>
<p>Side and rear setbacks</p> <ul style="list-style-type: none"> Minimum 6m rear setback, or extend no further to the rear than the predominant rear building line, whichever is the greater setback. The predominant rear setback is determined separately for each level. Side setbacks: Height up to 12.5m -1.5m. Council may require additional setbacks to ensure adequate solar access to adjacent 		<p>There is no predominant rear setback on this side of Wellington Street as the adjoining Synagogue site extends well beyond the rear boundary of the subject property.</p> <p>As previously discussed, the proposal incorporates appropriate separation distances from adjoining properties which establishes the rear setback. Building A will vary from 5.66m to 7.52m and Building B provides a varied setback with a minimum of 6m. This is considered acceptable in the context of the site.</p> <p>The proposal exceeds the required side boundary setbacks on all boundaries, except on the corner with O'Brien Street where the building is built up</p>

Development Control	Compliance	Comment
<p>buildings and privacy or to minimise view loss</p> <ul style="list-style-type: none"> A landscaped deep soil area of 2m must be provided along one side boundary at a minimum. 		<p>to the street edge to address the corner. This has been previously discussed and is considered acceptable noting that landscaping between the extending blades at the street level to a depth of 1.83m in sections is included on this frontage.</p> <p>Given the orientation of the apartments and location of windows/balconies, the separation distances of the ADG take precedence over the setback controls. Refer to section 2.1.1 of this report for detailed discussion.</p> <p>Deep soil is provided along both side boundaries, with a width of 1830mm. Deep soil is also provided at the rear with a width of 3m and extensively at the rear. This is considered sufficient to provide extensive landscaping around the perimeter of the site.</p>
3.4 Length and Depth of Buildings		
<ul style="list-style-type: none"> Max building length to the street is 24m. Buildings to be articulated to respond to the streetscape. The maximum depth of any residential flat building is to be 18m. 	Yes (on merit)	<p>The amended plans divide each of the buildings at the street frontage by providing deep recessed entries to each building. This will effectively reduce the bulk of the building at the street presenting as four separate buildings. Building A will have widths of 15m and 17m and Building B, 15m and 25m. Each will be separated by 6.1m wide pedestrian and vehicular entries. Although Building B will slightly exceed the maximum width stipulated by the DCP of 24m, this is due to the presentation of the building to the corner with O'Brien Street and is considered appropriate.</p> <p>The depth of the Buildings A and B are also broken up by the open walkway through the centre of the buildings. Each section of the buildings will have depths less than 18m.</p>
3.5 Building Design and Streetscape		
<ul style="list-style-type: none"> Building design is to respond to the existing streetscape character of the area. The colour and finish of external finishes should be sympathetic to the street and contribute to the overall appearance of the building. 	Yes	<p>These issues have been discussed previously in this report and are considered acceptable.</p> <p>The building presents to both Wellington and O'Brien Street as a primary frontage, being designed appropriately to address the corner.</p>

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Corner sites, each frontage of the development must present as a primary street frontage. 		
3.7 Fences and walls		
<ul style="list-style-type: none"> Front fence to be provided where it is characteristic of the street Front fences: Max 1.2m height and proportion of two thirds solid to one third open design. Rear and side fences: 1.8m in height and taper down from the front building line. Respond to the architectural character of the street. Clearly delineate between public, communal and private areas. Sightlines between pedestrians and vehicles exiting the site are not to be obscured and gates do not open over the public roadway or footpath or into parks. 	Yes	<p>The street frontages provide terraced landscaping behind low front walls. The front boundary treatment responds appropriately to the slope of the land across the site allowing landscaping at the street edge with terracing behind. Each apartment fronting Wellington Street will have private access from the street however due to flooding requirements, these apartments are raised above the street level. The terracing is necessary to gain access to the apartments set at a higher level than the street.</p> <p>Side and rear boundary fencing is not clear on the submitted plans and as such, conditions will require that the side and rear boundary fencing, not fronting the street, is to be a maximum height of 1.8m.</p> <p>The boundary treatment clearly delineates between the public, private and communal space and sightlines to pedestrians are not obscured from the driveway.</p>
3.8 Pedestrian access and entry		
<ul style="list-style-type: none"> Entry at street level and respond to pattern within the street Accessible entry Separate to vehicular entry Legible, safe, well-lit Where appropriate, provide individual ground floor dwelling entries that address the street. 	Yes	Refer to discussion in Table 2.
3.9 Landscaping		
<ul style="list-style-type: none"> Comply with part B3-Landscaping and Biodiversity 	Yes	Refer to Table 6.

Development Control	Compliance	Comment
<ul style="list-style-type: none"> Minimum of 30% of site area landscaped 50% of the above is to be deep soil Where site conditions allow, the deep soil zone is to be consolidated as one area to assist the ease of drainage and to allow for effective deep soil planting. Landscaping must relate to the building scale and assist integration of the development with the existing street character. 		<p>The proposal provides 34% of the site (1207.5m²) as landscaped area.</p> <p>The proposal provides 551m² as deep soil equating to 16% of the site and 45% of the landscaped area. It should be noted however that the definition for landscaped area includes areas above ground which skews the results. Of the landscaped area provided at ground level (communal) the deep soil equates to 51% of the landscaped area. This is considered appropriate for this site as sufficient areas of landscaping, both communal and private, and deep soil is provided across the site.</p> <p>The deep soil zone is largely consolidated at the rear of the site to allow sufficient planting.</p> <p>The landscaping relates well to the building scale providing extensive landscaped terraces along the street frontages contributing to the character of both Wellington and O'Brien Street.</p>
3.10 Communal Space		
<ul style="list-style-type: none"> 15% of the total site area for development in the R3 zone is to be provided as consolidated communal open space. At least 30% of the communal open space is to receive 3 hours of direct sunlight between 9am and 3pm on June 21. Accessible 	<p>Yes</p> <p>(Refer to previous discussion in ADG table)</p>	<p>The proposal provides a total of 1080m², equating to 31% of the site. An accessible and consolidated communal area is contained within the rear setback of the site.</p> <p>Solar access to this area has previously been discussed in this report.</p>
3.12 Vehicular access and parking		
<ul style="list-style-type: none"> Car parking to be integrated into the design of the development Max 1 x 2 way vehicle access point Provided from secondary street or lane Pedestrian safety considered Basement parking should not contravene deep soil zone controls 	<p>Yes</p>	<p>The proposal provides a two-way driveway from Wellington Street providing access to two levels of basement parking.</p> <p>The vehicular access to the site is limited to one cross over, is satisfactorily located to ensure no loss of existing street trees and complies with the minimum required dimensions and other technical requirements.</p> <p>Deep soil has been previously discussed in this report.</p>

Development Control	Compliance	Comment
3.13 Solar Access and Overshadowing		
<ul style="list-style-type: none"> Direct sunlight to north facing windows of habitable rooms and all private open space areas of adjacent dwellings should not be reduced to less than 3 hours between 9.00am and 3.00pm on June 21. 	Yes	Refer to discussion following this table.
3.14 Views and view sharing		
<ul style="list-style-type: none"> Minimise view loss through design Views from public spaces to be maintained. 	N/A	No known significant private or public views will be impacted by the proposed development.
3.15 Visual privacy and security		
<ul style="list-style-type: none"> Dwellings to be orientated to the street with entrances and street numbering visible Development over 50 dwellings must be designed with CPTED principles – See B10 Safety Above ground open space must not overlook rooms and private landscaped areas of adjoining properties or be screened Prevent overlooking of more than 50% of private open space of lower level dwellings in same development Privacy be considered in relation to context density, separation use and design. Roof top terraces discouraged except in certain circumstances. 	Yes	<p>The apartments fronting Wellington and O'Brien Street are oriented to the street. Individual entries to these properties are also incorporated into the proposal. The main building entries on Wellington Street are clear and legible with open walkways above overlooking these areas, increasing passive surveillance and security.</p> <p>The secondary entry from O'Brien Street has a security gate and will be signposted to direct visitors to the main entries on Wellington Street.</p> <p>Visual and acoustic privacy of adjoining properties has been addressed by way of separation distances and privacy screening.</p> <p>The design of the buildings ensures that overlooking of the principal areas of private open space to other dwellings within the development is minimised.</p> <p>The proposal includes a private roof terrace on the corner with O'Brien Street for the exclusive use of the apartment below. This roof terrace is separated from the nearest residential dwelling by 9.5m providing sufficient separation to ensure privacy impacts are not unreasonable. The roof terrace will also be surrounded by a landscaped planter to stop direct overlooking of any open space below. The location of this roof terrace ensures that no unreasonable privacy impacts will result.</p>

Development Control	Compliance	Comment
		In summary, the proposal adequately addresses privacy impacts upon surrounding properties and within the development itself.
3.19 Acoustic privacy		
<ul style="list-style-type: none"> • Sound proofing through acoustic glazing • Internal amenity by locating noisy areas away from quiet areas 	Yes	<p>As previously discussed, the proposal incorporates sufficient separation distances from adjoining properties as required by the ADG to ensure that acoustic privacy impacts are not unreasonable. The only section of the building where the setbacks are less than the required is where the development adjoins the Synagogue. Given that the Synagogue may attract crowds on certain days, a condition will require that windows on the north-east elevation of the building shall be provided with acoustic glazing to ensure the acoustic privacy of these apartments.</p> <p>The proposal has been designed to ensure acoustic privacy to each apartment for enhanced internal amenity.</p>
3.21 Building services		
<ul style="list-style-type: none"> • Outdoor Communal clothes drying area to be provided. • Services are to be integrated into the design of buildings. • Plant rooms away from entry communal and private open spaces and bedrooms. • Building Services setback from walls, edges and front entrances. • Services on roof not to be seen from street or impact public or private views and be min 2m from the building edge. 	Yes	<p>A condition will require that outdoor communal clothes drying areas are provided within the rear of the site.</p> <p>Services are integrated into the basement and sections of the roof, set back from the edges of the building so as not to be visible from the street.</p>

The following is a detailed discussion of the issues identified in the compliance tables above in relation to the Waverley DCP 2012.

Overshadowing

In terms of overshadowing, properties which will experience additional overshadowing would be:

- a single dwelling at 65A O'Brien Street located to the south;
- a pair of semi-detached dwellings at 63 and 65 O'Brien Street located to the south-east; and
- serviced apartments at 59-61 O'Brien Street located to the east and south-east of the site.

The serviced apartments have the main windows on the opposite elevation orientated internal to that site and as such, the proposal will not result in unreasonable overshadowing of the serviced apartments.

The final amended plans increase setbacks from 63, 65 and 65A O'Brien Street to improve solar access. The solar diagrams submitted with the application indicate morning sun, from 9am to 12pm will be predominantly maintained to the dwellings at 63, 65 and 65A O'Brien Street. Nos. 63 and 65 O'Brien Street will retain at least 3 hours of solar access to the rear elevations and most of the private open space in the morning hours. No. 65A will retain solar access throughout the day to different parts of the building.

The impact from new developments that are compliant with increased development standards is significantly greater than impacts from sites which are currently underdeveloped, however if the development meets all relevant standards and controls, these impacts are accepted as being generally anticipated by the controls. The purpose of development standards is to stipulate the maximum development potential of a site, providing certainty to the public and facilitating economic and orderly use of land.

The proposal complies with the FSR development standard (including bonus under the ARHSEPP) and generally complies with the height development standard, with the exception of the plant and some parts of the parapet. As discussed in Section 2.1.2 of this report, that part of the building which does not comply with the height does not result in unacceptable additional overshadowing. The proposal complies with all other built form controls of the ADG and DCP, with the exception of a minor variation to the separation distances of Building A. However, it is noted that Building A does not result in unreasonable overshadowing impacts upon surrounding properties. Building B, which does result in additional overshadowing of 63, 65 and 65A O'Brien Street, has been amended to comply with the minimum 6m separation distances required by the ADG, which the majority of this building exceeding the minimum 6m requirement due to the varied setback with the adjoining properties.

For these reasons, it is considered that the overshadowing of the properties to the south and south-east is a consequence of the redevelopment of the site to a medium density development and the impacts are those anticipated by the zoning and development standards. As such, the overshadowing impacts are not considered unreasonable.

Other Impacts of the Development

The proposal is considered against section 4.15(1)(b) of the Act relating to environmental, social or economic impacts on the locality.

Impacts on the natural and built environment

The proposal is not expected to result in adverse amenity impacts upon the natural and built environment of the locality for the reasons explained in this report.

Social impacts

The proposal is not expected to result in adverse social impacts on the locality. The development is in accordance with the ARH SEPP, that is intended to encourage and enable the provision and increase of a variety of affordable rental housing stock across NSW. In this regard, the social impacts of the proposal are deemed reasonable, particularly given that housing affordability is a prevailing urban planning issue in Sydney, and specifically, within the Waverley local government area.

Economic impacts

The proposal is not expected to result in adverse economic impacts on the locality.

Suitability of the Site for the Development

The site is considered to be suitable for the proposed development.

Any Submissions

The original application was notified for 21 days and a site notice erected on the site in accordance with the *Waverley Community Development Participation and Consultation Plan*. Fifty-seven (57) submissions against the proposed development were received. Twenty-six (26) letters of support were also received to the proposed development (noting that the majority of these are *proforma* letters).

Following receipt of the first set of amended plans and additional information, the application was re-notified for 14 days and a site notice erected on the site in accordance with the *Waverley Community Development Participation and Consultation Plan*. Thirty-five (35) submissions were received.

The final set of amended plans were not re-notified as they do not result in additional impacts upon adjoining properties, instead increasing setbacks, reducing floor space, relocating service areas to the basement and changes to the gradient of the driveway. The remaining changes are internal to the site and will not result in additional impacts upon adjoining properties or the streetscape.

In all objections were received from 67 known properties and 25 letters of support from known properties. Submissions were also received from the Member for Vaucluse, the Honourable Gabrielle Upton and Councillor John Wakefield. All the submissions have been read, considered and analysed.

Table 8: Number of and where letters of objection were received from.

Count	Property Address
1.	21 Barracluff Avenue, Bondi Beach
2.	23 Barracluff Avenue, Bondi Beach

3.	25 Beaumont Street, Rose Bay
4.	127 Bondi Road, Bondi
5.	1/14 Edward Street, Bondi
6.	76 Edward Street, Bondi
7.	54 Francis Street, Bondi Beach
8.	6/81 Francis Street, Bondi Beach
9.	103 Francis Street, Bondi Beach
10.	2/54 Glenayr Avenue, Bondi
11.	22/68 Gould Street, Bondi Beach
12.	146 Hall Street, Bondi Beach
13.	3/151 Hall Street, Bondi Beach
14.	154 Hall Street, Bondi Beach
15.	156 Hall Street, Bondi Beach
16.	159 Hall Street, Bondi Beach
17.	62A Lamrock Avenue, Bondi
18.	57 O'Brien Street, Bondi Beach
19.	9/57 O'Brien Street, Bondi Beach
20.	63 O'Brien Street, Bondi Beach
21.	65 O'Brien Street, Bondi Beach
22.	65A O'Brien Street, Bondi Beach
23.	81 O'Brien Street, Bondi Beach
24.	2/81 O'Brien Street, Bondi Beach
25.	90 O'Brien Street, Bondi Beach
26.	92 O'Brien Street, Bondi Beach
27.	96 O'Brien Street, Bondi Beach
28.	98 O'Brien Street, Bondi Beach
29.	100 O'Brien Street, Bondi Beach
30.	102 O'Brien Street, Bondi Beach
31.	106 O'Brien Street, Bondi Beach
32.	110 O'Brien Street, Bondi Beach
33.	34 O'Donnell Street, Bondi Beach
34.	1102/20 Ocean Street, North Bondi
35.	30-34 Penkivil Street, Bondi
36.	26/30-34 Penkivil Street, Bondi
37.	2 Philip Street, Bondi
38.	2 Rickard Avenue, Bondi
39.	2/2 Simpson Street, Bondi Beach
40.	11 Simpson Street, Bondi Beach
41.	15 Simpson Street, Bondi Beach
42.	19 Simpson Street, Bondi Beach
43.	42 Simpson Street, Bondi Beach
44.	46 Simpson Street, Bondi Beach
45.	48 Simpson Street, Bondi Beach
46.	50 Simpson Street, Bondi Beach
47.	52 Simpson Street, Bondi Beach
48.	54 Simpson Street, Bondi Beach
49.	4/51 Simpson Street, Bondi Beach
50.	2/54b Simpson Street, Bondi Beach
51.	35 Watson Street, Bondi
52.	53 Wellington Street, Bondi Beach

53.	57 Wellington Street, Bondi Beach
54.	67 Wellington Street, Bondi Beach
55.	71 Wellington Street, Bondi Beach
56.	73 Wellington Street, Bondi Beach
57.	75 Wellington Street, Bondi Beach
58.	1/107 Wellington Street, Bondi Beach
59.	108 Wellington Street, Bondi Beach
60.	109 Wellington Street, Bondi Beach
61.	3/118 Wellington Street, Bondi Beach
62.	120 Wellington Street, Bondi Beach
63.	126 Wellington Street, Bondi Beach
64.	136 Wellington Street, Bondi Beach
65.	138 Wellington Street, Bondi Beach
66.	144 Wellington Street, Bondi Beach
67.	28 Brougham Street, Cowra
68.	Unknown street address (PO Box) - 1
69.	No address provided: 14
70.	Bondi Precinct Committee
71.	Gabrielle Upton - MP
72.	Councillor John Wakefield

Table 9: Number of and where letters of support were received from.

Count	Property Address
1.	4/324 Bondi Road, Bondi
2.	2/123 Brighton Boulevard, North Bondi
3.	2/30 Chambers Avenue, Bondi Beach
4.	156 Glenayr Avenue, Bondi Beach
5.	72 Hall Street, Bondi Beach
6.	84 Lamrock Avenue, Bondi Beach
7.	17/5-7 Martins Avenue, Bondi
8.	7/19 O'Brien Street, Bondi Beach
9.	25 O'Brien Street, Bondi Beach
10.	27 O'Brien Street, Bondi Beach
11.	4/38-44 O'Brien Street, Bondi Beach
12.	20/53 O'Brien Street, Bondi Beach
13.	3/10 Ocean Street, Bondi
14.	8/35-37 Ocean Street, Bondi
15.	2/303 Old South Head Road, Bondi
16.	404/56A-62 Penkivil Street, Bondi Beach
17.	3 Rickard Avenue, Bondi
18.	2/29-31 Simpson Street, Bondi Beach
19.	39 Watson Street, Bondi
20.	2/15 Wellington Street, Bondi Beach
21.	9/22 Wellington Street, Bondi Beach
22.	3/22-28 Wellington Street, Bondi Beach
23.	30/22-28 Wellington Street, Bondi Beach
24.	5308/34 Wellington Street, Bondi Beach
25.	5312/34 Wellington Street, Bondi Beach
26.	105 Wellington Street, Bondi Beach

The letters of support raised the following:

- Will improve the streetscape and character
- Economic boost to the rest of Bondi Beach
- Social benefit of affordable housing which is needed within the area
- Housing affordability through increased supply
- Beneficial social impact of allowing people to live next door to a place of worship

The following issues raised in the letters of objection have already been discussed and addressed in the body of this report and/or the Recommendation:

- Heritage conservation
- Parking, traffic, loading
- Streetscape and character
- Overshadowing
- Bulk, scale, FSR, height
- Visual and acoustic privacy
- Loss of trees and vegetation
- Landscaping and open space
- Sustainability and biodiversity
- Waste
- Setbacks and separation distances
- Pedestrian entries (including that Pedestrian entry from Wellington Street will impact upon the amenity of the adjoining residential dwelling)
- Flooding and stormwater
- Affordable housing SEPP
- Public interest
- Site isolation

All other issues raised in the submissions are summarised and discussed below.

Issue: Increased density; Insufficient infrastructure and amenities to support additional dwellings; Increased pollution due to increased density; Increased traffic and congestion; not enough green space and parks; Not enough public transport to cater to residents.

Response: The objectors have noted that Bondi Beach has too much development which impacts on existing infrastructure. The Waverley Local Environmental Plan sets the strategic framework for the Local Government Area and the site has been designated FSR and height development standards for medium density residential development. Areas of Bondi Beach are identified for medium density development located close to local shops, Campbell Parade and public transport routes to achieve the housing targets set by the State Government. This is not a matter which warrants refusal of this application.

The site is zoned for medium density development and as such, the proposal is of a density anticipated by the zoning.

Issue: COVID-19 – space, social distancing, accuracy of traffic assessments carried out during lockdown.

Response: There are no controls which relate to COVID-19 and it is not a matter for consideration under the EP&A Act. Traffic reports utilise data obtained from guidelines that pre-date COVID-19.

Issue: Construction issues – disturbance, safety, property damage, inconvenience etc

Response: Disturbance or potential impacts due to construction are not matters for consideration under the EP&A Act. Appropriate conditions of consent regarding construction, in addition to the prescribed conditions under the Act, are included in Appendix A.

Issue: Sets a precedent for future developments.

Response: The zoning sets the limits for future development. A residential flat building is a permissible use in the zone.

Issue: Insufficient notification to the public.

Response: The application has been notified in accordance with the requirements of the *Waverley Community Development Participation and Consultation Plan*.

Issue: Financial interests of the developers should be audited and its report be disclosed publicly.

Response: This is not a planning matter.

Issue: Change to the demographic of the area; The development has no social worth; The affordable housing is exploiting a loophole; Social impacts.

Response: The demographic profile of future residents of the proposed development cannot be used to reasonably refuse development consent. The proposal has social worth in that it is providing affordable housing that is needed within the area.

Issue: Part of the site should be purchased to regain open space lost with the redevelopment of the tennis courts (Synagogue development).

Response: The site is privately owned and the land is not zoned for open space.

Issue: Accuracy of traffic report and generation rates.

Response: In terms of traffic generation, Council's Transport Department have advised:

According to the RMS Technical Direction: Guide to Traffic Generating Developments Updated traffic surveys (August 2013), the residential component of this development will generate:

- 0.19 AM peak (1 hour) vehicle trips per unit, and
- 0.15 PM peak (1 hour) vehicle trips per unit.

The proposed 52 apartment units will generate 9.9 vehicle trips in the AM peak hour and 7.8 vehicle trips in the PM peak hour. The additional traffic is negligible and should not adversely affect the local and surrounding road network.

Issue: DA should be assessed in accordance with the new Housing Diversity SEPP and the Explanation of Intended Effect (EIE).

Response: Savings provisions within the SEPP Housing 2021 (which comes into effect on the date of report finalisation) stipulate that the ARHSEPP continues to apply to developments lodged previous to the Housing SEPP gaining draft status. There is no requirement under section 4.15 of the Act that an EIE is to be considered in the assessment of development applications as these are not environmental planning instruments (EPI) or draft EPIs.

Issue: Solar panels should be included on the roof.

Response: An area for photovoltaic panels has been included on the roof of each building.

Public Interest

The proposal is considered to have no detrimental effect on the public interest, subject to appropriate conditions being imposed.

REFERRALS

The following internal and external referral comments were sought:

Waverley Design Excellence Advisory Panel

The application was referred to the Waverley Design Excellence Advisory Panel (the DEAP) for comment on 16 September 2020. The DEAP commented on the proposed development against the nine design quality principles of SEPP 65 to aid the local area character/compatibility test of the development that is required by the ARH SEPP. That commentary has been outlined in section 2.1.1 of the report and considered in the assessment of this application.

Housing (Strategic Planning)

Conditions were provided which are included in the consent conditions.

Urban Design and Heritage (Strategic Planning)

Council's Urban Design and Heritage Conservation team were involved in multiple meetings/discussions and referrals throughout the assessment process. The final recommendations required only design changes to the shape of the windows within the development. The amended plans have addressed this matter with rectangular windows considered more consistent with the character of Wellington Street.

Sustainable Development

The following comments were provided and conditions which are included in the consent conditions:

- *The applicant has met the minimum requirements under the BASIX legislation, meeting the Energy, Thermal Comfort and Water target and has provided an accurate and up-to-date BASIX Certificate.*
- *The applicant has provided an accurate Nationwide House Energy Rating Scheme (NatHERS) certificate from an accredited assessor and the plans are marked with the correct NatHERS stamps (including QR code and AAO stamp).*
- ***Please note:*** *There is no requirement for an Energy Assessment Report to meet a 30% reduction in greenhouse gas emissions compared to a reference building, as referred to in correspondence from Stargate Property dated 12/8/20. This development is residential only so only needs to meet the BASIX requirements and the National Construction Code requirements for a Class 2 building.*
- *There is significant scope for this development to exceed the minimum BASIX Energy score through the installation of PV panels on the roof connecting to common area energy use and also potentially to reduce grid electricity use in apartments.*

As previously discussed, an area for photovoltaic panels on the roof of each building has been included in the amended proposal.

Waste Management

The final amended waste arrangements were accepted by the Executive Manager, Environmental Sustainability and conditions provided which are included in the consent conditions.

Traffic and Development

Conditions were provided which are included in the consent conditions. The Traffic Manager raised issue with the on-site waste collection arrangements as waste trucks would need to reverse onto the site to collect from the waste holding room. Notwithstanding, the on-site waste collection proposed for this site has been discussed between the Executive Managers of Development Assessment, Environmental Sustainability, Waste and Cleansing and Infrastructure Services and it was agreed that the solution proposed could be accommodated on this site.

Stormwater

Conditions were provided which are included in the consent conditions.

Tree Management

Conditions were provided which are included in the consent conditions.

Public Domain

Conditions were provided which are included in the consent conditions.

Land Information (Digital Services)

Conditions were provided which are included in the consent conditions.

Green Travel Plans (Environmental Services)

At the time of writing this report, comments had not been received. Notwithstanding, the Green Travel Plan submitted with the application has been considered in the assessment of this proposal.

Public Art

At the time of writing this report, comments had not been received. Notwithstanding, public art has not been proposed as part of this proposal.

CONCLUSION

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the Act. It is recommended for approval subject to conditions of consent.



Development and Building Unit (DBU) Decision:

The application was reviewed by the DBU at the meeting on 16 November 2021 and the DBU determined:

- (a) The application is acceptable and should be approved, subject to the conditions in Appendix A.
DBU members: *M Reid, A Rossi, B McNamara, B Matlawski, J Zancanaro, T Williams.*

RECOMMENDATION TO WAVERLEY LOCAL PLANNING PANEL

That the development application be APPROVED by the Waverley Local Planning Panel subject to the conditions in Appendix A.

Report prepared by:	Application reviewed and agreed on behalf of the Development and Building Unit by:
	

Kylie Lucas	Angela Rossi
Senior Development Assessment Planner	A/Executive Manager, Development Assessment (Reviewed and agreed on behalf of the Development and Building Unit)
Date: 24/11/2021	Date: 26/11/2021

Reason for WLPP referral:

2.	Contentious development (10 or more objections)
3.	Departure from any development standard in an EPI by more than 10%
4.	Sensitive development:
	(b) SEPP 65 development

APPENDIX A – CONDITIONS OF CONSENT

A. APPROVED DEVELOPMENT

1. APPROVED PLANS AND DOCUMENTATION

The development must be in accordance with:

(a) Architectural Plans prepared by PBD Architects of Project No: 2015 including the following:

Plan Number and Revision	Plan description	Plan Date	Date received by Council
DA101 Issue C	BASEMENT LEVEL 2 PLAN	19/11/2021	24/11/2021
DA102 Issue C	BASEMENT LEVEL 1 PLAN	19/11/2021	24/11/2021
DA103 Issue D	GROUND FLOOR PLAN	19/11/2021	24/11/2021
DA104 Issue D	UPPER GROUND FLOOR PLAN	19/11/2021	24/11/2021
DA105 Issue C	LEVEL 1 PLAN	19/11/2021	24/11/2021
DA106 Issue C	LEVEL 2 PLAN	19/11/2021	24/11/2021
DA107 Issue C	ROOF PLAN	19/11/2021	24/11/2021
DA201 Issue D	NORTH WEST ELEVATION	19/11/2021	24/11/2021
DA202 Issue C	SOUTH WEST ELEVATION	19/11/2021	24/11/2021
DA203 Issue D	NORTH EAST ELEVATION	19/11/2021	24/11/2021
DA204 Issue C	SOUTH EAST ELEVATION	19/11/2021	24/11/2021
DA301 Issue C	SECTION A & B	19/11/2021	24/11/2021
DA302 Issue D	SECTION C	19/11/2021	24/11/2021
DA303 Issue C	DRIVEWAY SECTION	19/11/2021	24/11/2021
DA401 Issue B	MATERIAL SCHEDULE	02/06/2021	08/06/2021

(b) Landscape Plan No. LP01-D5820, LP02-D5820, LP03-D5820, LP04-D5820, LP05-D5820, LP06-D5820, LP07-D5820, LP08-D5820, LP09-D5820, LP10-D5820 and documentation prepared by Landscape Design Sydney, dated 23/11/2021 and received by Council on 24/11/2021.

(c) BASIX and NatHERs Certificate/s.

(d) Arborist Report titled *Arboricultural Impact Appraisal and Method Statement* prepared by Ezigrow dated 10/08/2020, and received by Council on 25/08/2020.

(e) Geotechnical Desktop Study (Reference No. E24715.G01), prepared by El Australia, dated 12 June 2020 and received by Council on 25 August 2020.

(f) Approved stormwater plans and documentation in accordance with condition 21 of this development consent.

oof

(g) Waste Management Plan prepared by AusWide Consulting, dated July 2021 and received by Council on 24 November 2021.

(h) The Site Waste and Recycling Management Plan (SWRMP) Part 1.

Except where amended by the following conditions of consent.

2. CONSULTANTS REPORTS

The recommendations contained in the various specialist consultant reports outlined in Condition 1 shall be adhered to. Where any conflict arises between a condition of consent, the development's Principle Certifying Authority may determine which is to apply.

3. GENERAL MODIFICATIONS

The application is approved subject to the following plan amendments;

- (a) Five visitor bicycle parking spaces are to be located near the entries of the building for ease of use for visitors.
- (b) Ceiling fans are to be provided in all habitable rooms.
- (c) Signposting shall be erected in a visible location at the O'Brien Street entry directing visitors to the main entries on Wellington Street.
- (d) The side and rear boundary fencing behind the building line shall be no higher than 1800mm, as measured from the ground level of adjoining property at boundary line.
- (e) Boundary/front fencing to the Wellington Street and O'Brien Street frontages shall be a maximum height of 1.2m measured above footpath level.
- (f) The windows on the north-east elevation of the building shall be provided with acoustic glazing to ensure the acoustic privacy of these apartments.
- (g) An outdoor communal clothes drying area shall be provided within the rear setback of the site, in a location not visible from the street frontages.
- (h) Window / door opening details to be provided on all elevations.
- (i) Letterboxes to be clearly notated on plans.
- (j) An amended BASIX Certificate shall be obtained, having regard to the approved scheme. Details of BASIX Commitments should be clearly shown on the architectural plans.

The amendments are to be approved by the **Principal Certifying Authority** prior to the issue of any Construction Certificate.

4. MULTI UNIT HOUSING DEVELOPMENT DESIGN (SEPP 65 DEVELOPMENT)

The approved design (including any element or detail of that design) or materials, finish or colours of the building must not be changed without the written approval of Council.

5. AFFORDABLE HOUSING

The following condition is imposed in accordance with Clause 17 of *State Environmental Planning Policy (Affordable Rental Housing) 2009*:

For 10 years, commencing from the date of issue of an Occupation Certificate;

- (a) A minimum of 23% of the floor space of the development shall be allocated for affordable housing. In this regard, Units A.UG01, A.UG02, A.UG03, A.UG04, A.UG05, A.UG06, A.UG07, A.UG08, A.UG09, A.101, A.106, A.107, A.108, A.109 as nominated on the approved plans contained in condition 1 of this consent is to be used for the purposes of 'affordable housing', as defined in the *State Environmental Planning Policy (Affordable Rental Housing) 2009*,

- (b) All accommodation that is used for affordable housing must be managed by a registered community housing provider,

A restriction as to user must be registered against the title of the property in accordance with section 88E of the *Conveyancing Act 1919* which restricts the use of any accommodation to which this development consent relates. The cost of preparation and registration of any legal agreement(s) and all other documentation is to be met by the Registered Proprietor.

B. PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

GENERAL REQUIREMENTS

6. NO BUILDING OR DEMOLITION WORKS PRIOR TO RELEASE OF CONSTRUCTION CERTIFICATE

The building work, or demolition work, must not be commenced until:

- (a) a Construction Certificate has been obtained from Council or an Accredited Certifier in accordance with the *Environmental Planning and Assessment Act 1979*;
- (b) a Principal Certifying Authority has been appointed and Council has been notified of the appointment in accordance with the *Environmental Planning and Assessment Act 1979* and *Environmental Planning and Assessment Regulation 2000*; and
- (c) Council is given at least two days' notice in writing of the intention to commence the building works.

CONTRIBUTIONS, FEES & BONDS

7. SECTION 7.12 CONTRIBUTION

A monetary development contribution is payable to Waverley Council pursuant to section 7.12 of the *Environmental Planning and Assessment Act 1979* and the Waverley Council Development Contributions Plan 2006 in accordance with the following:

- (a) A cost report indicating the itemised cost of the development shall be completed and submitted to Council:
 - (i) Where the total development cost is less than \$500,000:
"Waverley Council Cost Summary Report"; or,
 - (ii) Where the total development cost is \$500,000 or more:
"Waverley Council Registered Quantity Surveyor's Detailed Cost Report".

A copy of the required format for the cost reports are provided in the Waverley Council Contributions Plan 2006, available on Council's website.

- (b) As legislated in section 25K of the *Environmental Planning and Assessment Regulation 2000*, the levy must be paid in accordance with the following:
 - (i) A development valued at \$100,000 or less will be exempt from the levy;
 - (ii) A development valued at \$100,001 - \$200,000 will attract a levy of 0.5% of the full cost of the development; or
 - (iii) A development valued at \$200,001 or more will attract a levy of 1% of the full cost of the development.

Prior to the issue of any Construction Certificate, evidence must be provided that the levy has been paid to Council in accordance with this condition or that the cost of works is less than \$100,000.

8. SECURITY DEPOSIT

A deposit (cash or cheque) or guarantee for the amount of **\$470 000.00** must be provided to Council for any damage caused to any property of the consent authority (ie. public land) as a consequence of the works and completing any public work (such as road work, kerbing and guttering, footway construction, stormwater drainage and environmental controls) required in connection with the consent.

This deposit (cash or cheque) or guarantee must be provided to Council prior to the issue of any Construction Certificate. The full amount of the deposit, minus Council's costs for any repair of damage to Council property or rectification of unauthorised works on Council property, will be refunded after satisfactory completion all of works associated with this consent (including the required public works) to the person who paid the deposit.

9. LONG SERVICE LEVY

A long service levy, as required under section 34 of the *Building and Construction Industry Long Service Payments Act, 1986*, is to be paid in respect of this building work. Evidence that the levy has been paid is to be submitted to the Principal Certifying Authority prior to the issue of any Construction Certificate.

Note: Council acts as an agent for the Long Service Payment Corporation and the levy may be paid at Council's office. The levy rate is 0.35% of building work costing \$25,000 or more.

10. TREE PRESERVATION BOND

A bond of \$10,000 for each street tree (6 trees being \$60,000 total) is to be lodged with Council either as cash or by way of an unconditional bank guarantee to ensure the protection and maintenance of the existing street trees along the frontage of Wellington Street. The bond is to be lodged prior to the issue of any Construction Certificate.

The sum will be forfeited to the Council at its discretion for a breach of these requirements, and will be refunded twelve (12) months from the issue of the Final Occupation Certificate subject to the satisfaction of Council and on condition that the trees are maintained in good condition as determined by Council's Tree Officer.

PLAN DETAILS

11. VERIFICATION OF CONSTRUCTION CERTIFICATE DOCUMENTATION (SEPP 65 BUILDINGS)

The preparation of the construction certificate plans shall be supervised and be to the satisfaction of an architect who is registered in accordance with the *Architects Act 2003* (i.e. a qualified designer) in accordance with the requirements of the *State Environmental Planning Policy No. 65 - Design Quality of Residential Apartment Development*.

In accordance with the Environmental Planning and Assessment Regulation 2000, the Principal Certifying Authority must not issue a construction certificate unless it has received a design verification statement from a qualified designer which verifies that the construction certificate plans and specifications achieve or improve the design quality of the development for which development consent was granted, having

regard to the design quality principles set out in *State Environmental Planning Policy No. 65 Design Quality of Residential Apartment Development*.

12. BASEMENT STORAGE

The basement level/s are to provide separate and secure storage areas (in the form of lockable storage cages or the like), allocated to each apartment in the development for larger bulkier items (surfboards, boxes, camping equipment etc.) which are not suited to be stored within each individual apartment. Storage is to be allocated to individual units in accordance with the following requirements:

- a) 1 bedroom and studio units 6m³ of storage; and
- b) 2 bedroom unit 8m³ of storage.
- c) 3+ bedroom unit 10m³ of storage.

This is to be shown on plans to be submitted to the Principal Certifying Authority with the plans for the Construction Certificate.

13. ADAPTABLE HOUSING

A minimum of 20% of the apartments in the development are to be provided as 'adaptable housing' within the development, with at least 1 car space allocated to each of these apartments. Adaptable apartments must be certified as 'adaptable housing units' by an independent suitably qualified person, confirming compliance with the relevant Australian Standards.

14. UNIVERSAL HOUSING

Apartments in the development are to be provided with universal design features (as outlined in the *Liveable Housing Design Guidelines*) to meet the changing need of occupants over their lifetimes in accordance with Part B7 of the *Waverley Development Control Plan 2012*.

CONSTRUCTION & SITE MATTERS

15. HOARDING

To ensure the site is contained during construction, a hoarding is required for the approved works, which is to be designed and constructed in accordance with the requirements of Safe Work NSW. Where the hoarding is to be erected over the footpath or any public place, the approval of Council's Compliance Unit must be obtained and the applicable fees paid, prior to the erection of the hoarding.

16. EROSION & SEDIMENT CONTROL

A Soil and Water Management Plan (SWMP), also known as an Erosion and Sediment Control Plan must be prepared in accordance with Waverley Council's Water Management Technical Manual.

The SWMP must be approved by the Principal Certifying Authority prior to the issue of a Construction Certificate. A copy of the SWMP must be kept on site at all times and made available to Council officers upon request.

The recommendations of the SWMP must be implemented and maintained during all construction activities and until the site is fully stabilised following construction.

17. DETAILS OF EXCAVATION, SHORING OR PILE CONSTRUCTION

A report shall be prepared by a suitably qualified and practising Structural Engineer/Geotechnical Engineer detailing the proposed methods of bulk excavation, shoring or pile construction, including details of vibration emissions and any possible damage which may occur to adjoining or nearby properties as a result of the proposed building and excavation works.

Any practices or procedures specified in the Structural Engineer's report in relation to the avoidance or minimisation of structural damage to adjoining properties are to be fully complied with and incorporated into the plans and specifications together with the Construction Certificate.

18. ENGINEERING DETAILS

Structural details are to be prepared and certified by a practicing Structural Engineer in connection with all structural components of the approved works, prior to the issue of the relevant Construction Certificate.

19. GEOTECHNICAL ENGINEERS REPORT

The Geotechnical Engineers Report shall be updated, regarding the stability of the subject site and stating that damage should not occur to any adjoining premises as a result of the proposed bulk excavation, driven type piles and shoring works, is to be submitted to the Principal Certifying Authority, Council and the owners of adjoining premises. The report is to be submitted prior to the issue of a Construction Certificate and commencement of any such works on the site.

20. GROUND ANCHORS

Where any ground anchors (i.e. rock or sand anchors) are proposed to extend beyond the property boundary beneath roadways and other Council property, details must be submitted to and approved by Council's Executive Manager, Infrastructure Services (or delegate) and will be subject to fees. For further information regarding this, please contact assets@waverley.nsw.gov.au on 9083 8886.

Separate approval will be required for ground anchors beneath roadways governed by the Roads and Maritime Services.

21. ESSENTIAL SERVICES - NEW BUILDING

Details of the proposed essential fire safety measures/services shall be submitted to Council with the application for a Construction Certificate or be attached to the Construction Certificate, including a certificate, prepared by a person competent to do so, setting out the:

- (a) basis of design;
- (b) standard to which the system is to be installed; and
- (c) all relevant documentation, including all drawings such as wiring diagrams, duct layouts, hydraulic schematics etc and calculations shall be submitted for Council's records.

At the completion of the installation, certification containing the following information shall be attached to the application for an Occupation Certificate or to the Occupation Certificate:

- (a) inspection, testing and commissioning details;

- (b) date of inspection, testing and commissioning;
- (c) the name and address of the individual who carried out the test; and
- (d) a statement that the service has been designed, installed and is capable of operating to the above standard.

22. TELECOMMUNICATIONS IN NEW RESIDENTIAL FLAT BUILDING AND MIXED USE DEVELOPMENTS

Evidence is to be provided to the Principal Certifying Authority that arrangements have been made for;

- (a) The installation of fibre-ready facilities to all individual lots and/or premises to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. Demonstrate that the carrier has confirmed in writing that they are satisfied that the fibre ready facilities are fit for purpose; and
- (b) The provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises demonstrated through an agreement with a carrier.

23. SYDNEY WATER SECTION 73 COMPLIANCE CERTIFICATE APPLICATION

An application to obtain a Section 73 Compliance Certificate under the *Sydney Water Act 1994* must be made prior to the issue of the relevant Construction Certificate. The application must be made through an authorised Water Servicing Coordinator.

For more information about making an application to obtain a Section 73 Compliance Certificate, please consult Sydney Water's website.

Following this application, a "Notice of Requirements" will be provided by Sydney Water that outlines any requirements of works to be completed prior to the issue of the Section 73 Compliance Certificate. Please make early contact **with the Coordinator**, as building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

A Section 73 Compliance Certificate must be issued from Sydney Water prior to the issue of an occupation certificate.

TRAFFIC MANAGEMENT

24. CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

The applicant is to submit a Construction Traffic Management Plan (CTMP) for the approval of Council's Executive Manager, Infrastructure Services, or delegate prior to the issue of any Construction Certificate. For further information on what is required in the CTMP, please refer to Council's website at:

https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications_-_conditions_of_consent

STORMWATER & FLOODING

25. STORMWATER AND PUBLIC INFRASTRUCTURE MANAGEMENT

To ensure that stormwater runoff from the development is drained in an appropriate manner, without impact to neighbouring properties and downstream systems, a detailed plan and certification of the development's stormwater management system must be submitted and approved by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate.

The submitted stormwater management plan prepared by Greenarrow Hydraulics Pty Ltd, Project No. 219-1824, Drawing No. STW-000 (Revision C), STW-001 (Revision C), STW-002 (Revision C), STW-003 (Revision C), STW-004 (Revision C), STW-005 (Revision C), STW-006 (Revision C), STW-007 (Revision C), STW-008 (Revision C), STW-009 (Revision C), STW-010 (Revision C) & STW-011 (Revision B), dated 17/09/2021 is considered concept only.

The applicant must submit updated plans and specifications to comply with the current Waverley Council Water Management Technical Manual and Development Control Plan (DCP) at the time of engineering plan approval. The submitted plans shall be prepared by a suitably qualified and practising Civil Engineer and:

- a) The stormwater management plan, architectural drawings and other relevant documentation shall be revised as necessary to be consistent.
- b) You are advised that Council's records indicate an existing stormwater conduit owned by Sydney Water traverses the property directly adjacent to the subject development site (105 Wellington Street, Bondi Beach). In addition, the property at 105 Wellington Street is burdened by a drainage easement. The applicant is required to engage a Registered Surveyor or a suitably qualified and practising professional to investigate the exact location of the existing stormwater pipe within the existing easement (this shall include the pipe size, invert, any necessary levels needed as part of this proposal).

The existing pipeline and easement are to be overlayed onto the stormwater management plan and resubmitted to Council. Detailed sections are to be provided to demonstrate that all structural support elements are located away from the zone of influence of the existing stormwater pipe. A Registered Structural Engineer is to provide certification certifying the aforementioned requirements.

- c) The discharge of stormwater into Sydney Water's stormwater conduit (including any required hydrological or hydraulic calculations and the connection into it) shall be review and approved by Sydney Water. Prior to Council approving the stormwater management plan, correspondence shall be submitted to Council confirming approval from Sydney Water. The applicant will need to acquire an easement to allow for the connection between the property boundary and Sydney Water's stormwater conduit.
- d) Prior to Council approving the stormwater management plan, submission to Council of suitable documentary evidence issued by the NSW Land Registry Services confirming the creation of a drainage easement to drain water over the adjacent property, benefiting the subject lot known as 79-103 Wellington Street, and burdening the adjacent property known as 105 Wellington Street has been registered with the NSW Land Registry Services is to be undertaken.
- e) The plans shall provide a complete and detailed OSD design including multiple cross-sections, proposed construction materials, and full orifice details. The checklist as set out in Council's Water Management Technical Manual shall be completed and submitted.
- f) A certificate from a registered structural engineer certifying the structural adequacy of any OSD tank structure shall be provided. Any OSD tank structure shall be cast in-situ concrete based.

- g) The design must make provision for the natural flow of stormwater runoff from uphill/upstream properties/lands. The design must include the collection of such waters and discharge to the Council drainage system (independent of any OSD system).
- h) Details of any rainwater reuse system required by BASIX commitments, as nominated on the architectural plan or for water quality purposes including the overflow connection to the approved stormwater drainage system are to be submitted.
- i) Seepage water must not be directly or indirectly discharged to Council's street gutter.
- j) The underground basement shall be protected from possible inundation by surface waters from the street.
- k) Show an alarm system comprising of basement pump-out failure warning sign together with a flashing strobe light and siren installed at a clearly visible location at the entrance to the basement in case of pump failure. A 150 mm freeboard from the pump out system to all parking spaces and full hydraulic details and pump manufacturers specification are to be provided.
- l) Pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits and inspection openings and their location shall be provided. Calculations demonstrating the proposed stormwater drainage system can cater for the relevant storm event shall be provided.
- m) A long section of the connection to Sydney Water's stormwater conduit shall be provided and its details must be included (e.g. the location of existing services crossing and the clearances, existing surface levels, obvert and invert of existing pipe and invert level of the outlet pipe).
- n) Must achieve a minimum of 90% reduction in the post development mean annual load of total gross pollutants (greater than 5 mm); 80% reduction in the post development mean annual load of total suspended solids (SS); 55% reduction in the post development mean annual load of total phosphorus (TP) and 40% reduction in the post development mean annual load of total nitrogen (TN). Access for a suitably qualified professional to conduct routine maintenance activities of any proposed water quality treatment system shall be provided.
- o) Any affected Council's infrastructure as the result of construction activities within the public domain area, inclusive of stormwater, stormwater outlet/s, kerb and gutter, pavement, grass verges and vehicle crossovers within the extent works shall be replaced as per Waverley Council Public Domain Technical Manual. All associated costs shall be borne by the applicant.

Notes:

- Since a sewer main runs through the property, plans must also be presented to a Sydney Water Tap in™ for their approval.
- The Applicant is advised to consider the finished levels of the public domain, including new or existing footpaths and pavement prior to setting the floor levels for the proposed development.
- Waverley Council standard drawings for public domain infrastructure assets are available upon request. Details that are relevant may be replicated in the Engineering design submissions however, Council's title block shall not be replicated.
- Prior to commencement of works a security deposit will be made payable to Council to ensure any additional damage or unauthorised works within the Council property, not conditioned above. Council will reserve the right to withhold the cost of restoring the damaged assets from the security deposit should the applicant fail to restore the defects to the satisfaction of Council.

Council's contact for infrastructure assessment: E-mail: assets@waverley.nsw.gov.au or Phone: 9083 8886 (operational hours between 9.30am to 4pm Monday to Friday).

26. STORMWATER: ENGINEERING PLANS ASSESSMENT AND WORKS INSPECTION FEES

The applicant is to pay to Council fees for assessment of all engineering plans and inspection of the completed works in the public domain inclusive of all stormwater assessment, in accordance with Council's Schedule of Fees & Charges at the time of engineering plan approval, prior to such approval being granted by Council.

An invoice will be issued to the applicant for the amount payable, which will be calculated based on the design plans for the subject development

PUBLIC DOMAIN

27. PUBLIC DOMAIN IMPROVEMENTS

The public domain is to be upgraded along Wellington Street and O'Brien Street frontages of the development site in accordance with the current Waverley Council Development Control Plan (DCP) and Public Domain Technical Manual (PDTM) at the time of engineering plan approval. A public domain plan for the following works shall be submitted to Council and approved by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate:

- Road pavement
- Pedestrian footpath
- Vehicular crossing
- Kerb and gutter
- Stormwater infrastructure located within the Council road reserve
- Street lighting
- Street tree plantings and landscape

28. PUBLIC INFRASTRUCTURE WORKS

Public infrastructure works shall be designed and constructed as outlined in this condition of consent. The approved works must be completed to Council's satisfaction at no cost to Council.

Full design engineering drawings to be prepared by a suitably qualified and experienced engineering professional and be submitted to Council for approval by the Executive Manager, Infrastructure Services (or delegate) prior to the issue of the relevant Construction Certificate.

The applicant must submit plans and specifications for the following infrastructure works to Councils Public Domain Engineer:

- a) Road Pavement: The full renewal and reconstruction of asphalt pavement for half road width in Wellington Street and O'Brien Street full frontage of the development site. Details of the road pavement treatments and sub-grade details to be advised by Council.
- b) Footpath, Kerb and Gutter: Replace all footpath, kerb and gutter and grassed verge traversing Wellington Street and O'Brien Street full frontage of the site in accordance with the current Waverley

Council Development Control Plan (DCP) and Public Domain Technical Manual (PDTM) at the time of engineering plan approval.

Proposed kerb profiles are to be provided to ensure proper connections to existing kerb and gutter along the street frontage. The proposed footpath material, profile and street furniture details traversing the frontage to be advised by Council. Any stormwater kerb lintel infrastructure within the extent of kerb and gutter works shall be replaced.

c) Street Trees: The following street trees shall be planted along Wellington Street and O'Brien Street site frontages:

- Four (4) *Banksia integrifolia* (coast Banksia) evenly spaced along O'Brien Street (from Wellington Street east to the end of the property line).
- One (1) *Eucalyptus haemastoma* at 85 Wellington Street
- Three (3) *Eucalyptus haemastoma* between 91 and 99 Wellington Street
- Two (2) *Eucalyptus haemastoma* between 99 to 101 Wellington Street

The following shall comply with:

- i. All trees to evenly spaced along the naturestrip and planted as per the Public Domain Technical Manual I.05 New Street Tree - Nature Strip. All trees proposed within the Council verge will require installation of the suitable tree pits, surrounds and root barriers.
 - ii. The trees must be a minimum pot size of 100 liters when planted. The trees are to be planted by a horticulturist (Min qualification AQF Level 3).
 - iii. The tree species and location shall not interfere with the local pedestrian and/or traffic activities. All the proposed tree species, locations and sizes are to be approved by Council's Public Domain Engineer prior to commencement of public domain works.
 - iv. A bond of **\$ 1000 for each tree** (total amount of \$10,000) is to be lodged with Council either as cash or by way of an unconditional bank guarantee to ensure the protection of the newly planted *Banksia integrifolia* and the *Eucalyptus haemastoma* trees on the naturestrip. The bond is to be lodged prior to the issue of a Construction Certificate.
- d) Street lights: Make provision for new street lights serviced by metered underground power and on multifunction poles (MFPs). The consultant shall liaise with Council in obtaining Councils requirements and specifications for the street columns and components, including the appropriate LED luminaire. LED luminaire columns shall be supplied and installed to meet pedestrian compliance standards.

New lighting shall be designed and installed to Australian Standard AS1158:2010 - Lighting for Roads and Public Spaces. Plans shall be prepared and certified by a suitably qualified Electrical Design Consultant and submitted to Councils Public Domain Engineer for approval prior to lodgement of the scheme with Ausgrid for their approval.

e) Any existing or proposed utility pillars on the site frontages to be either underground or inside the property boundary of the proposed development. Applicant must liaise with the relevant authorities for their approval and communicate to Council with written confirmation, before executing any works.

- f) All mains electrical connections to the development must be routed underground. Council will not accept the erection of newly placed electricity columns within the Council's public domain to support the new development.

Note: Council's contact for public domain: E-mail: assets@waverley.nsw.gov.au or Phone: 9083 8886 (operational hours between 9.30am to 4.00pm Monday to Friday).

29. PUBLIC DOMAIN: ENGINEERING PLANS ASSESSMENT AND WORKS INSPECTION FEES

The applicant is to pay to Council fees for assessment of all engineering and public domain plans and inspection of the completed works in the public domain, in accordance with Council's Schedule of Fees & Charges at the time of engineering plan approval, prior to such approval being granted by Council.

An invoice will be issued to the Applicant for the amount payable, which will be calculated based on the design plans for the public domain works.

ENERGY EFFICIENCY & SUSTAINABILITY

30. BASIX

All requirements of the BASIX Certificate and NatHERS documentation are to be shown on the Construction Certificate plans and documentation.

The rainwater tank location, size and tank(s) are to be drawn to scale. If an underground tank is proposed, then this must be clearly stated. Plans should show and state the roof area draining to rain tank(s) and match the BASIX certificate.

WASTE

31. SITE WASTE AND RECYCLING MANAGEMENT PLAN

A *Site Waste and Recycling Management Plan (SWRMP) - Part 2* is to be submitted to the Principal Certifying Authority prior to the issue of the relevant Construction Certificate, which outlines materials to be reused and/or recycled as a result of demolition and construction works. At least one copy of the *SWRMP Part 2* is to be available on site at all times during construction. Copies of demolition and construction waste dockets that verify the facility that received the material for recycling or disposal and the quantity of waste received, must be retained on site at all times during construction.

32. WASTE STORAGE AREAS

The development must have a bin storage area with sufficient space to accommodate the following minimum number of bins for the residential and/or commercial components of the development. There must also be a waste holding area for MGBs and bulky waste of sufficient size for the weekly collection of waste off-street by Council's waste collection vehicles.

- **Residential** (20 x 1-bed, 23 x 2-bed and 9 x 3-bed units)
 - 8 x 660L Mobile Garbage Bins (MGBs) for general waste for weekly collection
 - 8 x 660L MGBs for paper and cardboard recycling for fortnightly collection
 - 8 x 660L MGBs for container recycling for fortnightly collection

- A minimum of 10m² floor space for household bulky waste waiting for collection
- A minimum of 2m² floor space for problem waste storage (e.g. electronic waste or textile waste) waiting for collection
- All waste and recycling storage rooms must be built to meet all appropriate design requirements set in Part B1 of the *Waverley Council Development Control Plan 2012* to the satisfaction of the Principal Certifying Authority.

NOISE

33. NOISE MANAGEMENT PLAN - DEMOLITION, EXCAVATION AND CONSTRUCTION

A site specific Noise Management Plan, prepared by a suitably qualified acoustic consultant (as defined in the advisory section of this consent) must be submitted to the satisfaction of Council's Executive Manager, Compliance (or delegate) for demolition, excavation and construction works.

For further information on the requirements, refer to Council's website:

https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications_-_conditions_of_consent

TREE PROTECTION AND REMOVAL

34. TREE PROTECTION

(a) Approval is given under this development consent for the following tree works to be undertaken to trees within the subject property:

- Trees to be removed in **red**
- Trees to be retained and protected in **green**
- Street trees to be Retain & Protect in **blue**

Tree No.	Species	Location	Action
1	<i>Melaleuca quinquenervia</i>	Street tree	Retain & Protect
2	<i>Cupressus sempervirens</i>	On site	Remove as per Arborist report.
3	<i>Callistemon sp.</i>	On site	Retain & Protect
4	<i>Melaleuca styphelioides</i>	On site	Remove as per Arborist report.
5	<i>Morus sp.</i>	On site	Remove as per Arborist report.
6	<i>Melaleuca quinquenervia</i>	On site	Retain & Protect
7	<i>Schefflera actinophylla</i>	On site	Remove as per Arborist report.
8	<i>Mangifera indica</i>	On site	Retain & Protect
9	<i>Syzigium sp</i>	On site	Retain & Protect
10	<i>Lagerstroemia indica</i>	On site	Retain & Protect
11	<i>Eucalyptus botryoides</i>	Street tree	Retain & Protect

12	<i>Plumeria sp</i>	On site	Remove as per Arborist report.
13	<i>Melaleuca quinquenervia</i>	Street tree	Retain & Protect
14	<i>Cupressus sempervirens</i>	On site	Remove as per Arborist report.
15	<i>Melaleuca quinquenervia</i>	Street tree	Retain & Protect
16	<i>Melaleuca quinquenervia</i>	Street tree	Retain & Protect
17	<i>Melaleuca quinquenervia</i>	Street tree	Retain & Protect
18	<i>Archontophoenix alexandrae</i>	On site	Remove as per Arborist report.
19	<i>Archontophoenix alexandrae</i>	On site	Remove as per Arborist report.
20	<i>Archontophoenix alexandrae</i>	On site	Retain & Protect
21	<i>Archontophoenix alexandrae</i>	On site	Retain & Protect
22	<i>Schefflera sp</i>	On site	Remove as per Arborist report.
23	<i>Archontophoenix alexandrae</i>	On site	Retain & Protect
24	<i>Howea forsteriana</i>	On site	Retain & Protect
25	<i>Melaleuca styphelioides</i>	On site	Retain & Protect

(b) The six (6) street trees to be retained and protected for the duration of works.

(c) Tree protection is to be installed around the trunk of the trees in accordance with Australian Standards AS 4970 – Protection of Trees on Development Sites prior to construction works.

(d) All trees on site and adjoining properties, including street trees, are to be retained and protected in accordance with AS4970-2009 'Protection of Trees on Construction Sites' and to be certified by an Arborist with AQF level 5 qualification or above, unless approved to be removed in this development consent.

C. COMPLIANCE PRIOR TO WORK COMMENCING AND DURING CONSTRUCTION

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

PRIOR TO ANY WORKS

35. CONSTRUCTION SIGNS

Prior to commencement of any works on the site and during construction a sign shall be erected on the main frontage of the site detailing the name, address and contact details (including a telephone number) of the Principal Certifying Authority and principal contractor (the coordinator of the building works). The sign shall be clearly legible from the adjoining street/public areas and maintained throughout the building works.

36. DILAPIDATION REPORT

A Dilapidation report is to be prepared for any adjoining or nearby property that may be subject to potential damage as a result of any works being undertaken. The dilapidation report is to be made available to affected property owners.

The report is to be dated, submitted to, and accepted by the Principal Certifying Authority, prior to any work commencing on the site.

Note: Any damage that may be caused is a civil matter. This consent does not allow or authorise any party to cause damage, trespass, or any other unlawful act and Council will not be held responsible for any damage that may be caused to adjoining buildings as a consequence of the development being carried out. Council will not become directly involved in disputes between the builder, owner, developer, its contractors and the owners of neighbouring buildings.

37. USE OF FILL ON SITE

All fill imported on to the site shall be free of building and other demolition waste, and contain virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 of the Protection of the Environment Operations Act, 1997 and

Sampling and analysis of the fill material should be conducted in accordance with the NSW EPA Sampling Design Guidelines (1995) to ensure that the material is not contaminated.

Any other waste derived material the subject of a resource recovery exemption under cl. 51A of the *Protection of the Environmental Operations (Waste) Regulations 2014* that is permitted to be used as fill material.

Any waste derived material the subject of resource exemption received at the development site must be accompanied by documentation as to the materials compliance with the exemption conditions and must be provided to the Principal Certifying Authority on request.

DEMOLITION & EXCAVATION

38. DEMOLITION – ASBESTOS AND HAZARDOUS MATERIALS

The demolition, removal, storage, handling and disposal of products and materials containing asbestos must be carried out in accordance with the relevant requirements of SafeWork NSW and the NSW Environment Protection Authority (EPA), including:

- Work Health and Safety Act 2011;
- Work Health and Safety Regulation 2017;
- SafeWork NSW Code of Practice for the Safe Removal of Asbestos;
- Australian Standard 2601 (2001) – Demolition of Structures;
- *Protection of the Environment Operations Act 1997*.

At least 5 days prior to the demolition, renovation work or alterations and additions to any building, the person acting on the consent shall submit a Work Plan to the Principal Certifying Authority in accordance with Australian Standard AS 2601-2001, Demolition of Structure and a Hazardous Materials Assessment prepared by a person with suitable expertise and experience. The Work Plan and Hazardous Materials Assessment shall:

- (a) Outline the identification of any hazardous materials, including surfaces coated with lead paint;
- (b) Confirm that no asbestos products are present on the subject land, or
- (c) particularise a method of safely disposing of the asbestos in accordance with the Code of Practice on how to safely remove asbestos published by SafeWork NSW (catalogue WC03561);
- (d) Describe the method of demolition;
- (e) Describe the precautions to be employed to minimise any dust nuisance; and
- (f) Describe the disposal methods for hazardous materials.

39. CONTROL OF DUST ON CONSTRUCTION SITES

The following requirements apply to demolition and construction works on site:

- (a) Hazardous dust is not to be allowed to escape from the site. The use of fine mesh dust proof screens or other measures are recommended. Any existing accumulations of dust (e.g. ceiling voids and wall cavities) must be removed by the use of an industrial vacuum fitted with a high efficiency particle air (HEPA) filter. All dusty surfaces and dust created from work are to be suppressed by a fine water spray. Water must not be allowed to enter the street and stormwater systems. Demolition is not to be performed during adverse winds, which may cause dust to spread beyond the site boundaries.
- (b) All contractors and employees directly involved in the removal of hazardous dusts and substances are to wear protective equipment conforming to Australian Standard AS1716 Respiratory Protective Devices.

40. CLASSIFICATION OF WASTE/ DISPOSAL OF EXCAVATED SOILS

Prior to the exportation of waste (including fill or soil) from the site the material must be classified in accordance with the provisions of the Protection of the Environment Operations Act, 1997 and the NSW EPA Waste Classification Guidelines 2014.

41. EXCAVATION AND BACKFILLING

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with the appropriate professional standards and must be properly guarded and protected to prevent them from being dangerous to life or property.

If an excavation associated with the erection or demolition of a building extends below the level of the footings of a building on an adjoining allotment of land, the excavation is to be managed by a practising structural engineer.

CONSTRUCTION MATTERS

42. CONSTRUCTION HOURS

Demolition and building work must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays and 8am to 3pm on Saturdays with no work to be carried out on:

- (a) Sundays and public holidays.
- (b) Excavation works involving the use of heavy earth movement equipment, including rock breakers and the like, must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays, with no such work to be carried out on Saturday, Sunday or a public holiday.

Noise from construction activities shall comply with the Protection of the Environment Operations (Noise Control) Regulation 2017.

43. STOCKPILES, STORAGE OF MATERIALS AND LOCATION OF BUILDING OPERATIONS

All building materials and any other items associated with the development are to be stored within the property. No materials are to be stored on Council's footpath, nature strip, or road reserve without prior Council approval.

44. CONSTRUCTION INSPECTIONS

The building works are to be inspected during construction by the Principal Certifying Authority (PCA) in accordance with the *Building Legislation Amendment (Quality of Construction) Act 2002*, clause 162A of the *Environmental Planning and Assessment Regulation 2000* and the requirements of any other applicable legislation or instruments.

45. CERTIFICATE OF SURVEY - LEVELS

All construction works are to be in accordance with the Reduced Levels (RLs) as shown on the approved plans. Certification from a Registered Surveyor certifying ground, upper floor/s and finished ridge levels is to be submitted to the Principal Certifying Authority during construction and prior to continuing to the construction of a higher level of the building.

46. CERTIFICATE OF SURVEY - BOUNDARIES AND LOCATION OF BUILDING

A Certificate of Survey prepared by a Registered Surveyor setting out the boundaries of the site and the location of the building on the site is to be submitted to the Principal Certifying Authority to certify the building is located in accordance with the development consent plans. The Certificate is to be submitted prior to the construction of the external walls above the ground floor level of the building.

47. TREATMENT OF BOUNDARY WALLS

Any wall/s approved on the boundary with the neighbouring property are to be finished to the same standard as the remaining building and not left unfinished to ensure a consistent visual appearance.

48. WORK OUTSIDE PROPERTY BOUNDARY

This consent does not authorise any work outside the property boundary.

TREE PROTECTION

49. TREE PROTECTION

Precautions shall be taken when working near trees to ensure their retention (including street trees), including the following:

- (a) Do not store harmful or bulk materials or spoil under or near trees;
- (b) Prevent damage to bark and root system;
- (c) Do not use mechanical methods to excavate within root zones;
- (d) Do not add or remove topsoil from under the drip line;
- (e) Do not compact ground under the drip line;
- (f) Do not mix or dispose of liquids within the drip line of the tree; and
- (g) All trees marked for retention must have a protective fence/guard placed around a nominated perimeter.

TPZ – A 1.8m chain link wire fence or the like shall be erected around the above trees to be retained to protect them from damage during construction. Fencing is not to be removed until all building work has been completed. Fencing to be installed to the dimensions outlined in the table above.

Soil levels are not to be changed around any trees.

To prevent compaction within the root zone, excavation undertaken within the specified radius of the trunks of the following trees must be hand dug. Beyond this radius, mechanical excavation is permitted, when root pruning by hand along the perimeter line of such works is completed. Any hand excavation must be carried out in the presence of experienced Arborist/Horticulturist (with a minimum of the Horticulture Certificate or Tree Surgery Certificate).

If any tree roots are exposed during any approved works then roots smaller than 30mm are to be pruned as per the specifications below. Any roots greater than 30mm are to be assessed by a qualified arborist before any pruning is undertaken.

If tree roots are required to be removed for the purposes of constructing the approved works, they shall be cut cleanly by hand, by an experienced Arborist/Horticulturist (with a minimum of the Horticulture Certificate or Tree Surgery Certificate).

It is the arborist's responsibility to determine if such root pruning is suitable. If there are any concerns regarding this process, then Waverley Council's Tree Management Officer is to be contacted to make final determination.

If any trees on neighboring properties require pruning, then permission must be gained from the owner of the tree(s) and an 'Application to Prune or Remove Trees on Private Property' is then to be presented to Council for processing.

50. STREET TREES TO BE RETAINED/TREE PROTECTION

No existing street trees shall be removed without Council approval. Precautions shall be taken when working near trees to ensure their retention, including the following:

- (a) Do not store harmful or bulk materials or spoil under or near trees;
- (b) Prevent damage to bark and root system;
- (c) Do not use mechanical methods to excavate within root zones;
- (d) Do not add or remove topsoil from under the drip line;
- (e) Do not compact ground under the drip line;
- (f) Do not mix or dispose of liquids within the drip line of the tree; and
- (g) All trees marked for retention must have a protective fence/guard placed around a nominated perimeter in accordance with AS4970-2009 "Protection of trees on construction sites.

VEHICLE ACCESS & PUBLIC DOMAIN WORKS

51. NEW VEHICLE CROSSINGS

New vehicle crossings are to be provided to access the proposed basement car park. A separate application is required for the vehicle crossing, with all work to be carried out with the approval of and in accordance with the requirements of Council.

52. EXISTING VEHICLE CROSSINGS ARE TO BE CLOSED

The existing vehicle crossings are to be closed and all work associated with the closures is to be carried out with the approval of, and in accordance with, the requirements of Council

53. VEHICULAR ACCESS - FINISHED LEVEL

The finished level at the property boundary on **both** sides of each vehicle crossing is to be **50mm above** the level of the existing concrete footpath

54. CAR PARKING

A total of 56 car vehicle parking spaces are to be provided within the development, allocated in the following manner:

- a) 32 residential parking spaces for the non-affordable residential apartments
- b) 11 residential parking spaces for the affordable residential apartments
- c) 10 residential visitor parking spaces
- d) 1 loading space clearly marked and signposted
- e) At least 10% of all the car parking spaces are to be allocated as accessible parking spaces and be shared amongst the residential, visitor and commercial spaces where applicable.

5 'Level 2' AC fast electric vehicle charging points and 1 electric charging point and parking space for bicycles and motor scooters is to be provided.

Accessible parking spaces are to be designed in accordance with Australian Standard AS2890.6 - 2009 Off Street Parking for People with Disabilities.

Car parking spaces are to be allocated with the rates specified in the DCP, with no more than 2 spaces allocated to any residential unit/dwelling with 3 or more bedrooms. All car spaces are to be appropriately signposted and parked.

Car parking spaces shall not be independent lots, but rather part lots attached to units in any future Subdivision Plans. Visitor parking spaces shall be common property.

55. MOTORCYCLE PARKING

A total of **19** motorcycle parking spaces are to be provided within the basement car parking area. Details are to be submitted to the Principal Certifying Authority prior to the issue of the relevant Construction Certificate.

56. BICYCLE PARKING

A minimum of 57 bicycle parking spaces/racks are to be provided within the development, allocated in the following manner:

- a) 52 residential bicycle spaces
- b) 5 visitor bicycle spaces

The bicycle spaces are to be designed in accordance with Australian Standard AS2890.3 - 2015 Parking Facilities - Bicycle Parking. Details are to be shown in documentation and on plans to be submitted to Council for the approval of the Executive Manager, Infrastructure Services, or delegate prior to the issue of the Construction Certificate.

The resident bicycle spaces are to be provided by way of suitable bicycle racks. Details of this are to be submitted to Council for the approval of the Executive Manager, Infrastructure Services, or delegate.

57. VEHICLE PRIORITY/TRAFFIC LIGHT SYSTEM

A vehicle priority system (mirrors etc.) or traffic light system shall be provided for driveways and ramps which have access via a single lane to or from car parking spaces. Details are to be shown in documentation and on plans to be submitted to Council for the approval of the Executive Manager, Infrastructure Services, or delegate prior to the issue of the Construction Certificate.

58. PRE-CONSTRUCTION DILAPIDATION REPORT

To ensure Council's infrastructure is adequately protected a pre-construction dilapidation report on the existing public infrastructure within the vicinity of the proposed development and along the travel routes of all construction vehicles is to be submitted to Council. The report shall detail, but not be limited to, the location, description and photographic record (in colour) of any observable defects to the following infrastructure where applicable:

- Road pavement
- Kerb and gutter
- Footpath

- Drainage pits and lintels
- Traffic signs
- Any other relevant infrastructure

The report is to be dated, submitted to, and accepted by Council's Public Domain Engineer, prior to any work commencing on the site. All fees and charges associated with the collation of this report shall be at the cost of the Applicant.

59. PUBLIC DOMAIN ENGINEERING INSPECTIONS

To ensure all public infrastructure engineering works required by Council under this consent will be constructed to Council satisfaction, inspection(s) will be required and compliance certificates must be obtained from Council's Public Domain Engineer for the road pavement, kerb and gutter, stormwater, footpath paving, street furniture, street trees and landscape hold points.

All applicable engineering inspection fees in accordance with Council's Management Plan are to be fully paid prior to issue of Construction Certificate for the works. A minimum 48 hours' notice will be required when booking for the site inspections.

STORMWATER

60. PRE-CONSTRUCTION STORMWATER PIPE CCTV DILAPIDATION REPORT

Prior to doing any works, internal inspection of the Sydney Water's stormwater conduit to determine its structural and serviceability condition must be carried out by a Closed Circuit Television (CCTV) by an approved contractor. The report is to be submitted to Council's Executive Manager, Infrastructure Services (or delegate) for its review. No works on the stormwater conduit shall commence until given approval by Council.

D. PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE OR SUBDIVISION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required, prior to the issue of an Occupation Certificate or Subdivision Certificate, whichever applies.

CERTIFICATES, LICENCES, EASEMENTS AND RESTRICTIONS

61. FINAL OCCUPATION CERTIFICATE

Prior to occupation or use of the development, an Occupation Certificate must be obtained.

The Principal Certifying Authority must be satisfied that the requirements of the *Environmental Planning & Assessment Act 1979* have been satisfied including all critical stage inspections. Documentary evidence of all required inspections is to be submitted to Council.

62. CERTIFICATION OF ALL MECHANICAL PLANT

A Certificate of Test of all mechanical plant together with a copy of the final test figures, conducted by a suitably qualified person, certifying that the system complies with the conditions of this consent, National Construction Code (NCC) and relevant Australian Standards.

63. CERTIFICATION OF BASIX COMMITMENTS

The Principal Certifying Authority shall certify that the all the undertakings in the approved BASIX certificate have been completed.

64. CERTIFICATION OF APPROVED DESIGN (SEPP 65 BUILDINGS)

In accordance with the Environmental Planning and Assessment Regulations 2000, the Principal Certifying Authority must not issue an occupation certificate, to authorise a person to commence occupation or use of the development unless it has received a design verification statement from an architect who is registered in accordance with the Architects Act 2003 (i.e. qualified designer) that verifies that the building achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles.

65. CERTIFICATION OF LANDSCAPING

At the completion of all works a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboriculture Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established. If relevant, the waterproofing on any green roof is to be tested and evidence of the test is to be provided with the certification.

66. RESTRICTION AS TO USER (AFFORDABLE HOUSING)

A restriction as to user must be registered prior to the issue of an Occupation Certificate, in accordance with section 88E of the Conveyancing Act 1919 on the title which restricts the use of any accommodation to which this development consent relates.

The terms of the restriction as to user are to be approved by Council in writing prior to registration. The Council shall be the party who has the right to modify or extinguish the restriction. All legal costs associated with the registration of the restriction is to be borne by the owner.

67. FIRE SAFETY WORKS

The Occupation Certificate shall not be released by Council or an accredited certifier, until all fire safety works are completed and a Final Fire Safety Certificate has been submitted to Council, certifying that each essential fire safety measure specified within the current Fire Safety Schedule:-

- (a) has been assessed by a properly qualified person; and
- (b) has been found, when it was assessed, to be capable of performing to at least the standard required by the current Fire Safety Schedule for the building for which the Certificate is issued.

PUBLIC DOMAIN

68. SUPERVISING ENGINEER FINAL CERTIFICATE – PUBLIC DOMIAN

Prior to the issue of any Occupation Certificate for the works, the Applicant shall submit to Council, a Final Certificate from the Supervising Engineer confirming that the public domain works have been constructed in accordance with the Council approved plans and Waverley Council standards and specifications. The certificate shall include commentary to support any variations from the approved drawings.

69. WORK-AS-EXECUTED PLAN – PUBLIC DOMIAN

To ensure public infrastructure works required under the consent are completed in accordance with approved plans and specifications, a Work-as-Executed plan of the works, prepared by a registered surveyor is to be submitted to the Principal certifying Authority and Council for review with any required rectification works completed and approved by Council prior to issue of any Occupation Certificate.

The W.A.E plans are to note all departures clearly in red on a copy of the approved Construction Certificate plans and certification from an experienced chartered civil engineer shall be submitted to support all variations from approved plans.

70. CERTIFICATION OF PUBLIC INFRASTRUCTURE WORKS

Prior to the issue of any Occupation Certificate, a final Compliance Certificate shall be obtained from Council confirming that all works in the road reserve including all public domain infrastructure works and restoration, have been completed to Council's satisfaction.

STORMWATER

71. WORKS-AS-EXECUTED DRAWINGS – STORMWATER DRAINAGE SYSTEM

- a. A Works-As-Executed drawing (WAED) of the stormwater drainage system must be prepared, stamped and signed by a Registered Surveyor. This drawing must detail the alignment of all pipelines, pits, any basement pump-out facility, any detention facility, any rainwater harvesting facility, any

stormwater treatment device and other drainage related infrastructure. An original or a colour copy must be submitted to Waverley Council. Where changes have occurred, the Council approved plans shall be marked-up in red ink and shall include levels and location for the drainage structures and works.

- b. A suitably qualified and practising Engineer must provide certification of the WAED of the stormwater drainage system that the stormwater drainage works were constructed to their satisfaction and in accordance with the Development Consent, Water Management Technical Manual, all applicable Codes, Policies, Plans, Standards and good engineering practice. A copy of the aforementioned letter of certification must be submitted to Council.

72. ON-SITE STORMWATER DETENTION CERTIFICATION

The submission of certification by a suitably qualified and practising Engineer for any on-site stormwater detention system, attesting the storage volume, discharge rate and satisfactory operation of the system prior to the release of any Occupation Certificate.

73. CREATION OF POSITIVE COVENANT AND RESTRICTION FOR OSD

Prior to the issue of an Occupation Certificate, a “Positive Covenant” and “Restriction on the Use of Land” shall be created for the On-Site Stormwater Detention (OSD) system, under Section 88E of the Conveyancing Act 1919. This is to place a restriction on the Title that the OSD system is maintained and kept free of debris/weed to allow unobstructed passage of stormwater through the site and underneath the residence. The property owner/occupant shall not modify or remove the OSD system without consent from Council.

The wording of the Instrument shall be submitted to and approved by Executive Manager, Infrastructure Services (or delegate) prior to lodgement at NSW Land Registry Services.

Where a Title exists, the Positive Covenant and Restriction on the Use of Land is to be created via an application to the NSW Land Registry Services using forms 13PC and 13RPA. Accompanying this form is the requirement for a plan to scale showing the relative location of the OSD system, including its relationship to the building footprint. Electronic colour photographs of the OSD system shall accompany the application for the Positive Covenant and Restriction on the Use of Land.

The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by the consent authority prior to the issue of an Occupation Certificate or use of the building. All associated costs shall be borne by the applicant.

74. PLANNED PREVENTATIVE MAINTENANCE SCHEDULE FOR PUMP OUT SYSTEM

The registered proprietor shall be required to submit written intent to establish and maintain a Planned Preventative Maintenance (PPM) schedule of any pump out system prior to the issue of Occupation Certificate. Council will not be liable for any claims for damages arising from the failure of the system. Evidence shall be submitted to the Executive Manager, Infrastructure Services or delegate prior to the issue of the Occupation Certificate.

75. POST-CONSTRUCTION STORMWATER PIPE CCTV DILAPIDATION REPORT

Prior to the issue of the Occupation Certificate, a post-construction CCTV report shall be submitted to Council on the existing stormwater conduit at least up to the next pit downstream of the proposed works.

This is to ensure that Sydney Water's stormwater infrastructure is adequately protected and there are no damages due to proposed construction activities and property drainage connections.

An electronic closed circuit television report (track mounted CCTV camera footage) prepared by an accredited operator that assesses the condition of the existing drainage line adjacent to the site is required. The report is to be dated and submitted to, and accepted by Council's Executive Manager, Infrastructure Services (or delegate).

The report shall be used by Council's Executive Manager, Infrastructure Services (or delegate) to assess whether any rectification works will be required. The applicant shall obtain written approval from Council's Executive Manager, Infrastructure Services (or delegate) prior to the issue of the Occupation Certificate.

MANAGEMENT PLANS

76. PLAN OF MANAGEMENT - WASTE AND RECYCLING STORAGE

A Waste Management Plan must be submitted to Council's Executive Manager, Environmental Sustainability (or delegate) and include including the following where relevant;

- (a) All arrangements including relevant and current contracts for recyclables and all other waste (collection and disposal)
- (b) The waste storage area and bins must be cleaned and maintained regularly with appropriate lighting.
- (c) The role and responsibility of managing composting facilities (if provided);
- (d) Clear signage identifying the different bin types, space for reusable items such as crates and pallets, bulky household waste and problem waste must be displayed.
- (e) The recycling bins must be placed alongside the general waste bins for ease of access and to encourage recycling habits.
- (f) Responsibilities for transporting bins from the storage points to the nominated collection area, cleaning of bins, cleaning of storage areas and booking and transporting bulky waste for Council pick up must be outlined in contracts with the building manager, cleaners and tenants.
- (g) All waste and recycling bins must only be collected onsite.
- (h) The occupant/body corporate shall be provided with at least one copy of the Waste Management Plan. An additional copy of the plan is be available on site when requested.
- (i) At no times shall bins be stored on the public domain (e.g. footpaths).

OTHER MATTERS

77. SYDNEY WATER SECTION 73 COMPLIANCE CERTIFICATE

A Section 73 Compliance Certificate must be issued from Sydney Water prior to the issue of an occupation certificate.

78. WAVERLEY DIGITAL MODEL

An accurate 'as built' 3D digital model of the building must be submitted to be used in the Waverley Digital Model, to the satisfaction of Council's Digital Urban Designer which complies with the requirements outlined in on Council's website at:

https://www.waverley.nsw.gov.au/building/development_applications/decision_makers/3d_modelling

79. ALLOCATION OF STREET NUMBER

The redevelopment of the property has led to the following allocation of premises numbers:

- No. 81 - primary address site number and
- Wellington Street - primary address location.

The primary premises number for the property shall be a minimum of 75mm high and shall be positioned 600mm-1500mm above ground level and be clearly visible on the site boundary that fronts Wellington Street.

As the redevelopment has multiple building and multi-level sub addressing the following sub addressing will apply;

- Each building within the development should be assigned a unique alphanumeric suffix,
- Within the whole site, the apartment/units should all be allocated a unique sub-address number, numeric numbers shall not be repeated regardless of the alpha prefix.
- The floor/level number will represent the first number of the sub address and the last two digits in the sub address shall be unique on each level,
- For clarity, a zero will be interposed in the number of the first nine sub address levels ie Level 3 unit 7 =307,
- Level at ground and below ground shall also be identified by prefixes to distinguish these levels ie Ground =G, Lower Ground = LG Basement = B, B1 Etc

The primary and sub-address numbers are to be positioned on the site prior to the issue of the Occupation Certificate and Council notified of the corresponding sub-address numbers to lot number prior to the issue of the Occupation Certificate.

Any variation to the above premises numbering requires a new application for a Change of street number and/or location to be lodged with Council.

80. AMALGAMATION OF LOTS

All lots forming the site, that is, being Nos. 79, 81, 85, 87, 91, 93, 95-97, 99, 101-103 Wellington Street BONDI BEACH shall be amalgamated into one lot prior to the issue of an Occupation Certificate.

E. OPERATIONAL MATTERS

The following operational conditions must be complied with at all times, throughout the use and operation of the development or use.

PARKING AND ACCESS

81. VEHICLE ACCESS

All vehicles including service vehicles entering and exiting the building are to do so in a forward direction.

Any vehicle utilising a car, motorcycle or bicycle space is to be parked fully within the confines of the site and is not to park over the public footway at any time.

82. PARKING PERMITS

In accordance with Council's Policy, Residents Preferred Parking permits will **not** be issued for this development when completed.

83. ADJUSTMENTS TO STREET SIGNS

Any street signs required to be removed as a result of the works shall be relocated at the applicant and/or owner's expense in accordance with Council's requirements.

84. ON SITE GARBAGE COLLECTION

The collection of residential waste and recycling is to be undertaken on the site. No bins are to be stored or left on the street for collection.

85. DELIVERY OF GOODS

Loading and unloading of vehicles and delivery of goods to the building are to be carried out within the site.

STORMWATER

86. RAINWATER HARVESTING AND REUSE

The operation of all devices or appliances installed within the development approved by this consent as required by conditions pertinent to rainwater harvesting and rainwater reuse must be maintained in good operating order at all times.

87. ONGOING MAINTENANCE – STORMWATER TREATMENT SYSTEM

The stormwater treatment system must be maintained in accordance with the manufacturer's or designer's specification for the life of the development. Council will need to be provided with a Maintenance Schedule that supports the routine maintenance activities.

AMENITY & SAFETY

88. WASTE MANAGEMENT PLAN REVIEW

After 5 years of operation under this development consent, the Approved Waste Management Plan is to be reviewed to ensure that the details including contracts, roles and responsibilities, commercial tenants (if relevant) are current. The updated plan is to supersede the previous plan.

F. ADVISORY MATTERS

The following advisory matters are provided as additional information to ensure compliance with the relevant legislation and requirements. You must also check other Commonwealth and NSW Acts and Regulations which may apply to the works or use approved in this application.

AD1. POST CONSENT CONDITIONS REQUIRING COUNCIL INPUT

Various conditions require further input, review or approval by Council in order to be satisfied following the determination of the application (that is, post consent). In those instances, please adhere to the following process to avoid delays:

- Please read your conditions carefully.
- Information to be submitted to Council should be either via email to info@waverley.nsw.gov.au or via the NSW Planning Portal (if required).
- Attention the documentation to the relevant officer/position of Council (where known/specified in condition).
- Include DA reference number.
- Include condition number/s seeking to be addressed.
- Where multiple conditions need Council input, please try to group the documentation / email/s into relevant subjects (multiple emails for various officers may be necessary, for example).
- Information to be submitted in digital format – refer to ‘Electronic lodgement guidelines’ on Council’s website. Failure to adhere to Council’s naming convention may result in documentation being rejected.
- Where files are too large for email, the digital files should be sent to Council via CD/USB. Council does not support third party online platforms (data in the cloud) for receipt of information.
- Please note, in some circumstances, additional fees and/or additional documents (hard copy) may be required.
- Council’s standard for review (from date the relevant officer receives documentation) is 14 days. Times may vary or be delayed if information is not received in this required manner.

AD2. DIAL BEFORE YOU DIG

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual’s responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.

AD3. TELECOMMUNICATIONS ACT 1997 (COMMONWEALTH)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra’s network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra’s infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra’s assets in any way, you are required to contact: Telstra’s Network Integrity Team on 1800 810 443.

AD4. EXCAVATION TO BE LIMITED

Excavation shall be limited to that shown in the approved plans. Any further excavation will require Council approval.

AD5. BONDI - ROSE BAY SAND BODY

This site may be located within the Bondi - Rose Bay Sand Body as identified in Council's Aboriginal Cultural Heritage Study 2009. Should an object of potential Aboriginal or archaeological significance be discovered during the demolition, excavation or construction period associated with this development, works are to immediately cease and the NSW National Parks and Wildlife Service must be contacted.

Waverley Council must be notified of any referral to the NSW National Parks and Wildlife Service and be provided with a copy of any subsequent response.

AD6. TREE REMOVAL/PRESERVATION

Any trees not identified for removal in this application have not been assessed and separate approval may be required. Any pruning of trees on adjoining properties required for the erection of scaffolding and/or the construction of the building may also require approval.

AD7. BUILDING TO BE WRAPPED

The applicant is encouraged to investigate possibilities of extracting an image of the completed building onto the hoarding and mesh surrounding the site during the demolition and construction stages of the development to minimise the visual intrusion of what is otherwise a large single coloured mesh 'block' during this time. Any advertising on the hoarding requires Council's written approval.

AD8. WAVERLEY LGA FLOOD STUDY 2021

The subject development site is on land identified as flood affected under the Council endorsed Waverley LGA Flood Study 2021. The registered proprietor's attention is drawn to the likelihood that the development may be inundated by flood waters during a 1% Annual Exceedance Probability (AEP) storm event.

As flood events can cause significant damage to property and pose risk to life, it is advised that the following measures are undertaken:

- The minimum habitable finished floor level shall be set at or above the 1% AEP flood level + 300 mm freeboard.
- All new building material shall be flood resistant or flood compatible to a height of 1% AEP flood level + 300 mm freeboard.
- All new internal electrical switches, power points or similar utilities liable to flood damage shall be set at or above the 1% AEP flood level + 300 mm freeboard.
- A suitably qualified engineer certifies that any new structure can withstand the forces of floodwater, scour debris and buoyancy up to and including the 1% AEP flood level + 300 mm freeboard.
- A storage area is to be provided at or above the 1% AEP flood level + 300 mm freeboard for the storage of goods that can be damaged or mobilised by flooding, or goods that have potential to cause pollution during flooding.
- Any basement area shall be protected to ensure no flood waters can enter inside.
- Any proposed fencing must be built using flood compatible material.

In addition, it is recommended that before occupation or prior to the issue of any Occupation Certificate, a site flood emergency response plan is prepared, and any required flood warning system are installed and fully tested. If a plan is created, a copy of this plan shall be submitted to the Private Certifier and to Waverley Council.

Certification from a suitably qualified engineer to the effect that the plan has been prepared and where required, the flood warning system have been installed and tested, shall be included with the Occupation Certificate.

The site flood emergency response warning systems and plan shall be regularly maintained, reviewed and/or updated and should be in good working order at all times.

AD9. PUBLIC UTILITIES AND SERVICE ALTERATIONS

Any utility services and all public infrastructure which require alteration due to works associated with the development, both internally and externally of the development boundary, shall be altered at the Applicant's expense. This includes both temporary and permanent alterations. Upon notifying Council, the Applicant must comply with the requirements (including financial costs) of the relevant utility service provider (e.g. Ausgrid, Sydney Water, Telstra, RMS or similar) in relation to any connections, repairs, relocations, replacements and/or adjustments to public infrastructure or services affected by the proposed works.

AD10. NOTICE OF INTENTION TO COMMENCE PUBLIC DOMAIN WORKS

Prior to commencement of the public domain works notice shall be submitted to Council's Public Domain Engineer. This notice shall include the name and insurance details of the Contractor who will be responsible for the construction works, and details of the managing site supervisor/engineer. The applicant is also responsible for obtaining all Road Activity Permits required for the works, from the respective authorities.

AD11. PUBLIC DOMAIN PRE-CONSTRUCTION MEETING

To ensure all public infrastructure works approved under this consent will be completed to Council's satisfaction and a program of required inspections is established, a preconstruction meeting shall be arranged with Council's engineering inspector/s prior to works commencing on site.

AD12. CERTIFICATION OF PUBLIC INFRASTRUCTURE WORKS

The issue of a final Compliance Certificate from the Council Engineer will be withheld should there be any outstanding fees and charges applicable to the development. This includes but not limited to fees applicable for engineering plans assessment and work inspection fees.

To ensure satisfactory performance of the public domain works, a defects liability period of twelve (12) months shall apply to the works completed by the applicant/developer following completion of the development. The defects liability period shall commence from the date of issue of the Occupation Certificate for the development. The applicant shall be liable for any part of the work which fails to perform in a satisfactory manner as outlined in Council's standard specification, during the twelve (12) months' defects liability period.

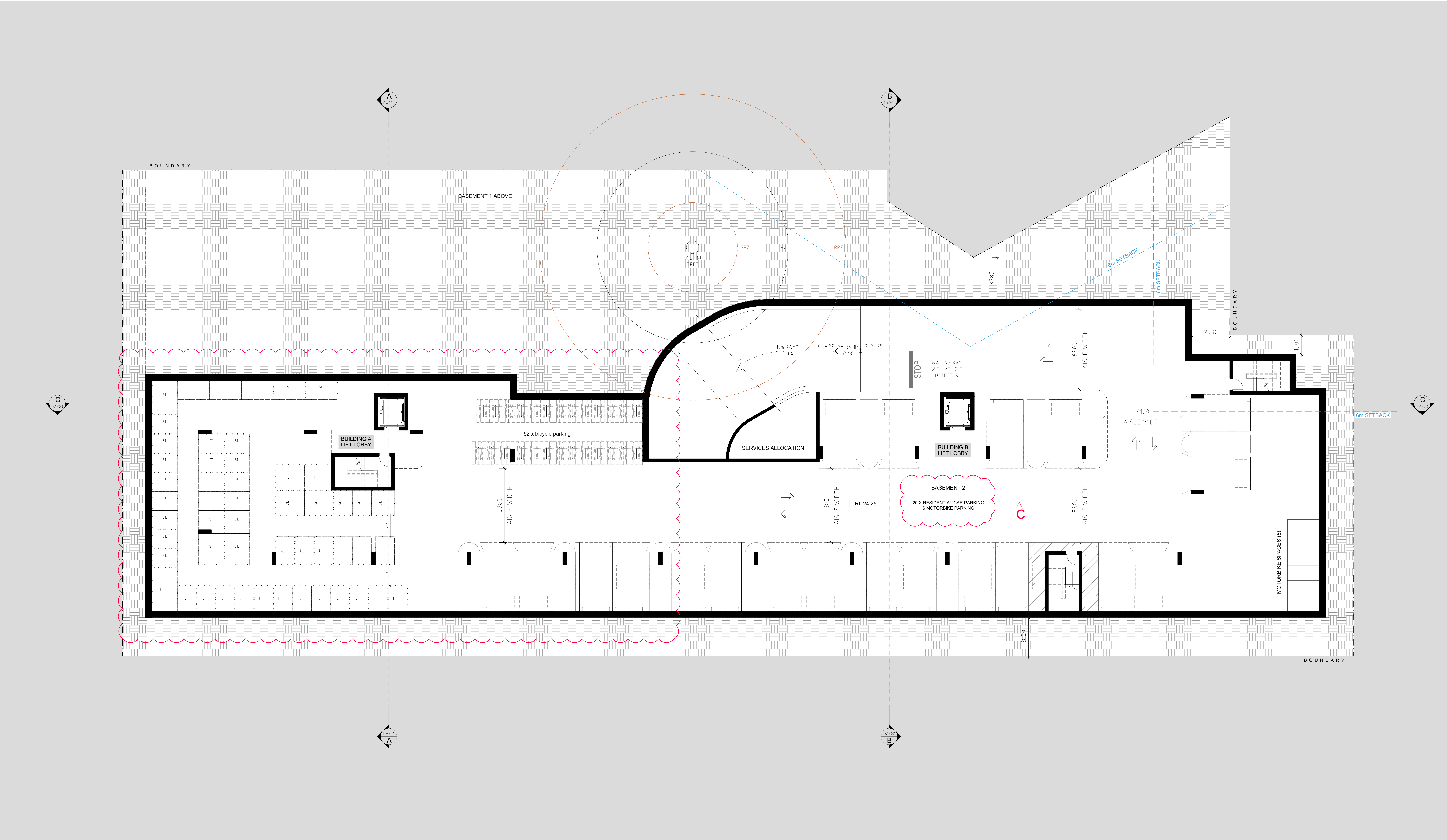
AD13. STRATA SUBDIVISION

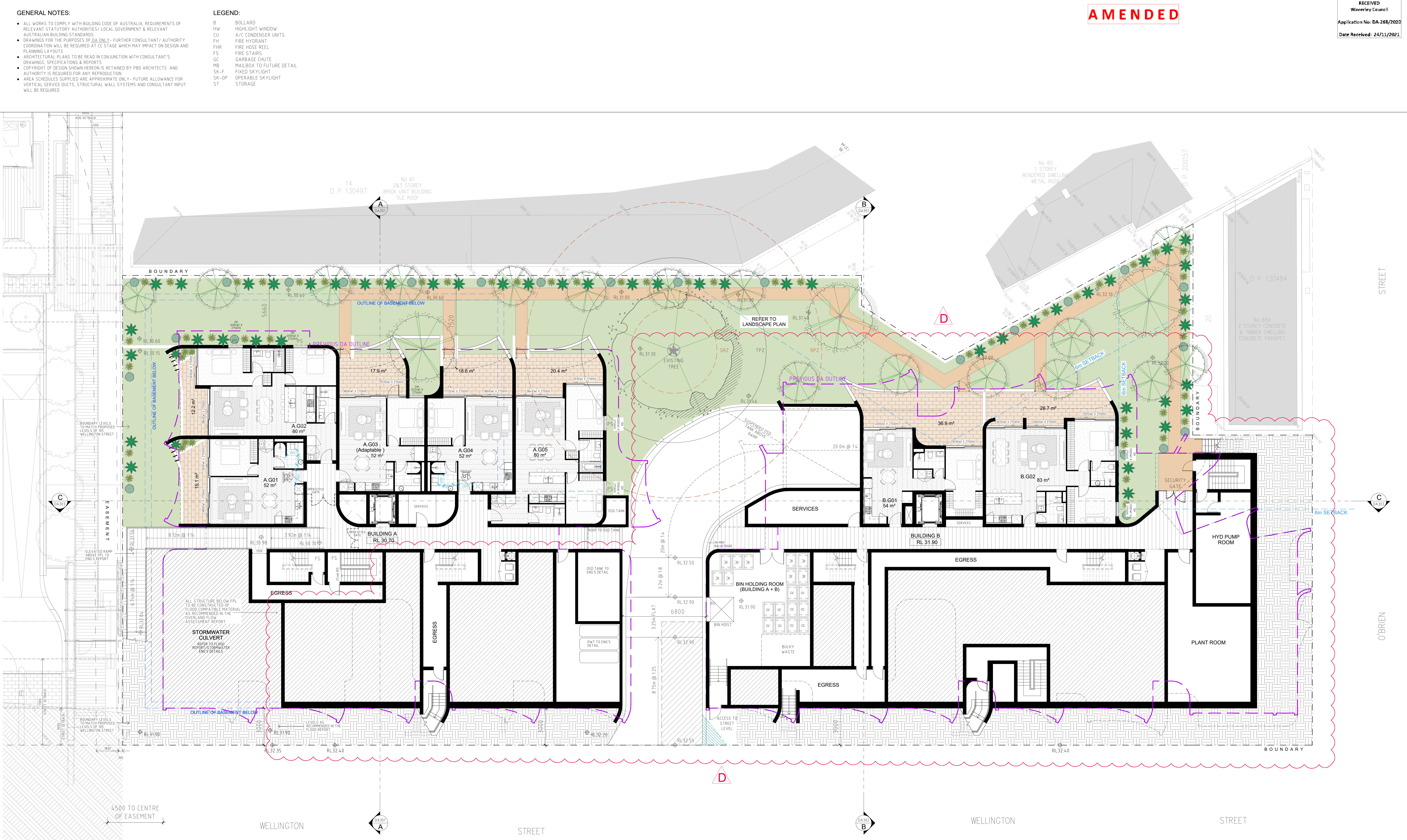
No approval is granted or implied for the strata subdivision of the development in this development consent.

In respect to any future subdivision, the allocation of car parking and storage spaces, those spaces are not permitted to be subdivided as individual allotments and are to be part lots allocated to individual residential allotments or identified as common property as shown on the approved plans. Part allotments are to be generally allocated in accordance with the parking and storage requirements of Waverley Development Control Plan 2012. No exclusive use of common property shall occur without the prior consent of Council.

AD14. SUITABLY QUALIFIED ACOUSTIC CONSULTANT

In these conditions, reference to a suitably qualified acoustic consultant means an individual who possesses the qualifications to render them eligible for membership of both the Australian Acoustics Society and Institution of Engineers Australia at the grade of member or an individual who is employed by a member firm of the Association of Australian Acoustic Consultants.





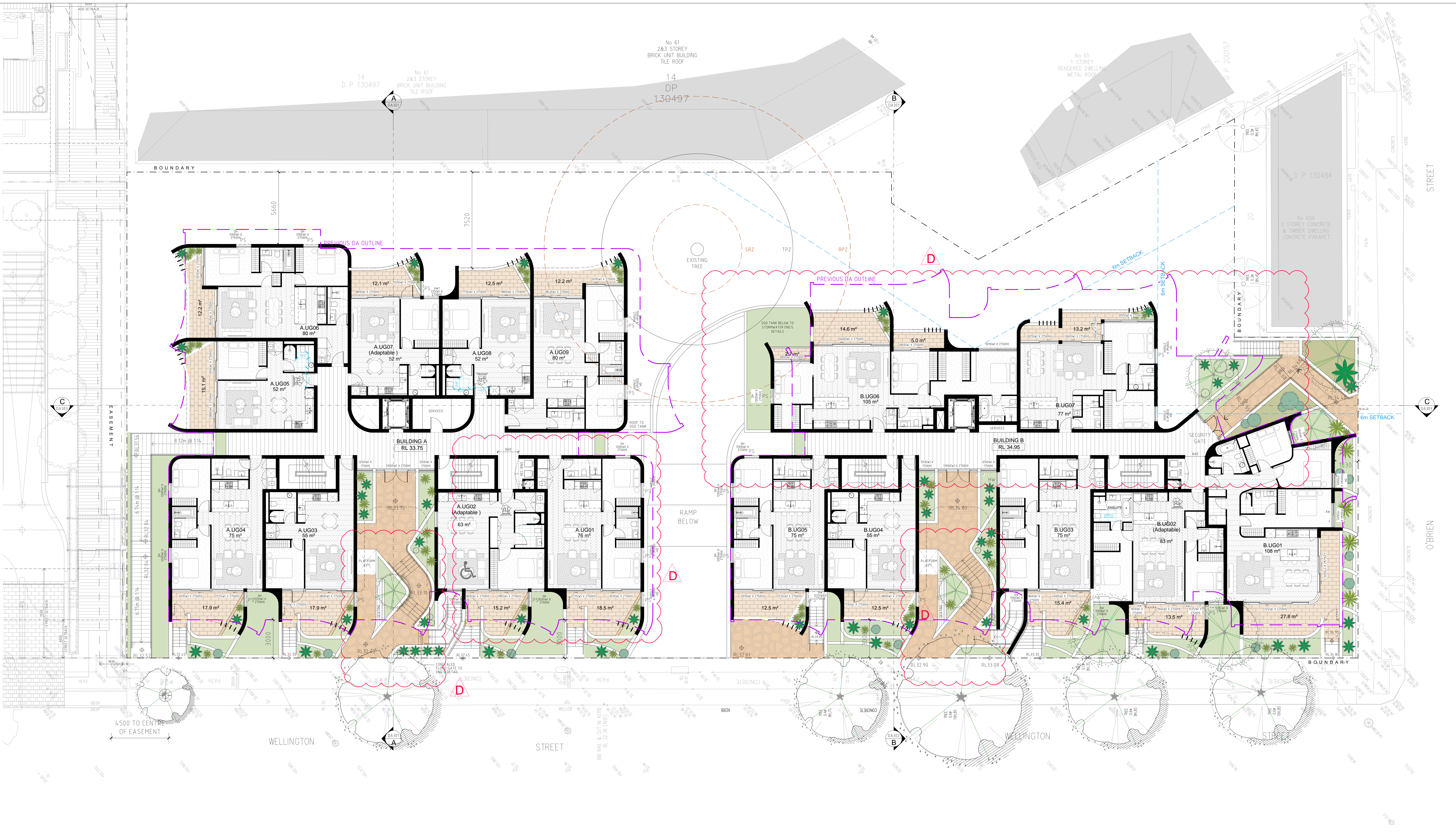
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS					
ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	17.08.2021	AMENDED DRAWINGS FOR DA ISSUE			
D	19.11.2021	ISSUED FOR REVISED DA			

DA103

GROUND FLOOR PLAN

ISSUE: D



- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY – FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREIN IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULED SHAPES ARE APPROXIMATE ONLY – FUTURE ALLOWANCE FOR VARIOUS SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA
B	02.06.2021	ISSUED FOR REVISED DA
C	19.11.2021	ISSUED FOR REVISED DA

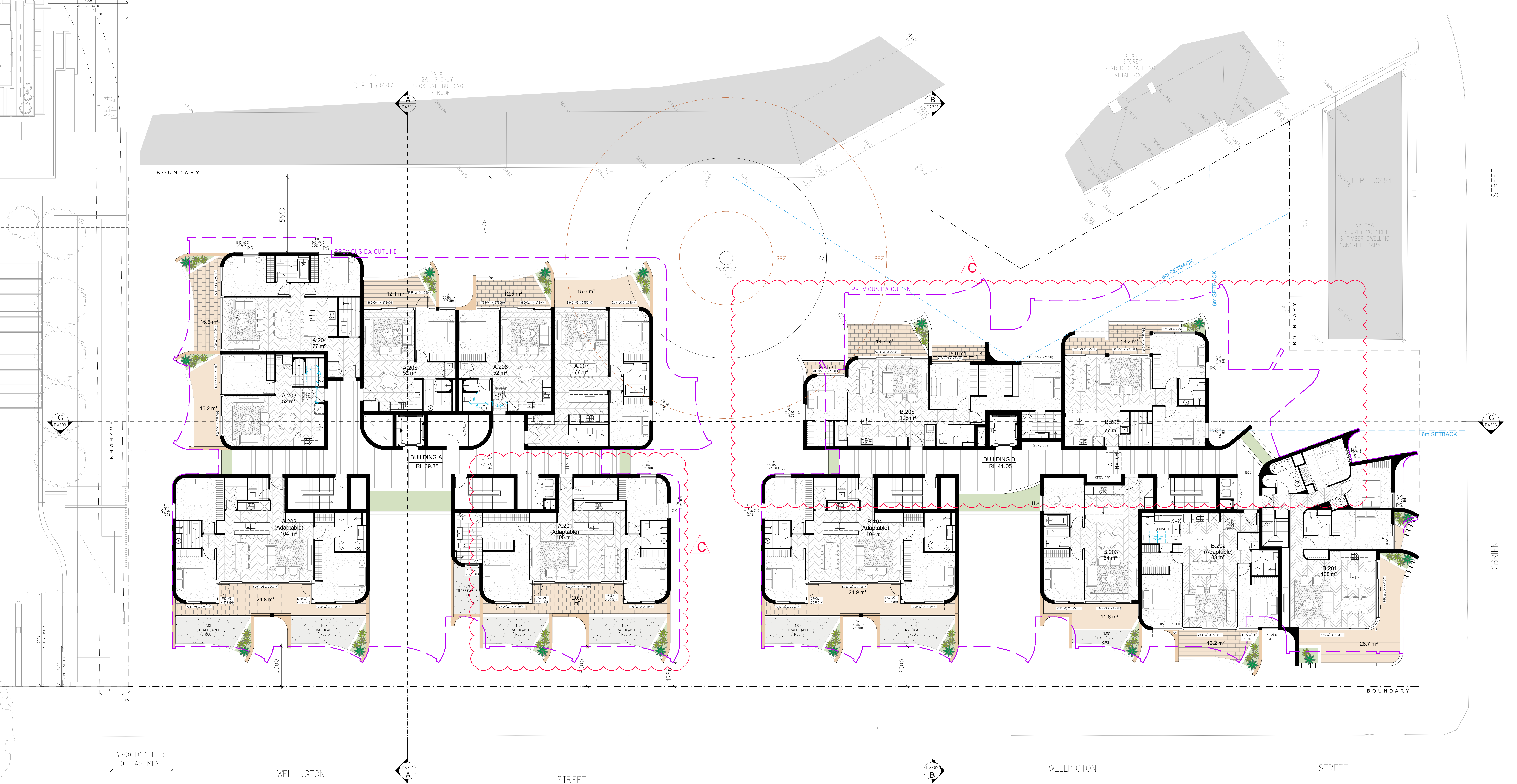
[illegible]

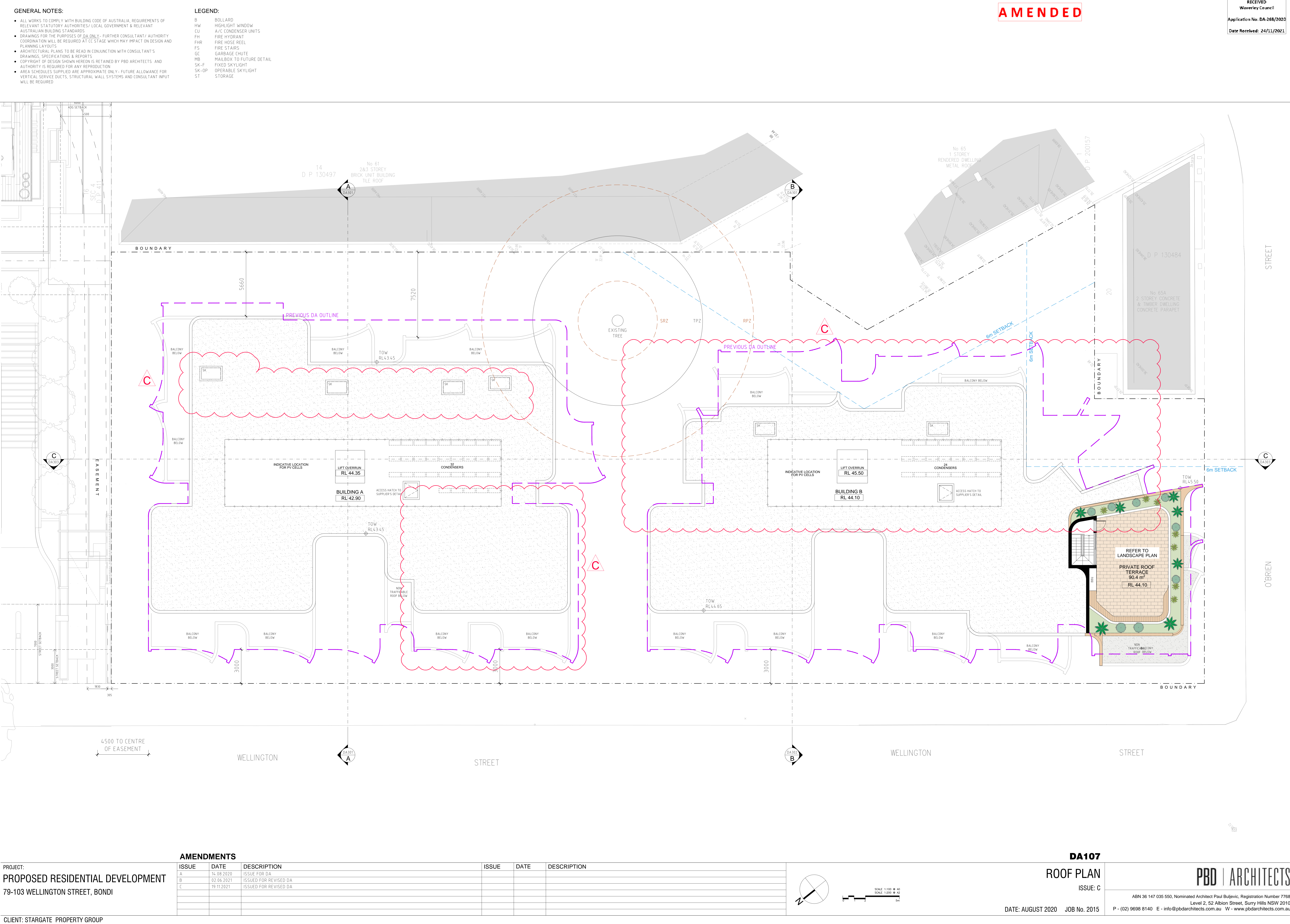
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

PBD | ARCHITECTS







PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT 79-103 WELLINGTON STREET, BONDI	AMENDMENTS			DA201		
	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
	A	14.08.2020	ISSUE FOR DA			
	B	02.06.2021	ISSUED FOR REVISED DA			
	C	17.08.2021	AMENDED DRAWINGS FOR DA ISSUE			
	D	19.11.2021	ISSUED FOR REVISED DA			
CLIENT: STARGATE PROPERTY GROUP						

SCALE 1:100

SCALE 1:200

NORTH WEST ELEVATION

ISSUE: D

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au



GENERAL UPDATE WITH CHANGES FOR LATEST REVISION

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



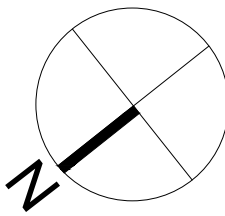
GENERAL UPDATE WITH CHANGES
FOR LATEST REVISION

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

CLIENT: STARGATE PROPERTY GROUP

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.06.2021	ISSUED FOR REVISED DA			
C	17.08.2021	AMENDED DRAWINGS FOR DA ISSUE			
D	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:100
SCALE 1:200
SCALE 1:40

DA203
NORTH EAST ELEVATION
ISSUE: D

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS
ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au



GENERAL UPDATE WITH CHANGES
FOR LATEST REVISION

GENERAL NOTES:

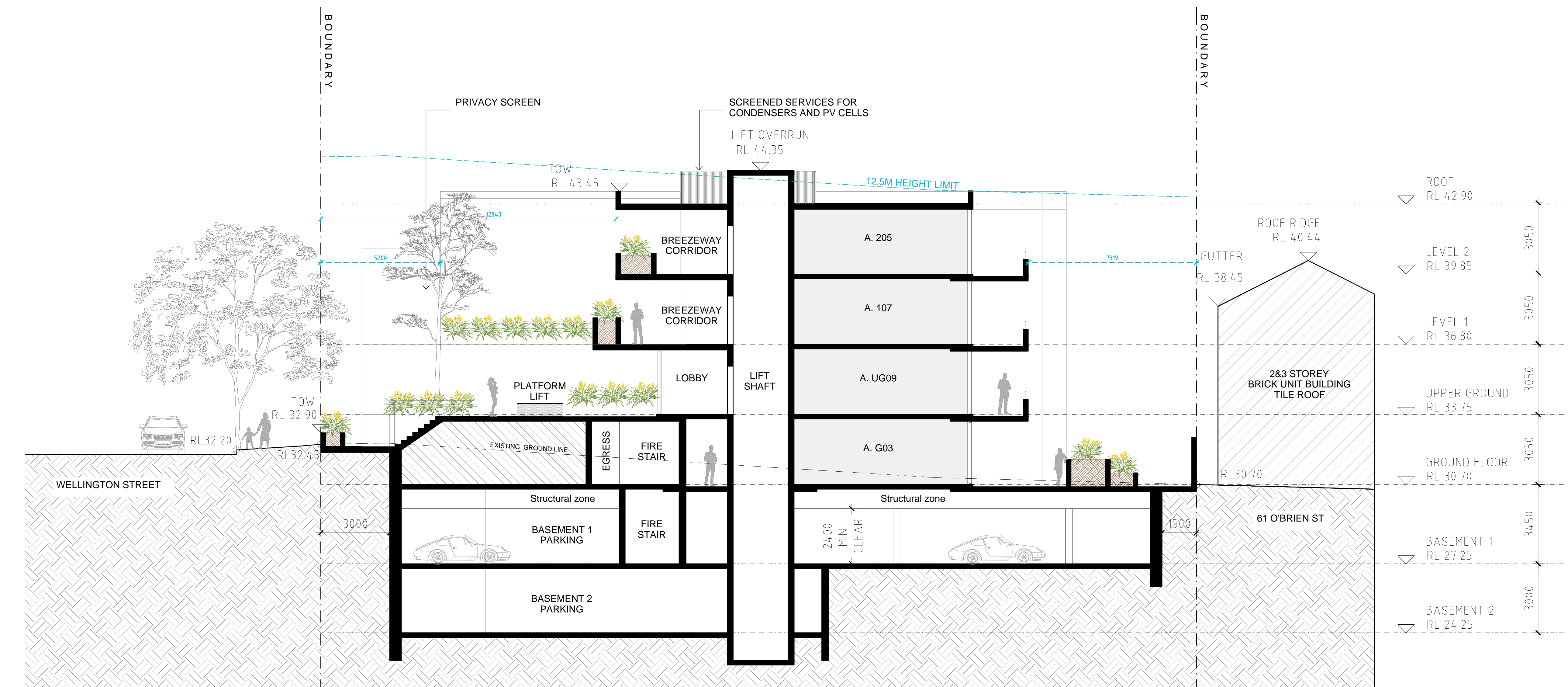
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

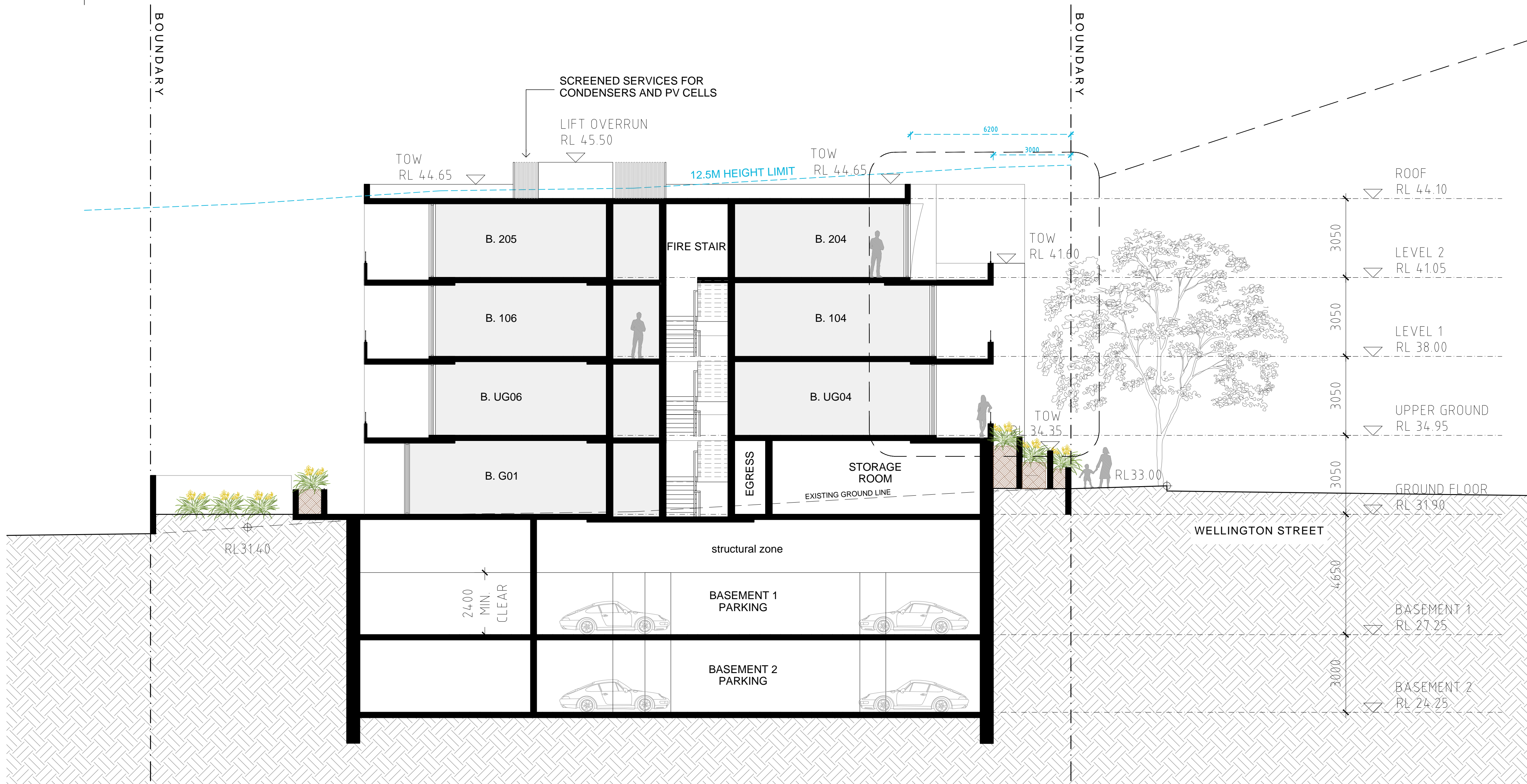
B BOLLARD
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
SK-F FIXED SKYLIGHT
SK-OP OPERABLE SKYLIGHT
ST STORAGE

AMENDED

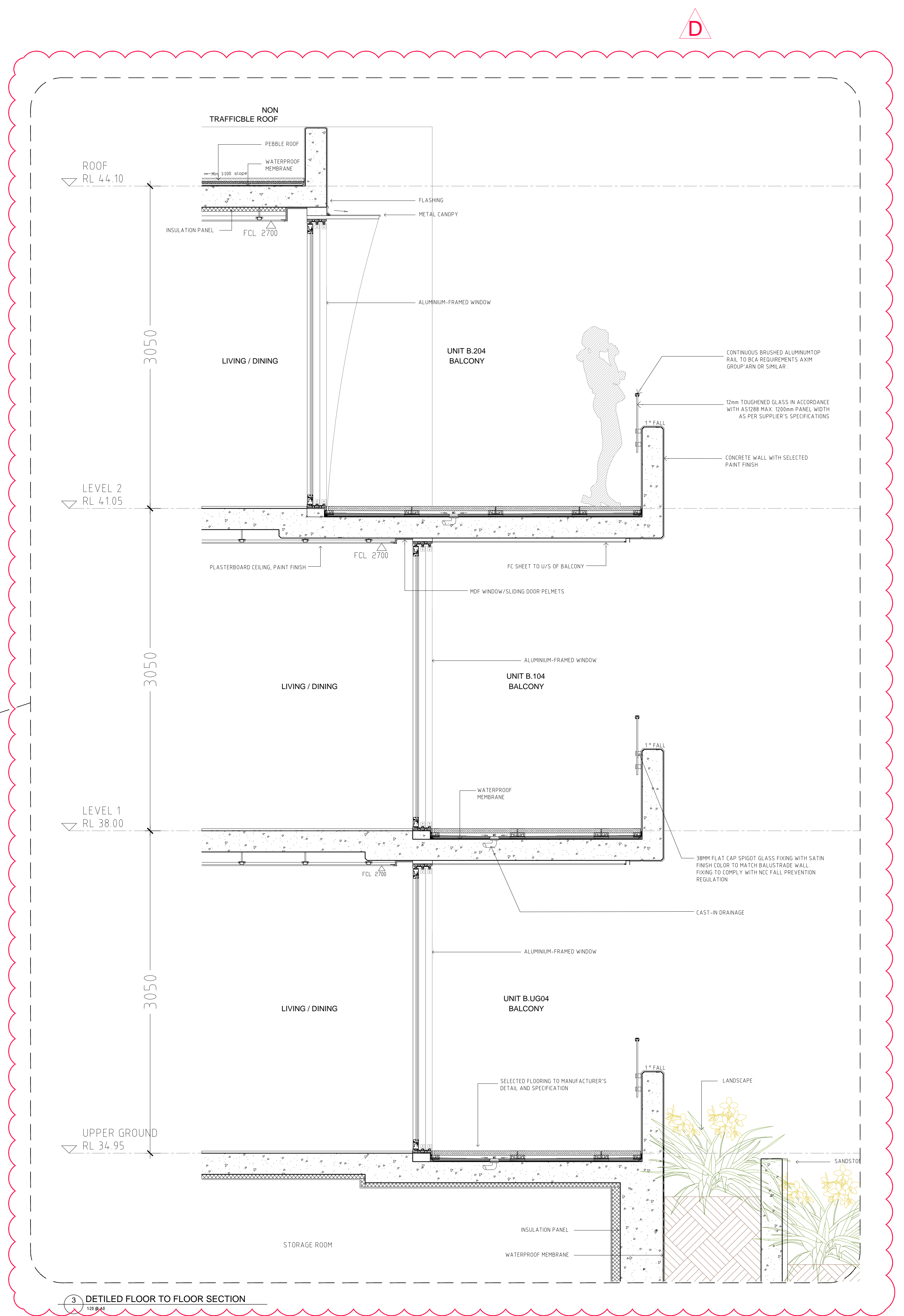
RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



SECTION A - BUILDING A
1:100 @ A0 1:200 @ A2



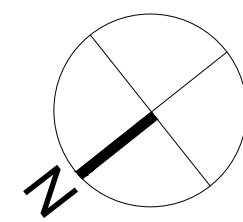
SECTION B - BUILDING B
1:100 @ A0 1:200 @ A2



DETAILED FLOOR TO FLOOR SECTION
1:100 @ A0 1:200 @ A2

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:100 @ A0
SCALE 1:200 @ A2

DA301

SECTION A & B

ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

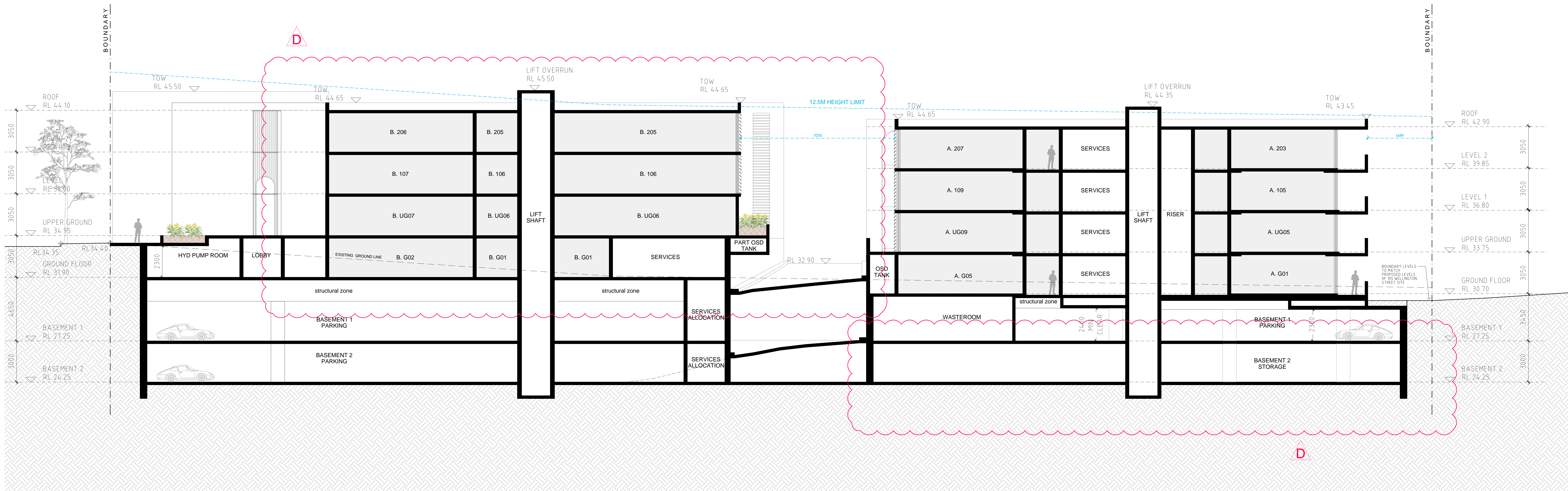
ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP

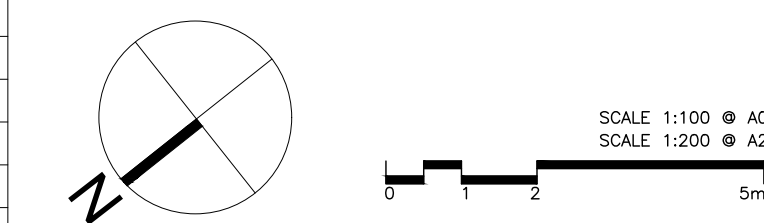
RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY – FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT C/STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ALL VERBAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- APPROXIMATELY 45% OF THE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE



AMENDMENTS					
ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.06.2021	ISSUED FOR REVISED DA			
C	17.08.2021	AMENDED DRAWINGS FOR DA ISSUE			
D	19.11.2021	ISSUED FOR REVISED DA			

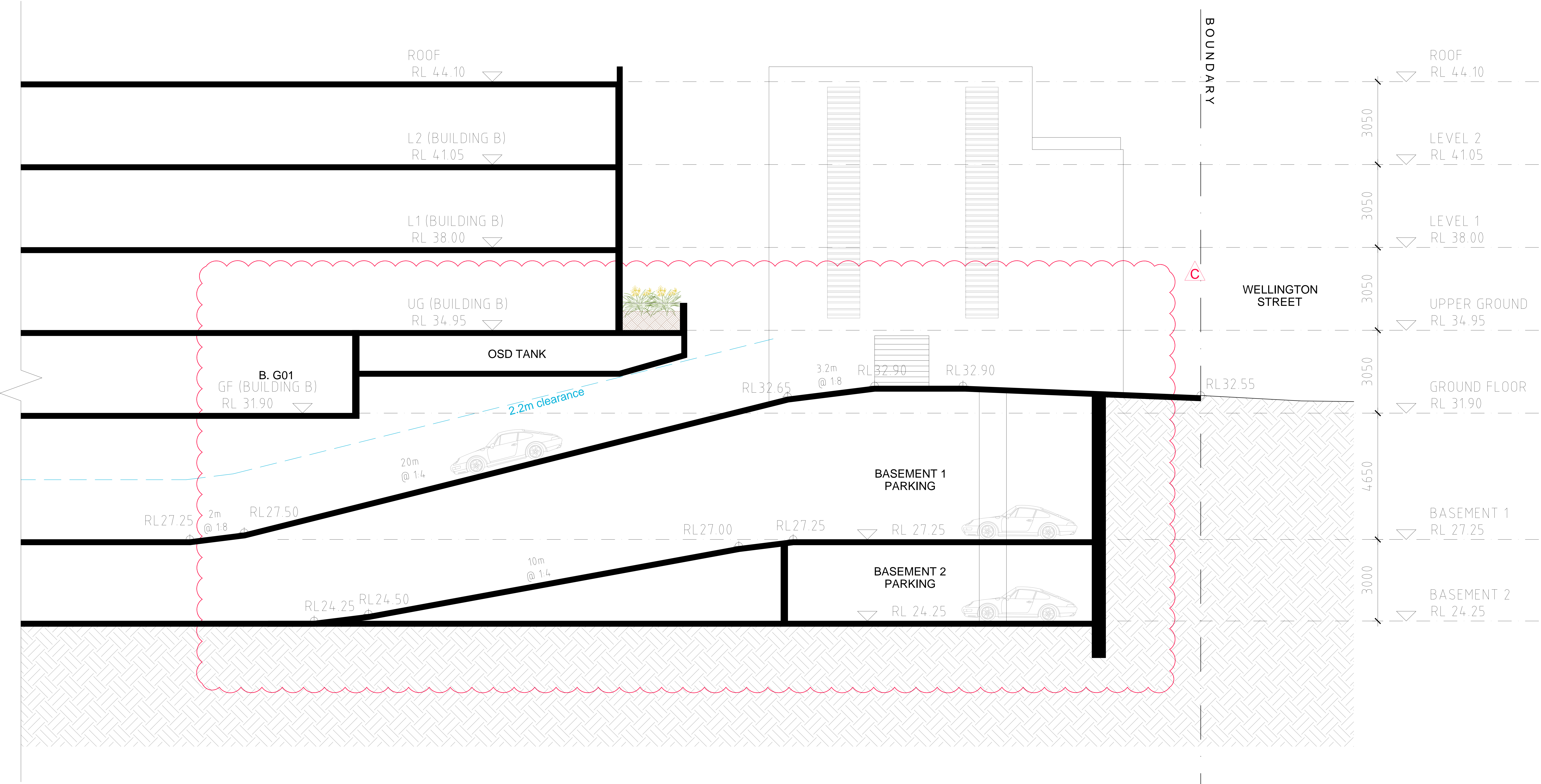


PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

DATE: AUGUST 2020 JOB No. 2015

CLIENT: STARGATE PROPERTY GROUP



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS. AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY. FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

NATHERS Thermal Performance Specifications (BASIX Thermal Comfort)

These are the specifications upon which the NatherS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.				
79-103 Wellington Street, Bondi				
Windows	Glass *	Frame	U value SHGC	Detail
Default	Single glazed, low E high solar gain	Aluminium 5.4	0.49	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, low E high solar gain	Aluminium 5.4	0.58	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Double glazed, low E high solar gain	Aluminium 4.3	0.47	For window types: awning, bi-fold, casement – Units: A.108, A.208, A.209, A.210, A.211, A.U008, B.209, B.G07, B.G.09
Default	Double glazed, low E high solar gain	Aluminium 4.3	0.53	For window types: sliding window/ door, double hung, fixed – Units: A.108, A.208, A.209, A.210, A.211, A.U008, B.201, B.209, B.G07, B.G.09
Default	Double glazed, low E low solar gain	Aluminium thermally broken	3.1 0.27	Units: A.206, A.207
Default	Double glazed, low E high solar gain	Aluminium thermally broken	3.1 0.49	Units: B.201
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance				

Stylights	Glass	Frame	U value SHGC	Detail
Double glazed - Velux, or equivalent			2.7 0.24	Location as per drawings
External walls	Construction	Added Insulation		Detail
Concrete		R 2.0		All external walls, including walls facing internally onto courtyards and walkways
Concrete		R 2.5		Unit B.201 - all external walls
Internal walls	Construction	Added Insulation		Detail
Plasterboard on studs		None		Walls within units
Hebel + Stud		None		Party walls
Concrete / Hebel		R 1.0		Walls separating units from stairwells, lift shafts, service rooms
Floors	Construction	Added Insulation		Coverings
Concrete		None		Floors generally
Concrete		R 2.0		Floors above carpark level and non-conditioned spaces – storage, service rooms, etc

Ceilings	Construction	Added Insulation	Detail
Plasterboard		See roof detail below	
Roof	Construction	Added Insulation	Detail
Concrete		R 1.5	Roof over units: A.G08, A.G09, A.G10
Concrete		R 3.0	Roof over level 2 units
Concrete		R 4.0	Unit B.201
Other Requirements			
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration			

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 08/06/2021



EF01

PIGMENTED CONCRETE

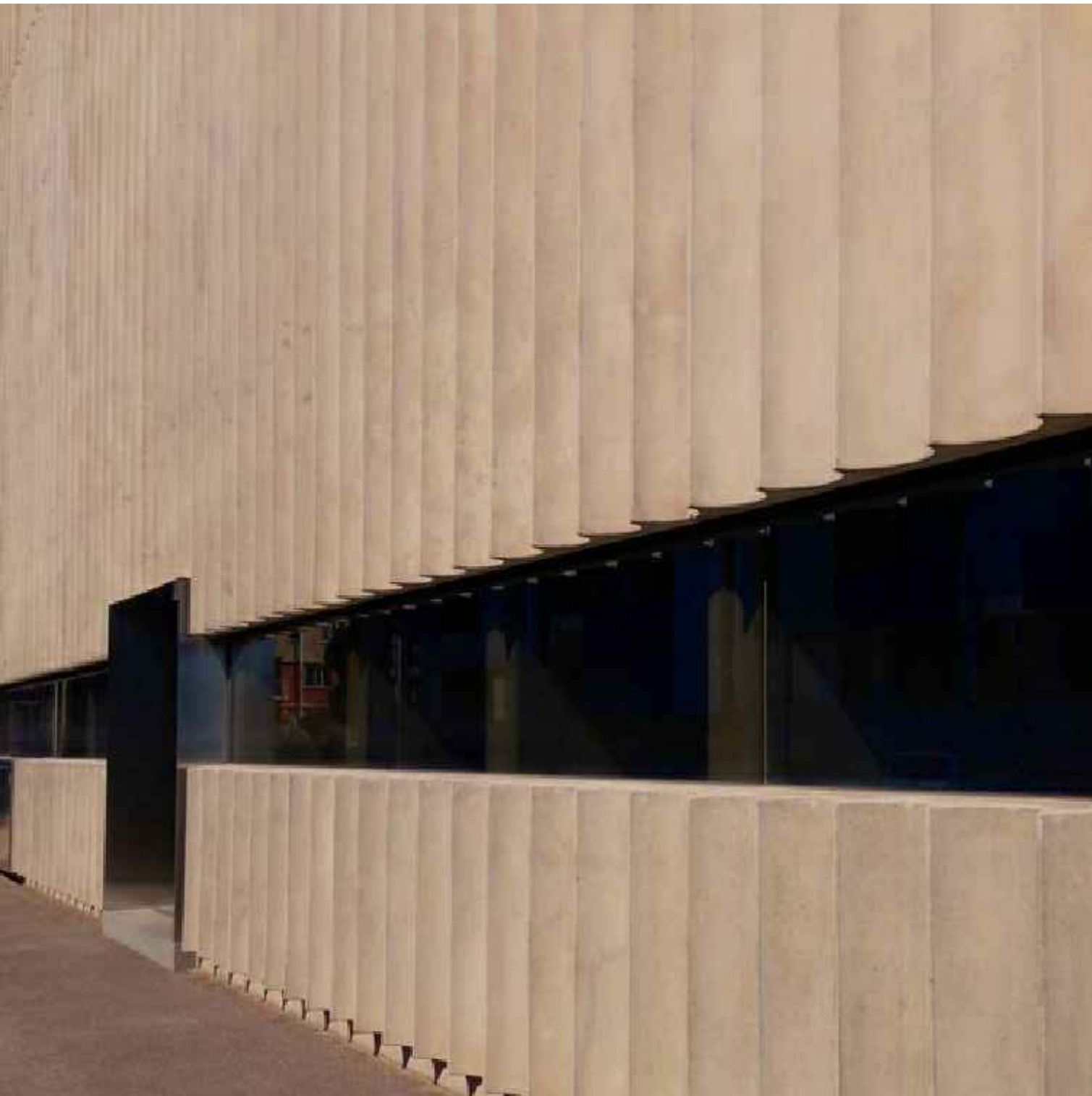
Colour - Pigment additive to concrete
Finish - Off form concrete



EF02

VERTICAL METALLIC SCREEN

Colour - Bronze
Finish - Powder coat



EF03

FLUTED CONCRETE



EF04

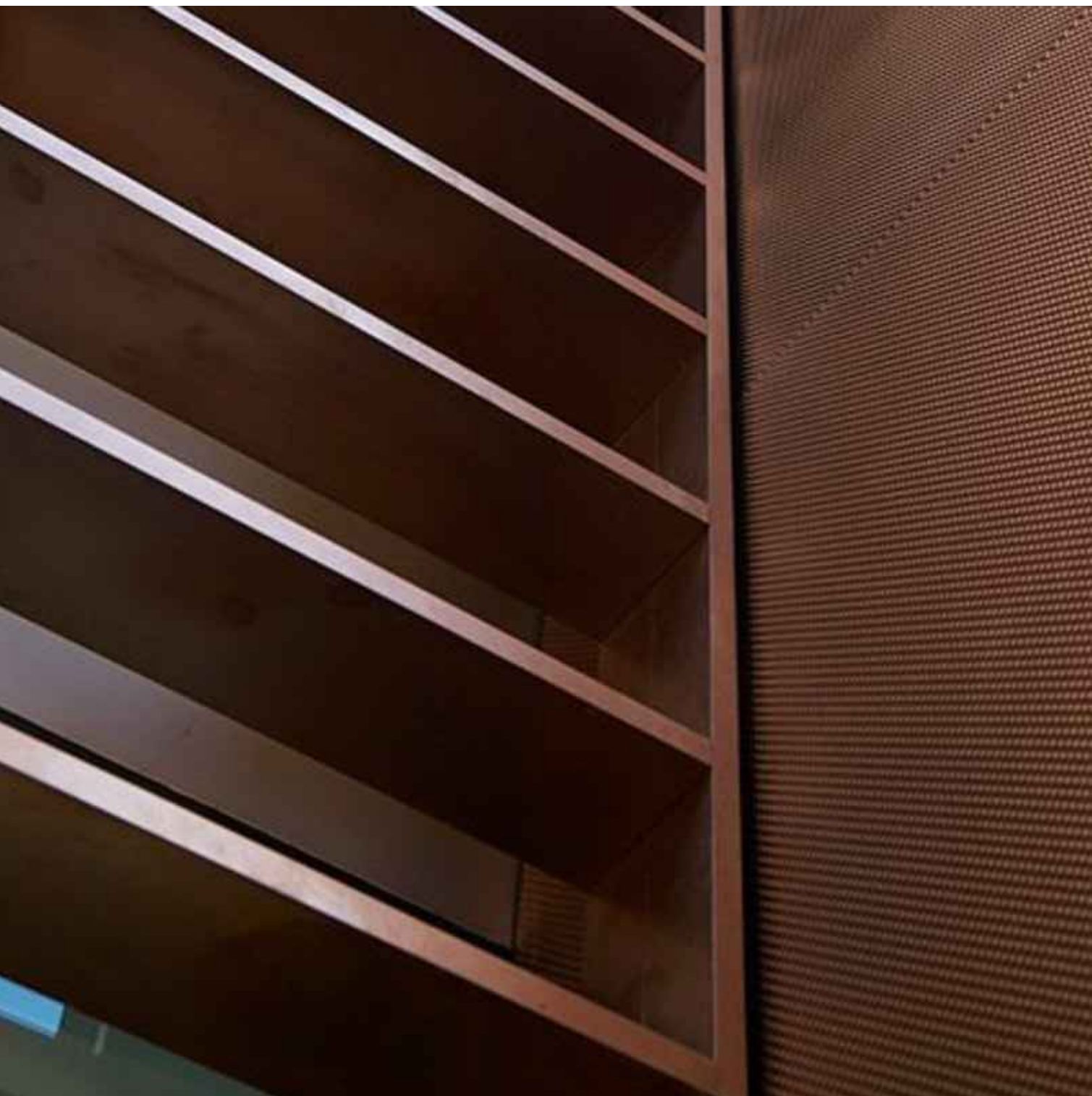
CONCRETE BLADE WALL

Finish - Off form concrete



EF05

SANDSTONE WALL



EF06

HORIZONTAL METALLIC SCREEN

Colour - Bronze
Finish - Powder coat



EF07

THIN CHANNELED BALUSTRADE

Colour - Bronze



EF08

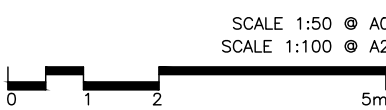
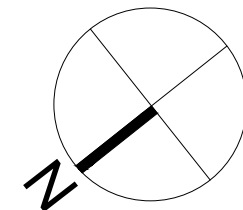
ALUMINUM FRAME GLAZING

Colour - Dark bronze

AMENDMENTS

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.06.2021	ISSUED FOR REVISED DA			



DA401

MATERIAL SCHEDULE

ISSUE: B

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

PROJECT INFORMATION

79-103 Wellington Street, BONDI	
Address	79-103 Wellington Street, Bondi
Site Area	3493 m²
Zoning	R3 - Medium Density Residential
Height Control	12.5m

UNIT MIX

Level	1 Bed	2 Bed	3 Bed	Total
Building A				
Ground Floor	3	2	0	5
Upper Ground	5	4	0	9
Level 1	5	4	0	9
Level 2	3	2	2	7
TOTAL				
	16	12	2	30
	53%	40%	7%	
Building B				
Ground Floor	1	1	0	2
Upper Ground	1	4	2	7
Level 1	1	4	2	7
Level 2	1	2	3	6
TOTAL				
	4	11	7	22
	18%	50%	32%	
Building A+B				
GRAND TOTAL	20	23	9	52
	38%	44%	17%	

CAR PARKING REQUIREMENTS

	rate per unit (DCP)	No. of Units	Maximum allowed	Proposed
Building A				
1 Bed	0.6	16	10	10
2 Bed	0.9	12	11	11
3 Bed	1.4	2	3	3
TOTAL		30	24	24
Building B				
1 Bed	0.6	4	2	3
2 Bed	0.9	11	10	11
3 Bed	1.4	7	10	10
TOTAL		22	22	22
	rate per unit (DCP)			Proposed
Visitor	1 space per 5 unit		10	10
Residential Accessible car space	20% of unit total	* (forms part of total)	10	10
Visitor Accessible car space	10% visitor numbers	* (forms part of total)	1	1
Car wash bay				1
GRAND TOTAL			56	56

OTHER PARKING REQUIREMENTS

DCP req	Rate	Required	Proposed
Bicycle (residential)	1 per unit	52	52
Bicycle (Visitor)	1 per 10 unit	5	6
Motorbike	1 per 3 car spaces	19	19

CAR PARKING REQUIREMENTS TO AFFORDABLE HOUSING RATES

	rate per unit	No. of Units	Miniumum	Proposed
1 Bed	0.5	7	4	complies as per table above
2 Bed	1.0	7	7	
3 Bed	1.5	0	0	
TOTAL			11	

GFA

Level	Building A	Building B	Building A+B
Ground Floor	320	219	539
Upper Ground	592	583	1175
Level 1	592	583	1175
Level 2	526	547	1073
TOTAL			
	2030	1932	3962
Proposed FSR			1.1343
Affordable Housing Area	939.0 proposed	23.43% required	928.2 required

OTHER REQUIREMENTS

	Council/ADG Req	Required	Proposed
Communal Open Space (ADG)	25% (min)	873	1080
Adaptable (DCP)	20% (min)	10	10
Livable Housing (ADG)	20% (silver)	10	13
Solar Access (ADG)	70% (min)	36.4	37
Units with no sun (ADG)	15% (max)	7.8	8
Cross Ventilation (ADG)	60% (min)	31.2	32
Landscape area (DCP)	30% (min)	1048	1208
Deep Soil area (DCP)	15% (min)	524	551

AMENDED

RECEIVED

Waverley Council

Application No. DA-268/2020

Date Received: 24/11/2021

Area Schedule - Building A

Level	Unit.No	Type	Livable	Adaptable	Internal Area (m2)	Terrace/ Balcony (m2)	Storage (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
GF	A.G01	1 BED	✓		52	15.1	3	3	6
	A.G02	2 BED			80	12.2	4	4	8
	A.G03	1 BED		✓	52	17.9	5	3	8
	A.G04	1 BED	✓		52	18.6	5	3	8
	A.G05	2 BED			80	20.4	4	4	8
UG	A.UG01	2 BED			76	18.5	5	4	9
	A.UG02	1 BED	✓	✓	63	17.9	5	3	8
	A.UG03	1 BED			55	17.9	3	3	6
	A.UG04	2 BED			75	17.9	5	4	9
	A.UG05	1 BED	✓		52	15.1	3	3	6
	A.UG06	2 BED			80	12.2	4	4	8
	A.UG07	1 BED		✓	52	12.1	5	3	8
	A.UG08	1 BED	✓		52	12.5	5	3	8
	A.UG09	2 BED			80	12.2	6	4	10
L1	A.101	2 BED			76	12.9	5	4	9
	A.102	1 BED	✓	✓	63	11.1	7	3	10
	A.103	1 BED			55	12.5	3	3	6
	A.104	2 BED			75	12.5	5	4	9
	A.105	1 BED	✓		52	15.1	3	3	6
	A.106	2 BED			80	12.2	4	4	8
	A.107	1 BED			52	12.1	5	3	8
	A.108	1 BED	✓		52	12.5	5	3	8
	A.109	2 BED			80	12.2	6	4	10
L2	A.201	3 BED		✓	108	20.7	7	5	12
	A.202	3 BED		✓	104	24.8	9	5	14
	A.203	1 BED	✓		52	15.1	3	3	6
	A.204	2 BED			77	15.6	5	4	9
	A.205	1 BED			52	12.1	5	3	8
	A.206	1 BED	✓		52	12.5	5	3	8
	A.207	2 BED			77	15.6	4	4	8

Area Schedule - Building B

Level	Unit.No	Type	Livable	Adaptable	Internal Area (m2)	Terrace/ Balcony (m2)	Storage (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
GF	B.G01	1 BED			54	37.3	5	3	8
	B.G02	2 BED			83	26.7	4	4	8
UG	B.UG01	3 BED			108	27.8	8	5	13
	B.UG02	2 BED	✓	✓	83	13.5	5	4	9
	B.UG03	2 BED			75	15.4	5	4	9
	B.UG04	1 BED			55	12.5	3	3	6
	B.UG05	2 BED			75	12.5	5	4	9
	B.UG06	3 BED			105	22.3	6	5	11
	B.UG07	2 BED			77	13.2	5	4	9
L1	B.101	3 BED			108	28.7	8	5	13
	B.102	2 BED	✓	✓	83	13.2	4	4	8
	B.103	2 BED			75	11.2	5	4	9
	B.104	1 BED			55	12.2	3	3	6
	B.105	2 BED			75	12.5	5	4	9
	B.106	3 BED			105	22.3	6	5	11
	B.107	2 BED			77	13.2	5	4	9
L2	B.201	3 BED			108	28.7	9	5	14
	B.202	2 BED	✓	✓	83	13.2	4	4	8
	B.203	1 BED			66	11.6	5	3	8
	B.204	3 BED		✓	104	24.9	9	5	14
	B.205	3 BED			105	22.3	6	5	11
	B.206	2 BED			77	13.2	5	4	9

C

GENERAL UPDATE WITH CHANGES FOR LATEST REVISION

AMENDMENTS

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
PROPOSED RESIDENTIAL DEVELOPMENT 79-103 WELLINGTON STREET, BONDI	A	14.08.2020	ISSUE FOR DA			
	B	02.05.2021	ISSUED FOR REVISED DA			
	C	19.11.2021	ISSUED FOR REVISED DA			
CLIENT: STARGATE PROPERTY GROUP						

DA001

AREA SCHEDULE & PROJECT SUMMARY

ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

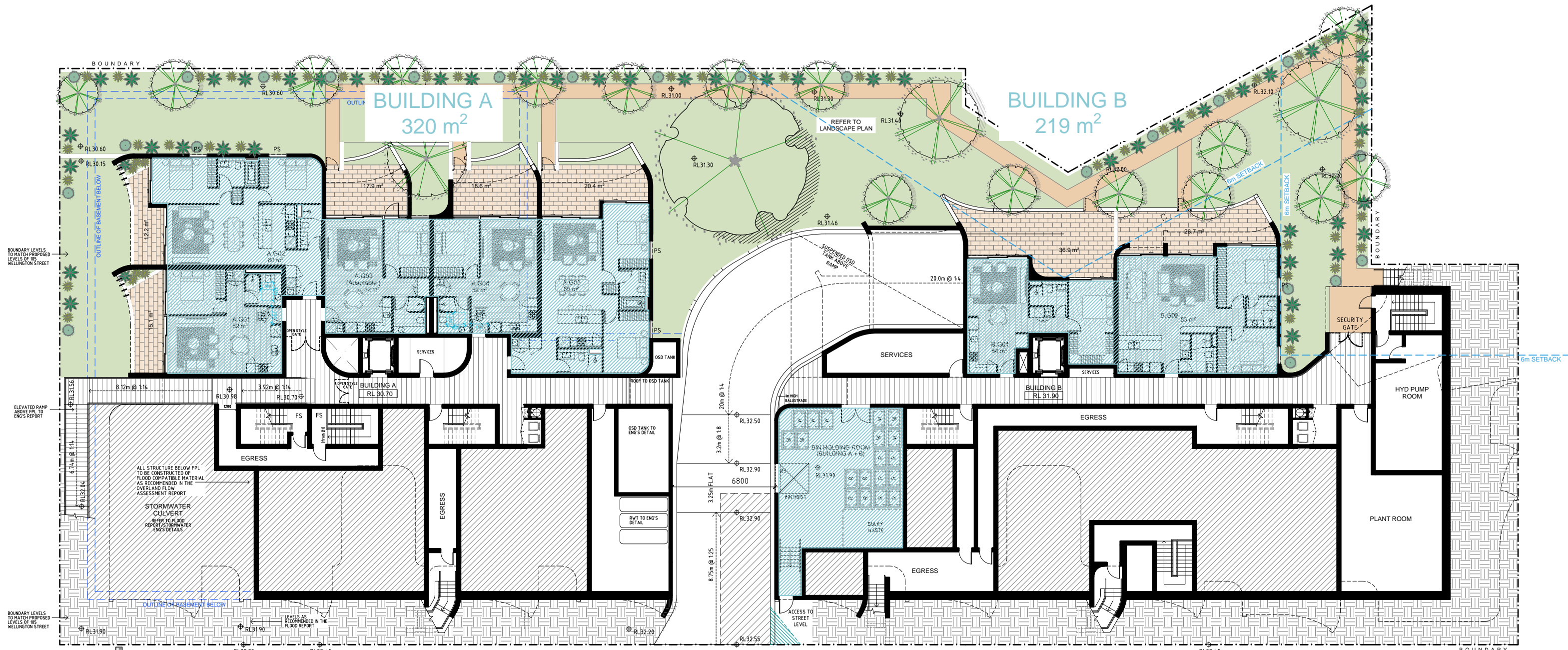
ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

- GENERAL NOTES:
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
 - DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
 - ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
 - COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
 - AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

- LEGEND:
- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

AMENDED

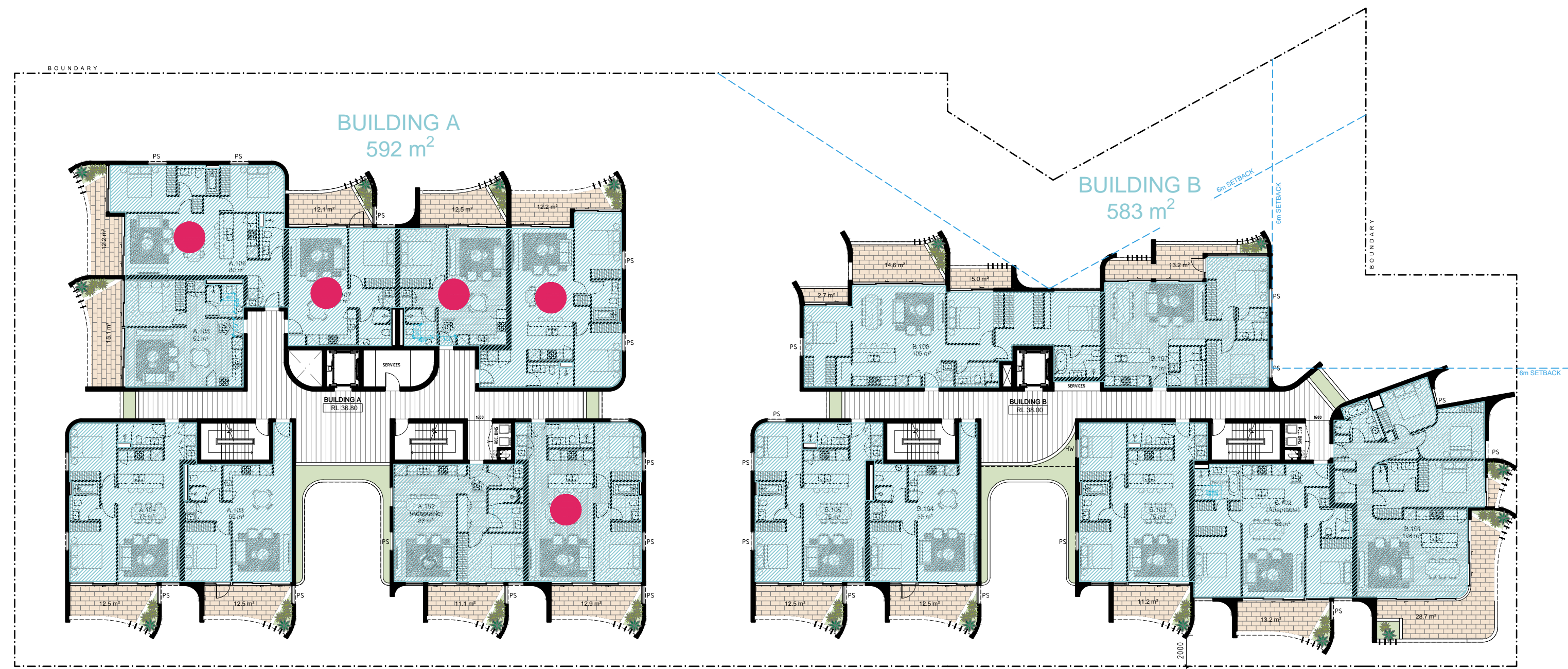
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



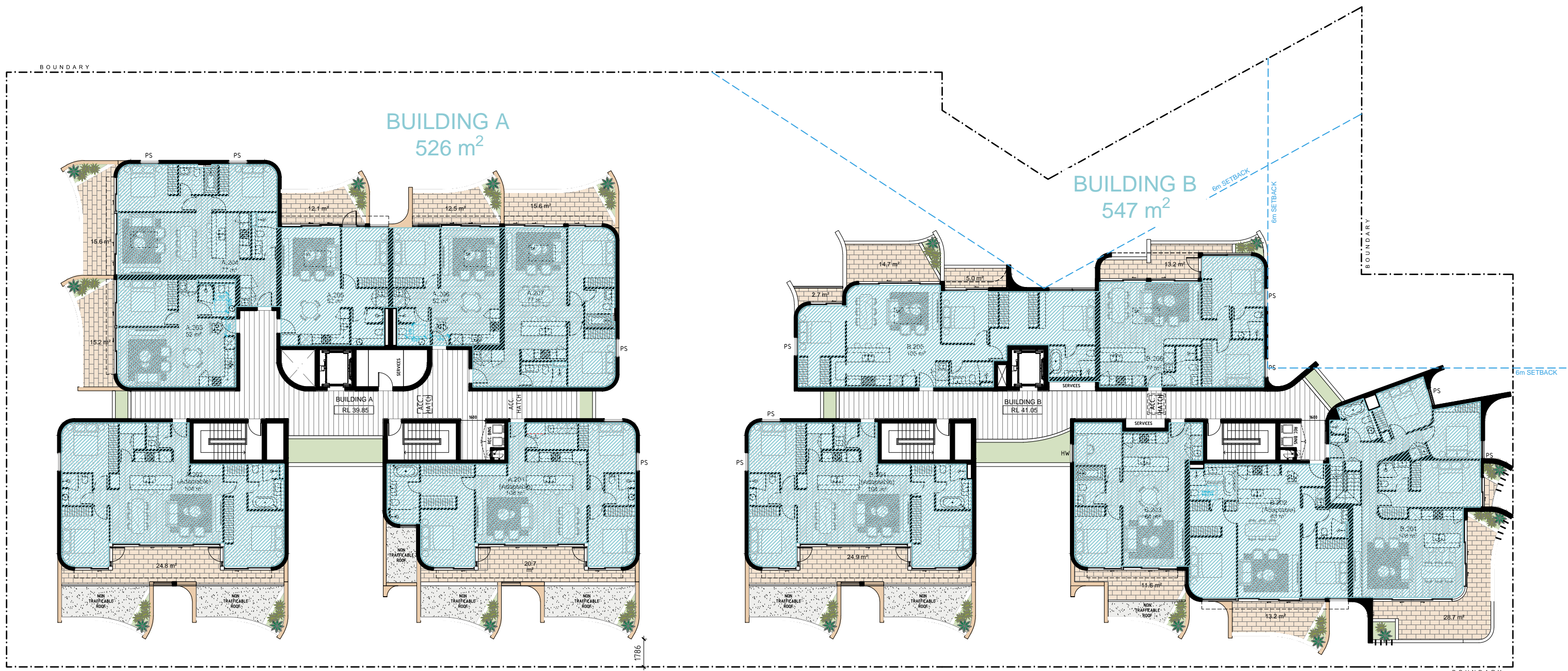
1 GROUND FLOOR



2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2

▲ D
● AFFORDABLE HOUSING APARTMENTS

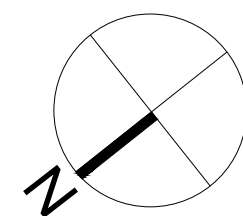
▲ D

GFA			
Level	Building A	Building B	Building A+B
Ground Floor	320	219	539
Upper Ground	592	583	1175
Level 1	592	583	1175
Level 2	526	547	1073
TOTAL	2030	1932	3962
Proposed FSR			1.1343
Affordable Housing Area	939.0 proposed	23.43% required	928.2 required

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.08.2021	ISSUED FOR REVISED DA			
C	17.08.2021	AMENDED DRAWINGS FOR DA ISSUE			
D	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A2
1:200 @ A3

DA501

GFA DIAGRAM

ISSUE: D

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

DATE: AUGUST 2020 JOB No. 2015

CLIENT: STARGATE PROPERTY GROUP

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| FHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

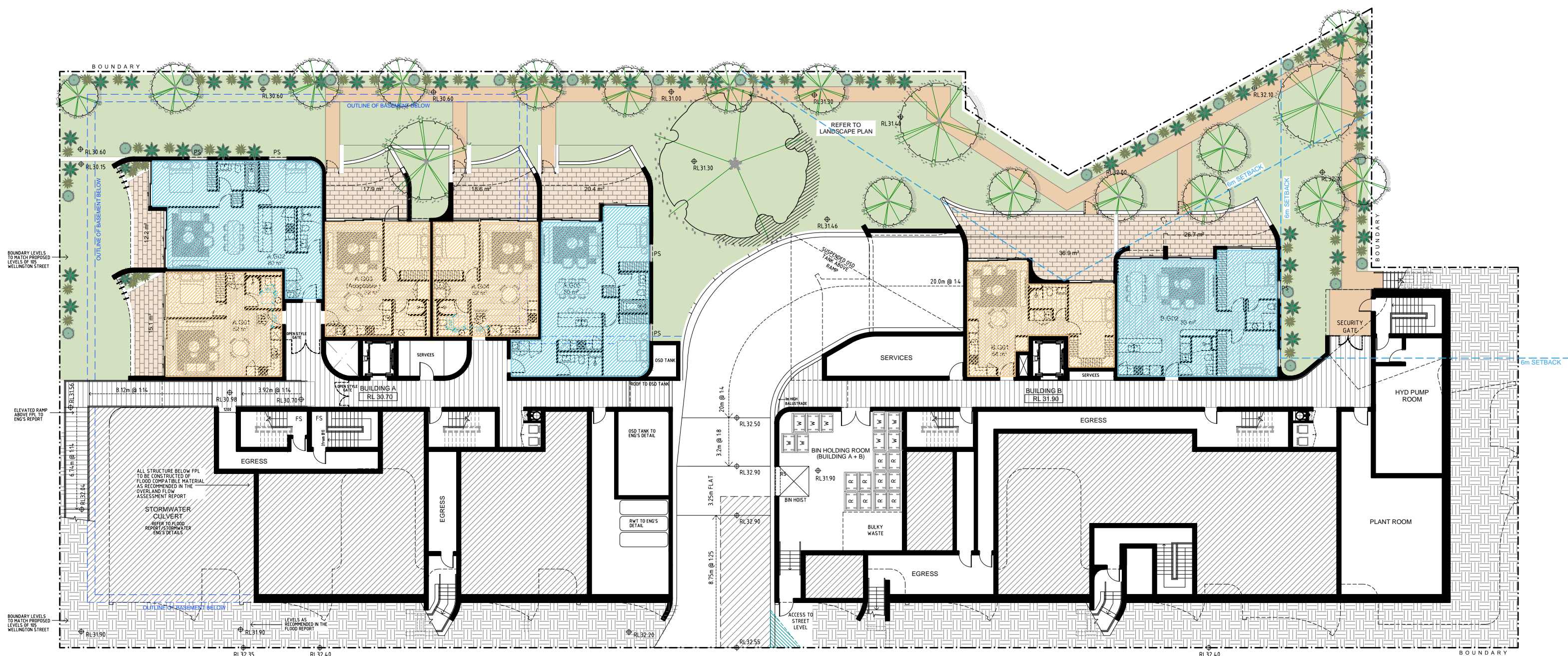
AMENDED

RECEIVED

Waverley Council

Application No. DA-268/2020

Date Received: 24/11/2021



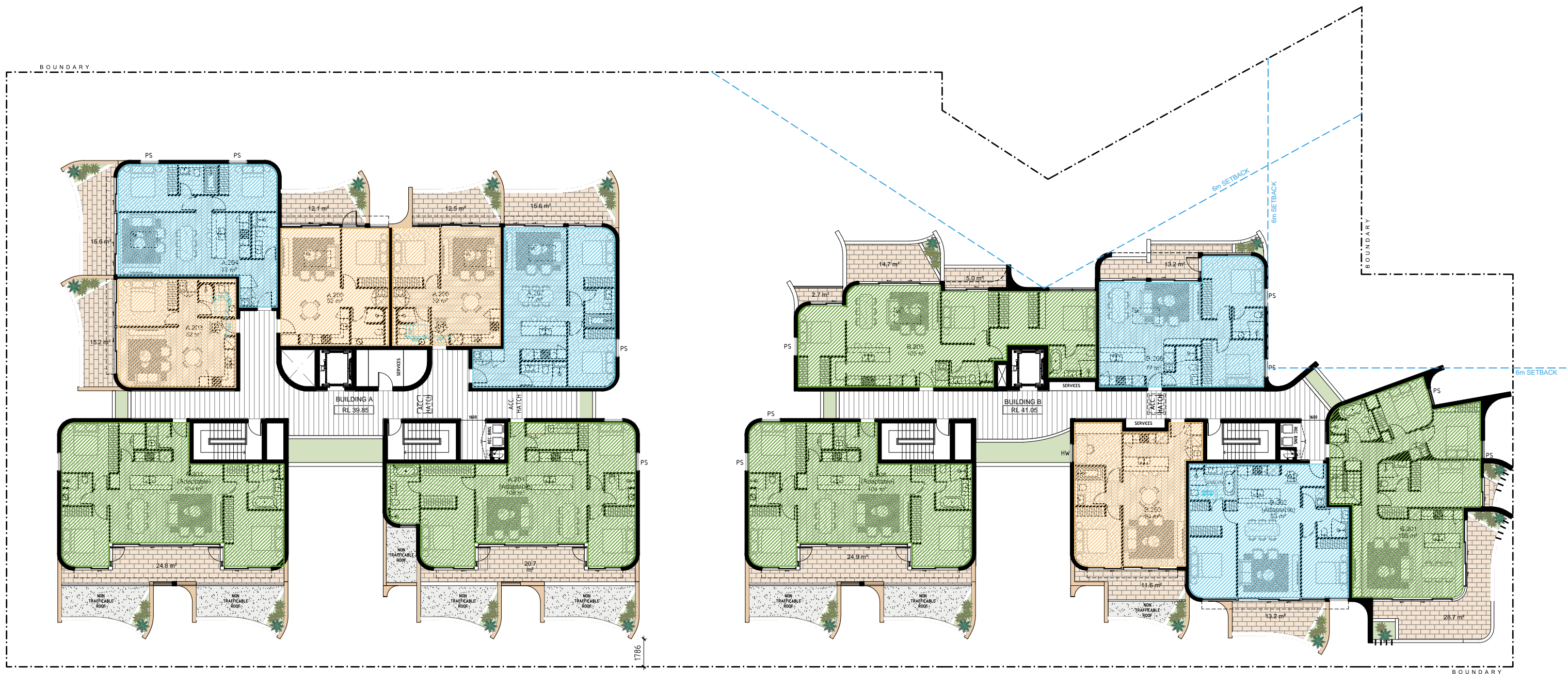
1 GROUND FLOOR



2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2

LEGEND

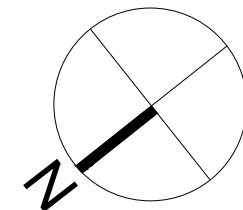
- | | | |
|-------|-------|-------|
| 1 BED | 2 BED | 3 BED |
|-------|-------|-------|

1 BED	x 20 (38.5%)
2 BED	x 23 (44.2%)
3 BED	x 9 (17.3%)
TOTAL	x 52 (100%)

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2

APARTMENT MIX DIAGRAM

ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

DA510

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP

GENERAL NOTES:

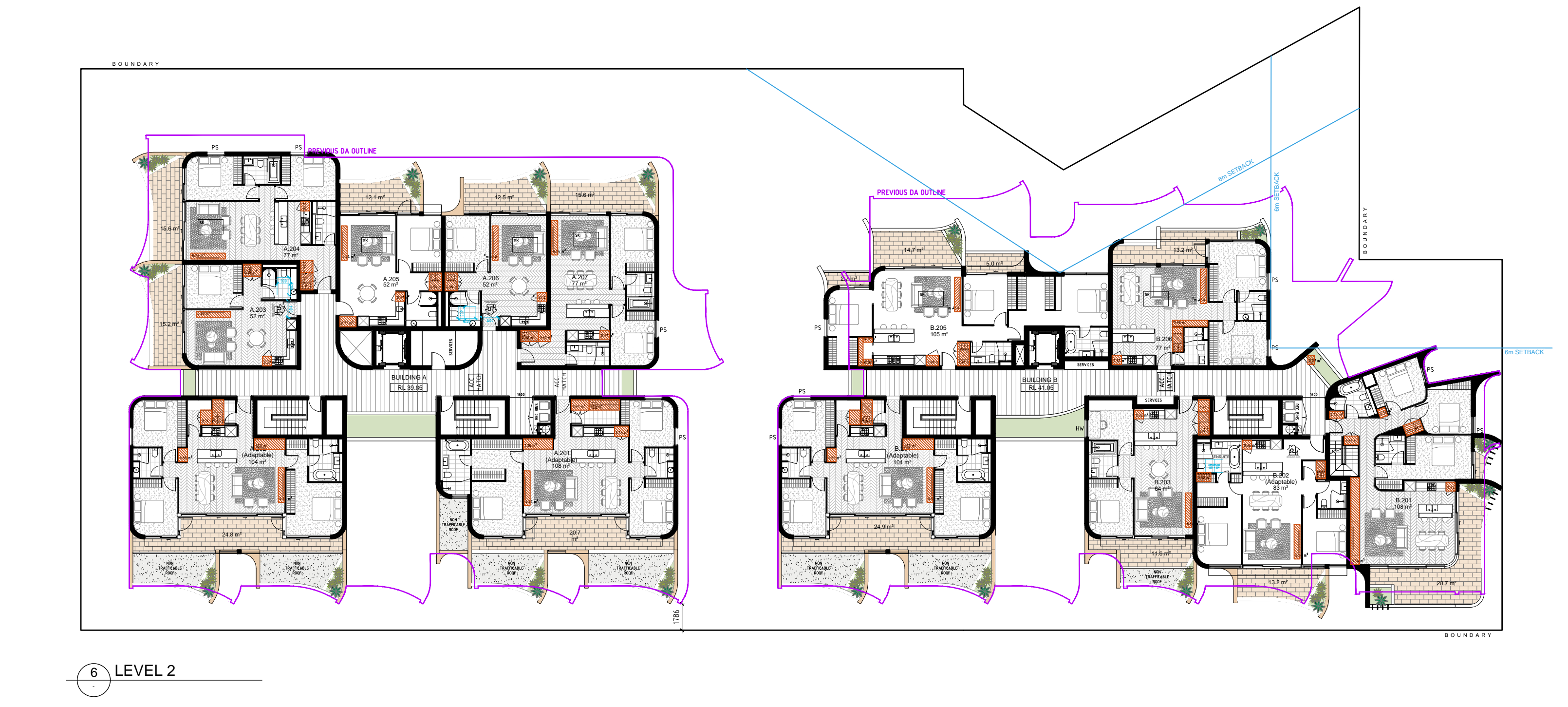
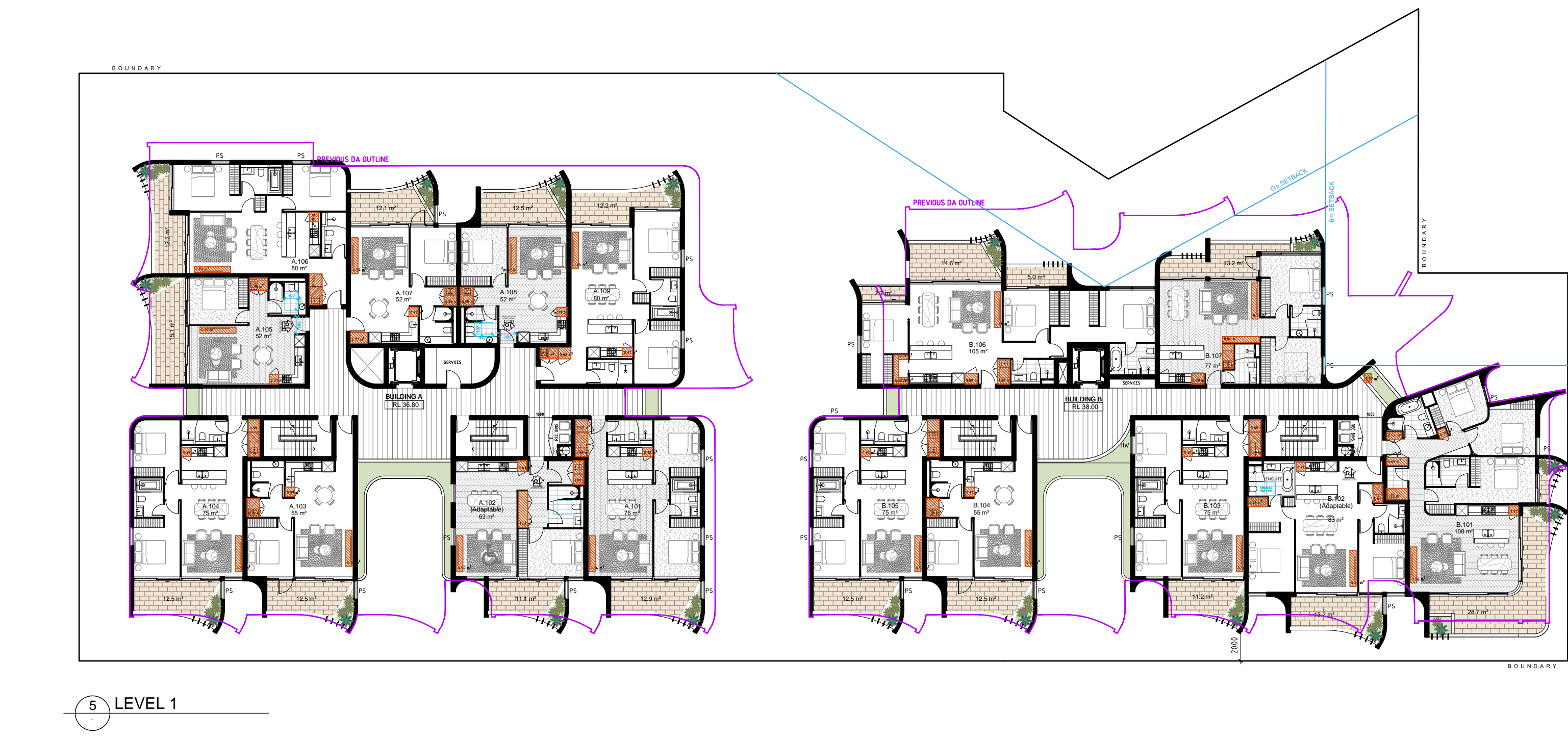
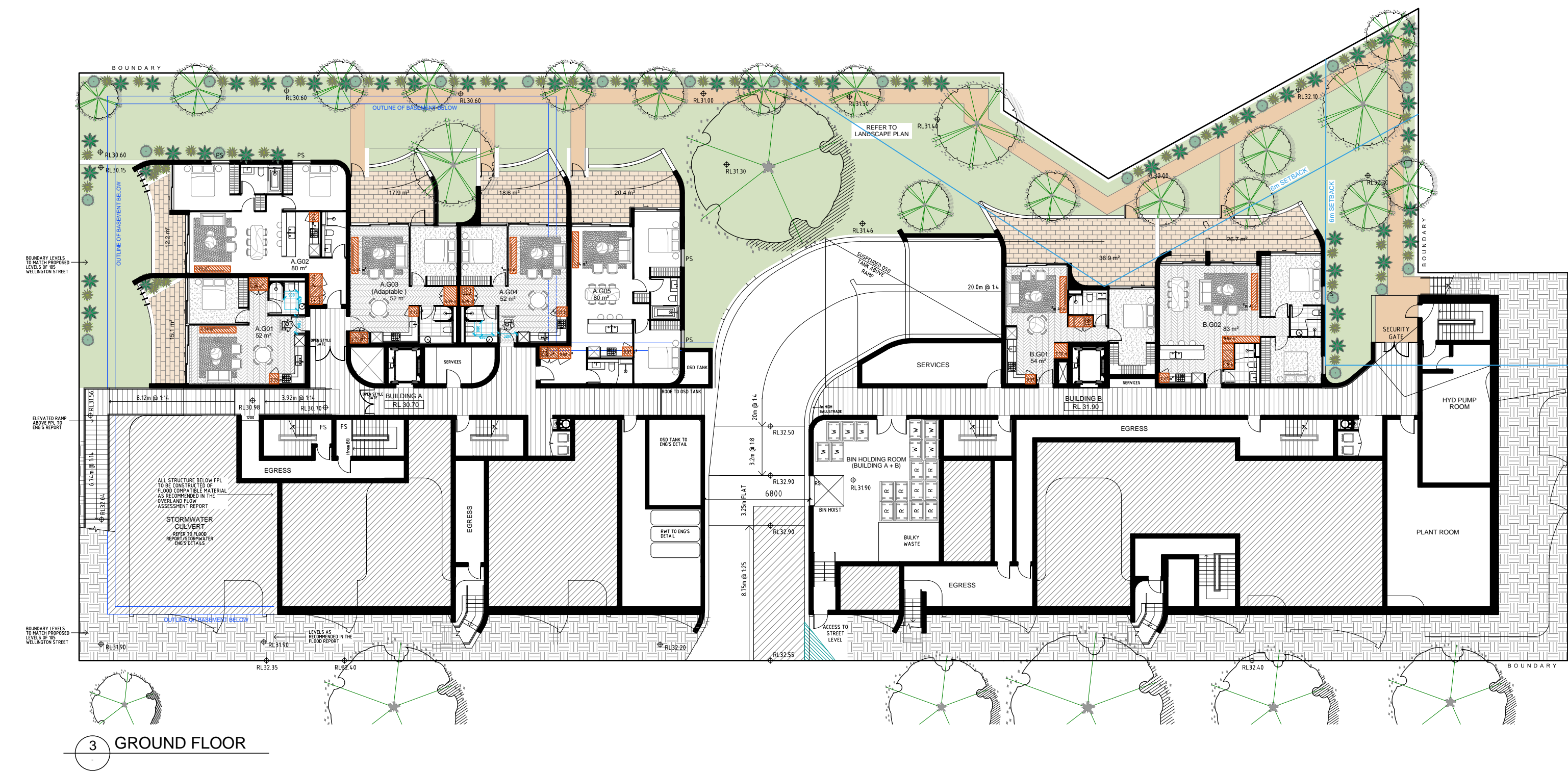
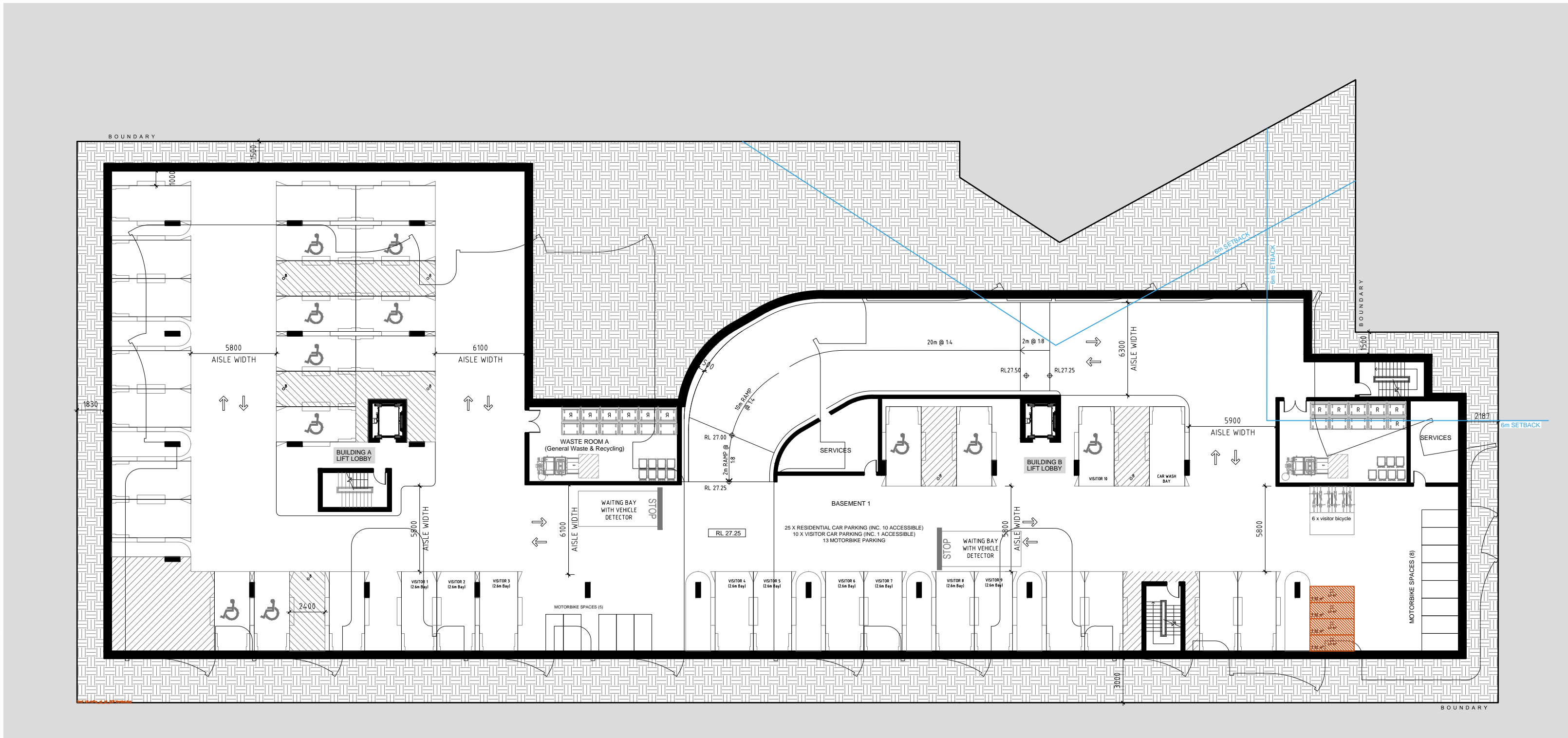
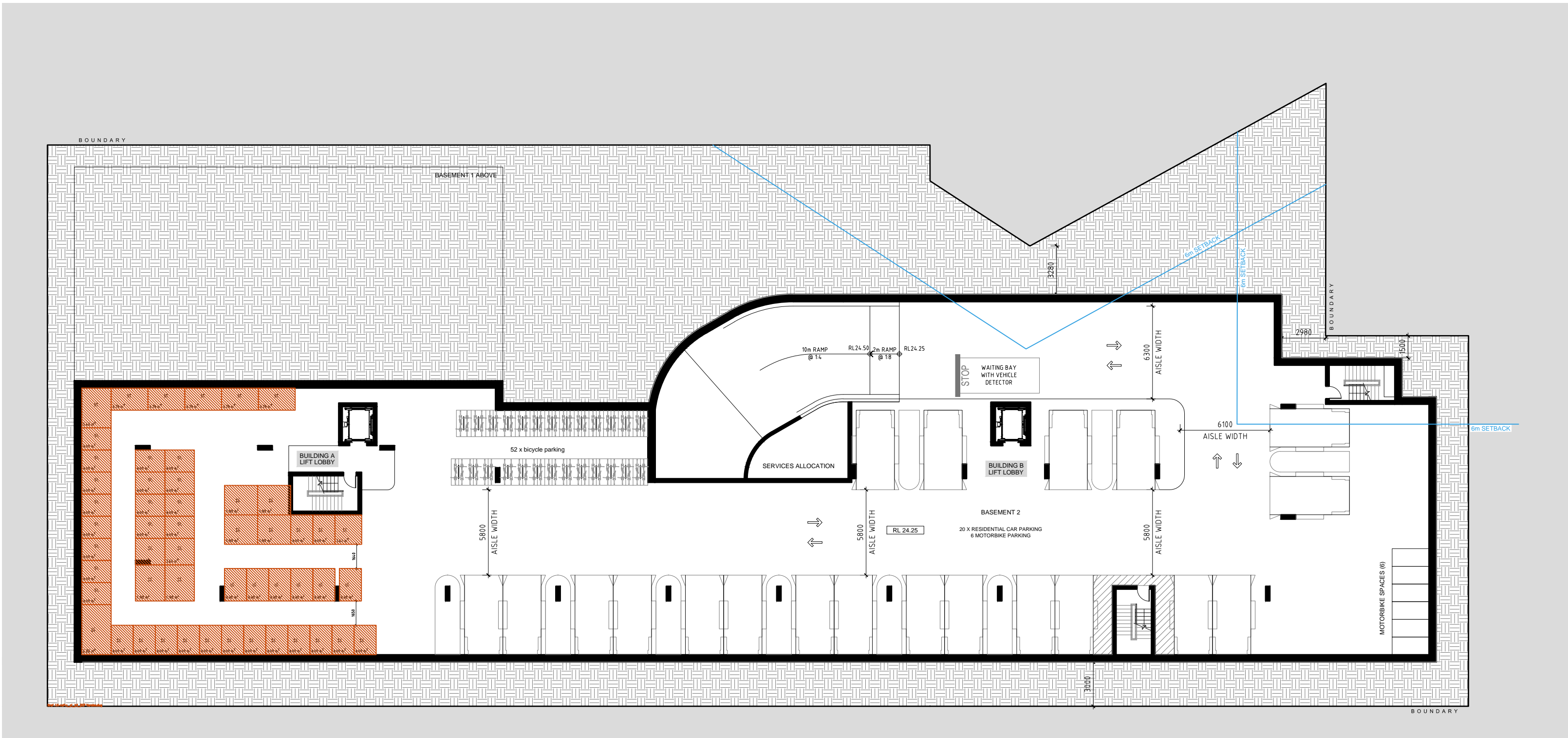
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B BOLLARD
HW HIGHLIGHT WINDOW
CU A/C CONDENSER UNITS
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FS FIRE STAIRS
GC GARBAGE CHUTE
MB MAILBOX TO FUTURE DETAIL
SK-F FIXED SKYLIGHT
SK-OP OPERABLE SKYLIGHT
ST STORAGE

AMENDED

RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



Storage Schedule - Building A

Level	Unit.No	Type	Storage (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
GF - L1	A.G01	1 BED	3	3	6
	A.G02	2 BED	4	4	8
	A.G03	1 BED	5	3	8
	A.G04	1 BED	5	3	8
	A.G05	2 BED	4	4	8
UG	A.UG01	2 BED	5	4	9
	A.UG02	1 BED	5	3	8
	A.UG03	1 BED	3	3	6
	A.UG04	2 BED	5	4	9
	A.UG05	1 BED	3	3	6
	A.UG06	2 BED	4	4	8
	A.UG07	1 BED	5	3	8
	A.UG08	1 BED	5	3	8
	A.UG09	2 BED	6	4	10
L1	A.101	2 BED	5	4	9
	A.102	1 BED	7	3	10
	A.103	1 BED	3	3	6
	A.104	2 BED	5	4	9
	A.105	1 BED	3	3	6
	A.106	2 BED	4	4	8
	A.107	1 BED	5	3	8
	A.108	1 BED	5	3	8
	A.109	2 BED	6	4	10
L2	A.201	3 BED	7	5	12
	A.202	3 BED	9	5	14
	A.203	1 BED	3	3	6
	A.204	2 BED	5	4	9
	A.205	1 BED	5	3	8
	A.206	1 BED	5	3	8
	A.207	2 BED	4	4	8

Storage Schedule - Building B

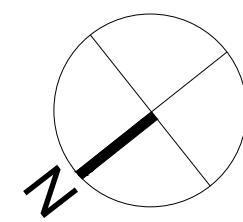
Level	Unit.No	Type	Storage (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
GF	B.G01	1 BED	5	3	8
	B.G02	2 BED	4	4	8
UG	B.UG01	3 BED	8	5	13
	B.UG02	2 BED	5	4	9
	B.UG03	2 BED	5	4	9
	B.UG04	1 BED	3	3	6
	B.UG05	2 BED	5	4	9
	B.UG06	3 BED	6	5	11
	B.UG07	2 BED	5	4	9
L1	B.101	3 BED	8	5	13
	B.102	2 BED	4	4	8
	B.103	2 BED	5	4	9
	B.104	1 BED	3	3	6
	B.105	2 BED	5	4	9
	B.106	3 BED	6	5	11
	B.107	2 BED	5	4	9
L2	B.201	3 BED	9	5	14
	B.202	2 BED	4	4	8
	B.203	1 BED	5	3	8
	B.204	3 BED	9	5	14
	B.205	3 BED	6	5	11
	B.206	2 BED	5	4	9

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA
B	02.05.2021	ISSUED FOR REVISED DA
C	19.11.2021	ISSUED FOR REVISED DA

ISSUE	DATE	DESCRIPTION



SCALE 1:250 @ A0
1:200 @ A2

DA520
STORAGE DIAGRAM
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

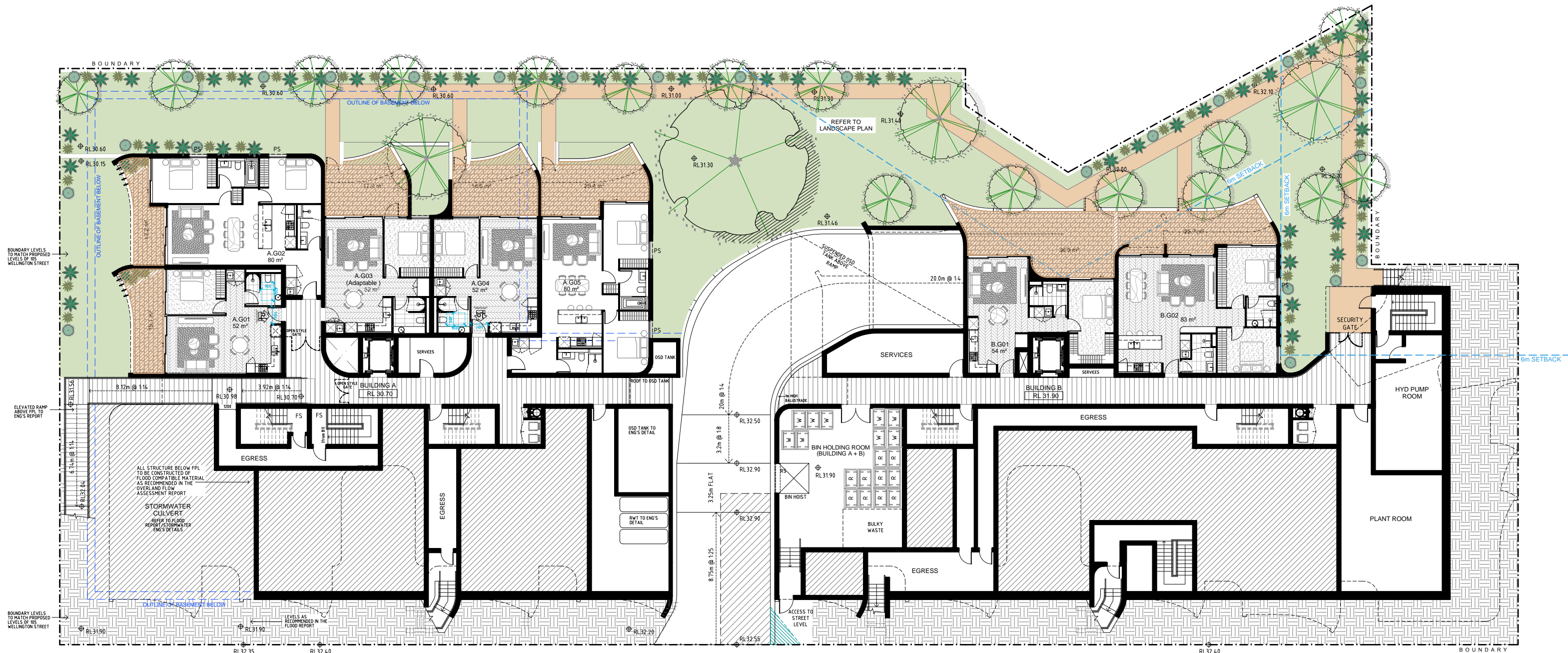
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

AMENDED

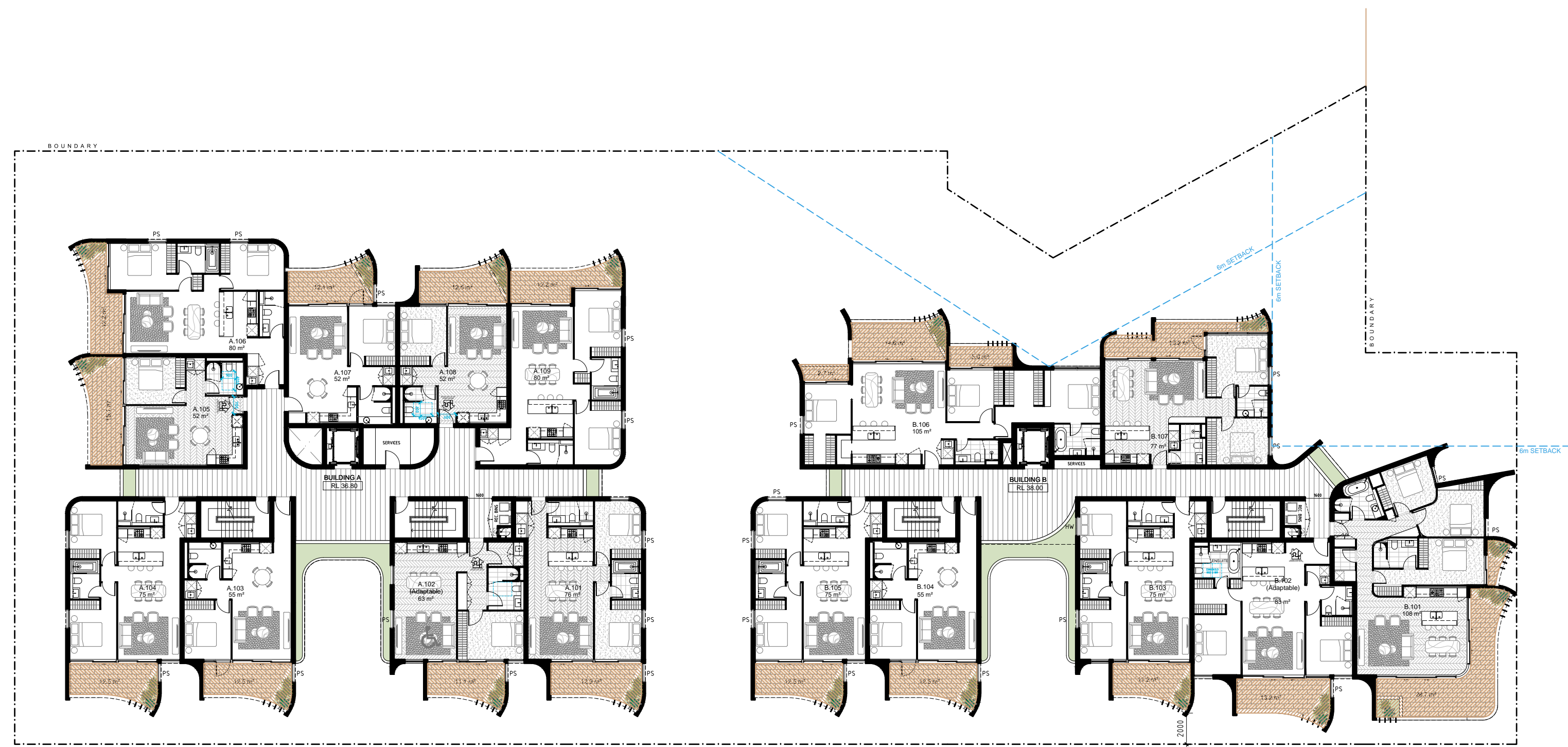
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



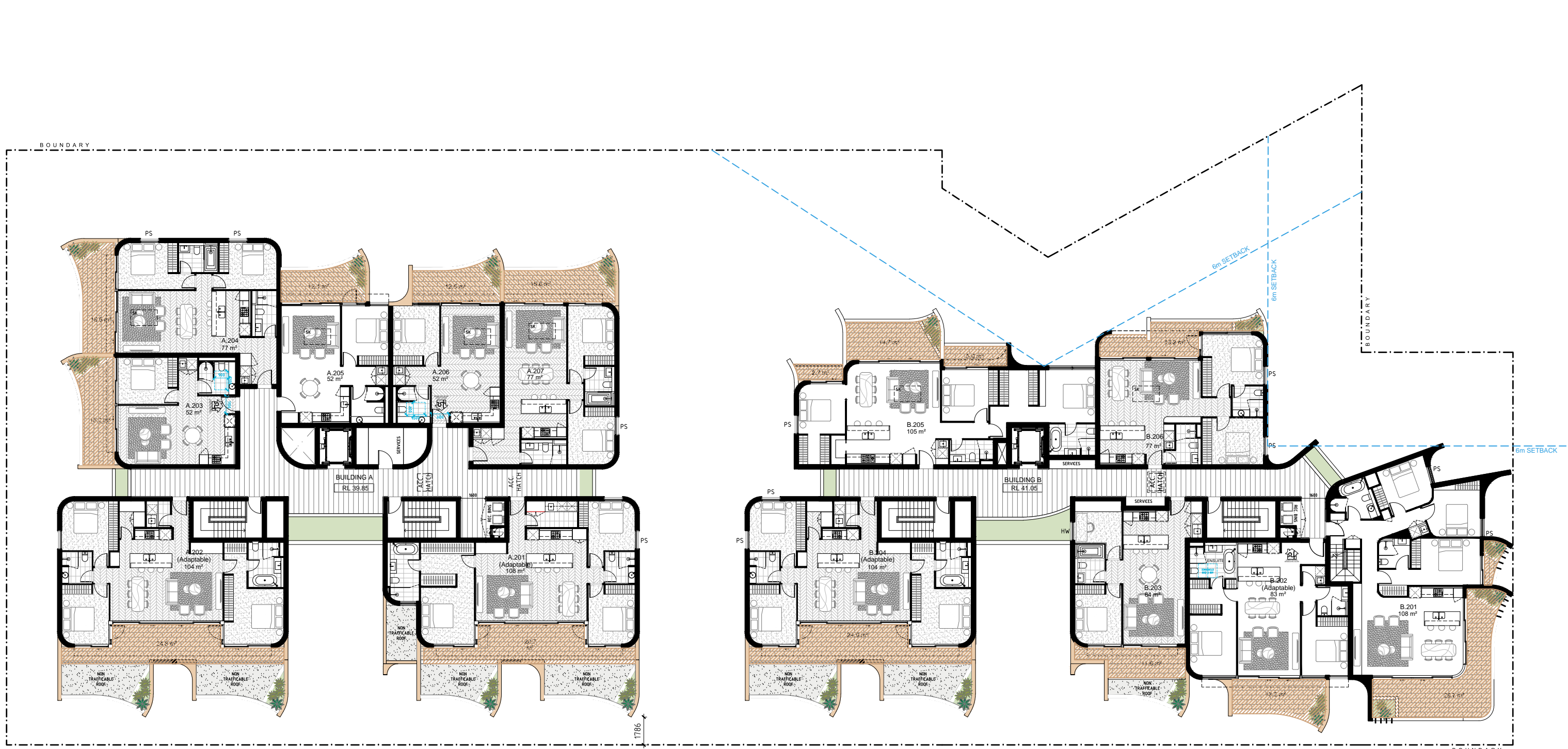
1 GROUND FLOOR



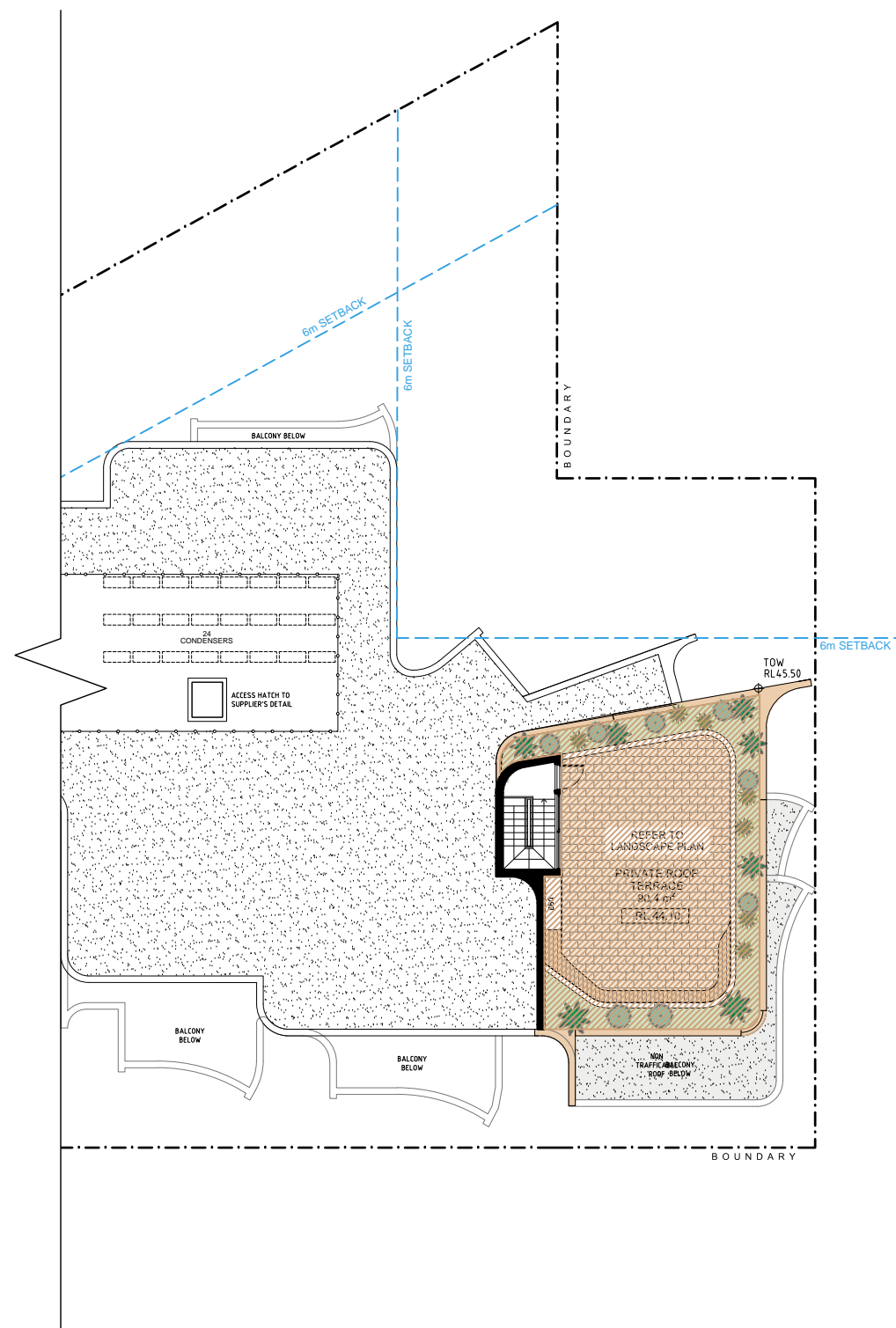
2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2



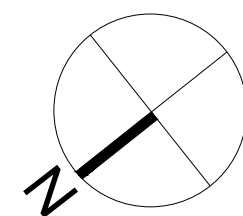
5 ROOF PLAN - PARTIAL

GENERAL UPDATE WITH CHANGES FOR LATEST REVISION

AMENDMENTS

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2

PRIVATE OPEN SPACE DIAGRAM

DA530

ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS. AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY. FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| FHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

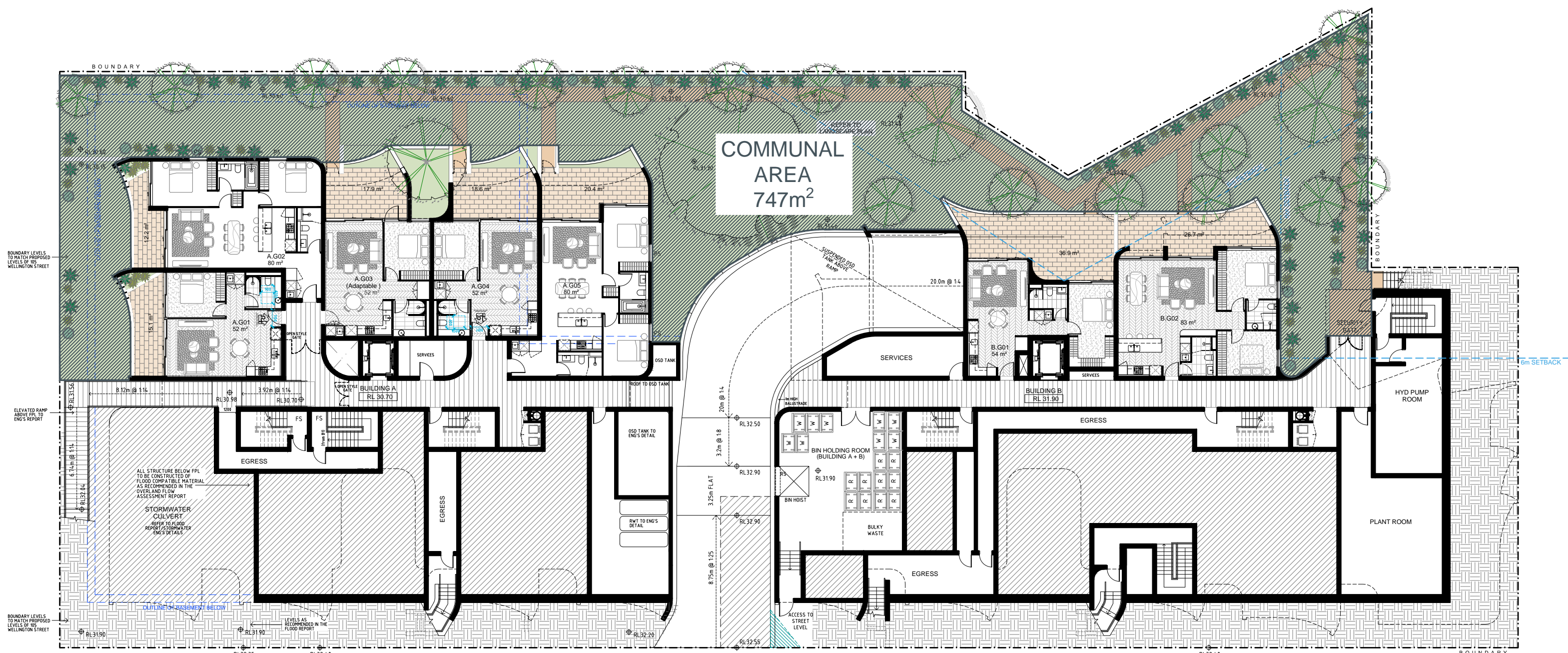
AMENDED

RECEIVED

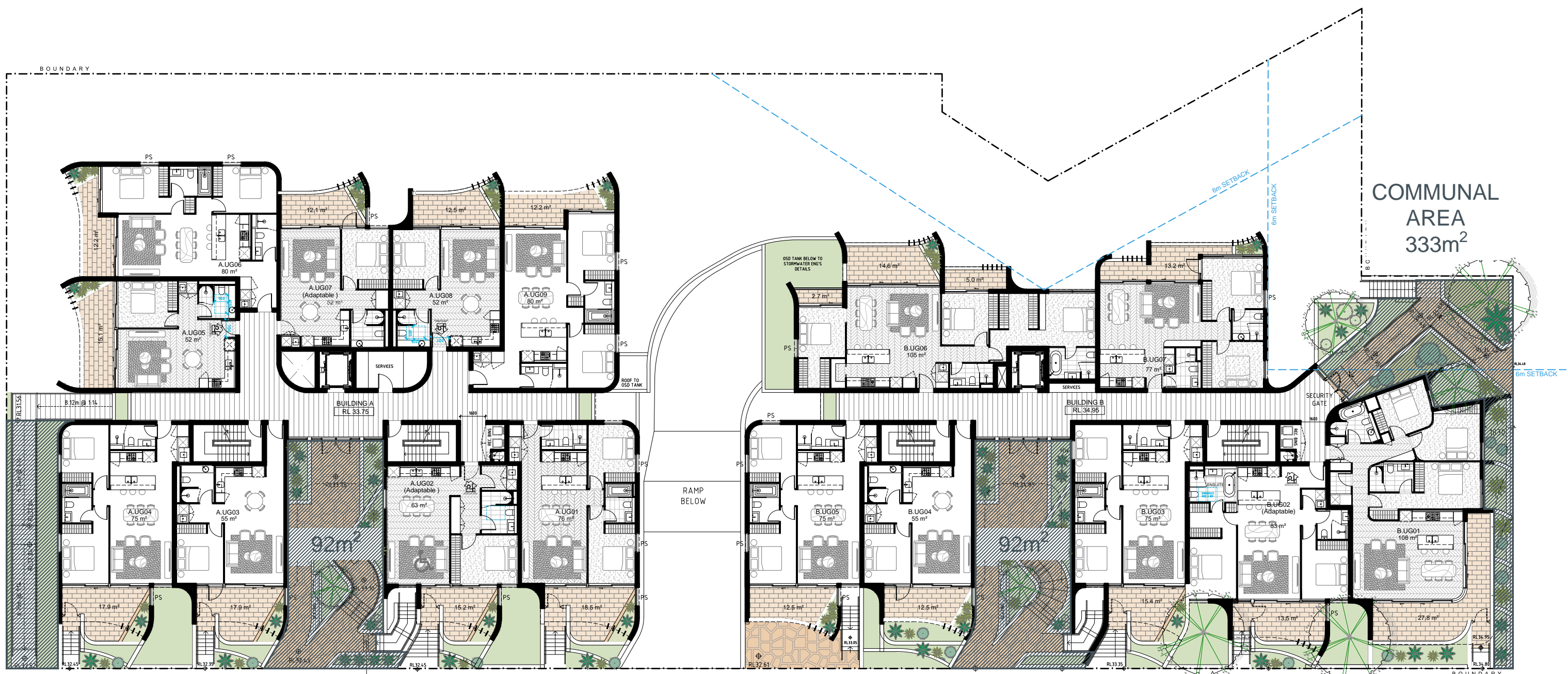
Waverley Council

Application No. DA-268/2020

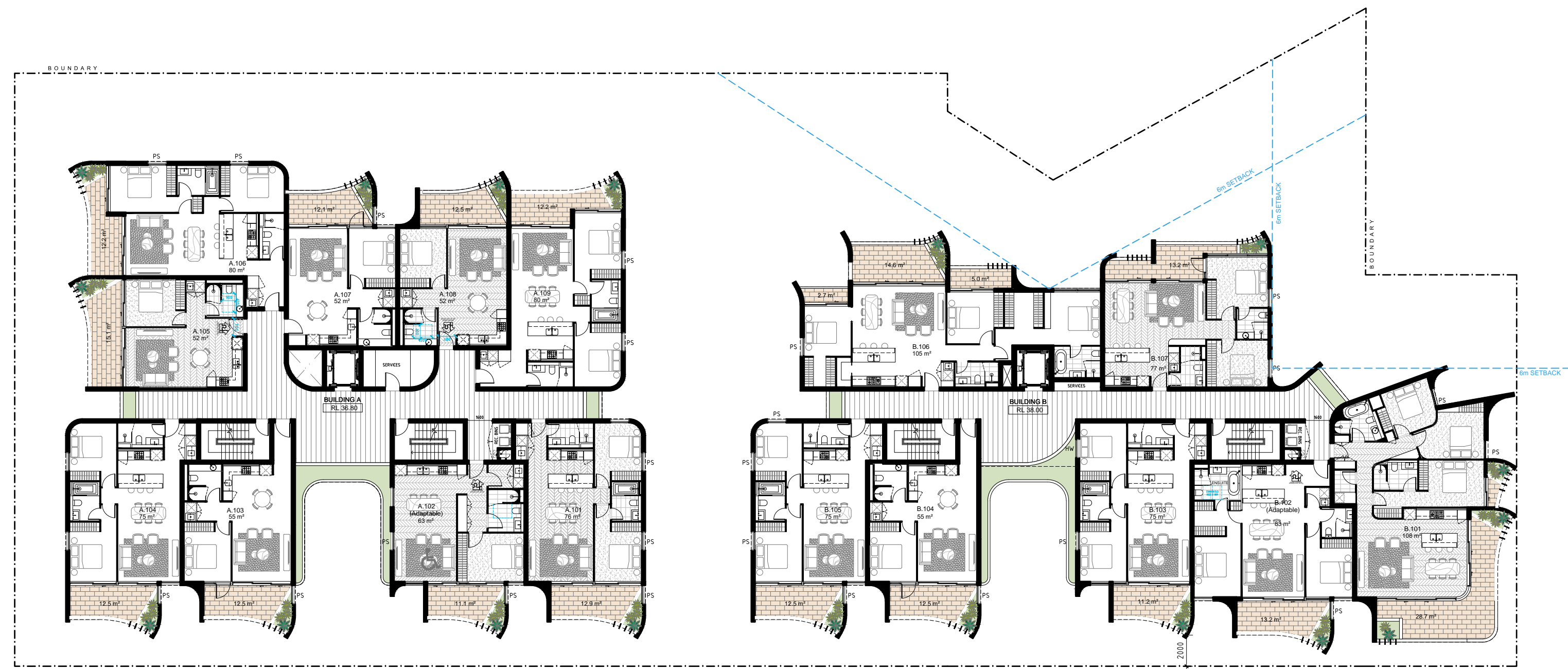
Date Received: 24/11/2021



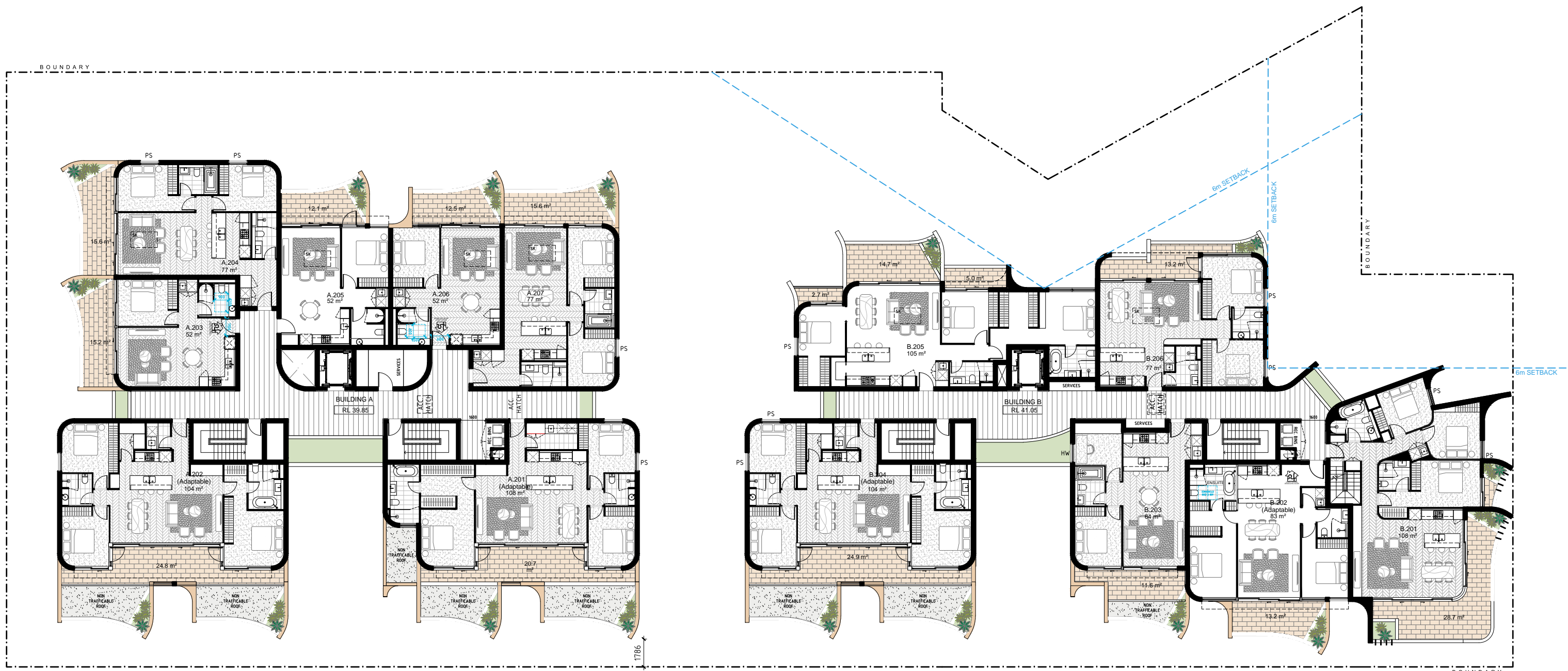
1 GROUND FLOOR



2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2

C

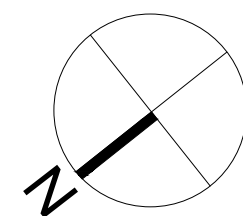
SITE AREA = 3493 m²
MIN. 25% COMMUNAL OPEN SPACE = 873.3 m² (MIN.)

COMMUNAL OPEN SPACE	
GF	747 m²
UPPER GROUND	333 m²
TOTAL	1080 m² (30.9%)

AMENDMENTS

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2

COMMUNAL OPEN SPACE DIAGRAM

ISSUE: C

DA540

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP

GENERAL NOTES:

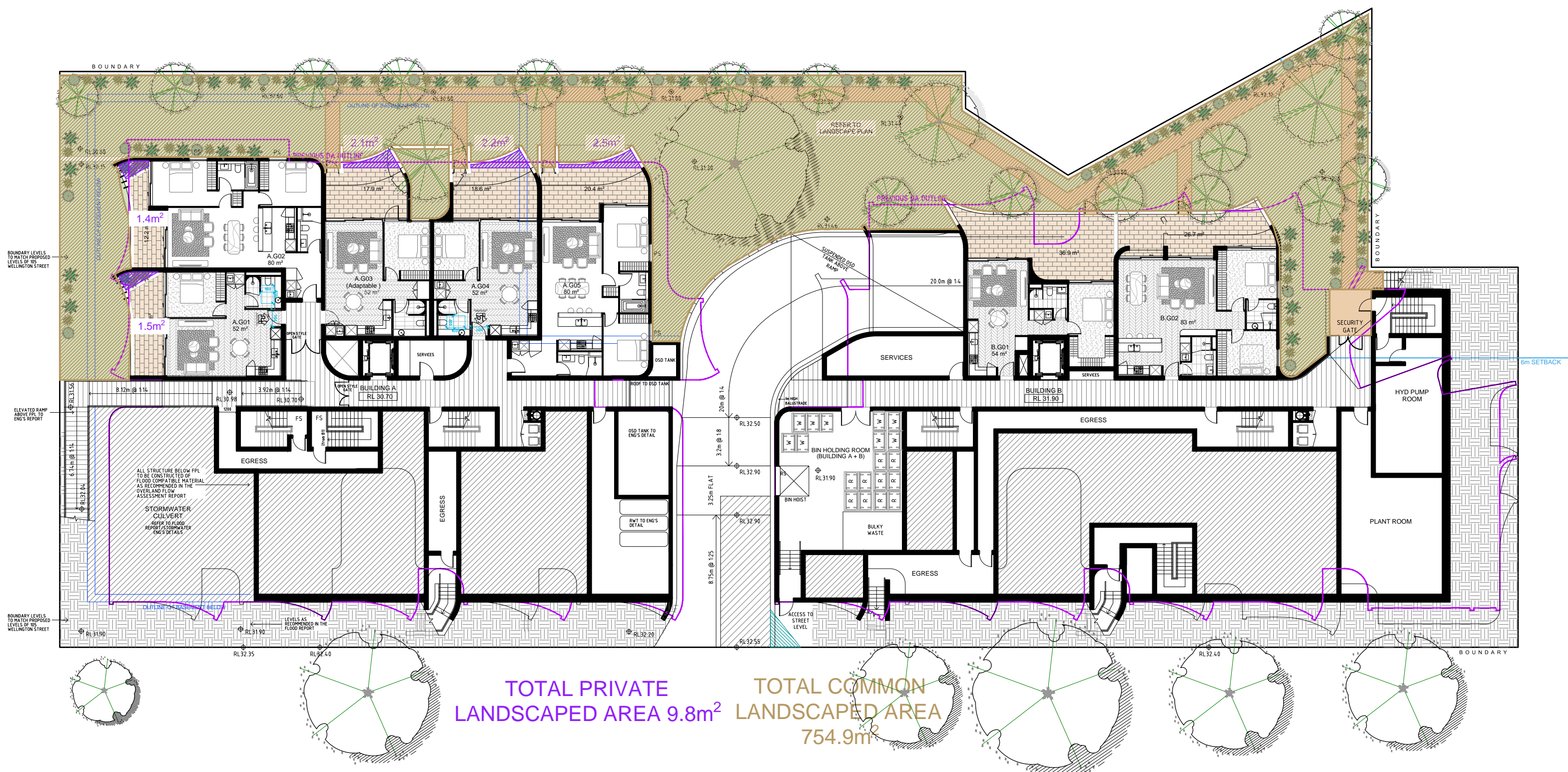
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES / LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY – FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN/ HEREIN IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SHOWN ARE APPROXIMATE ONLY – FUTURE ALLOWANCE FOR VENTILATION SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



C

[illegible]

ISSUE: C

ABN 36 147 035 550, Nominated Architect Paul Buljovic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

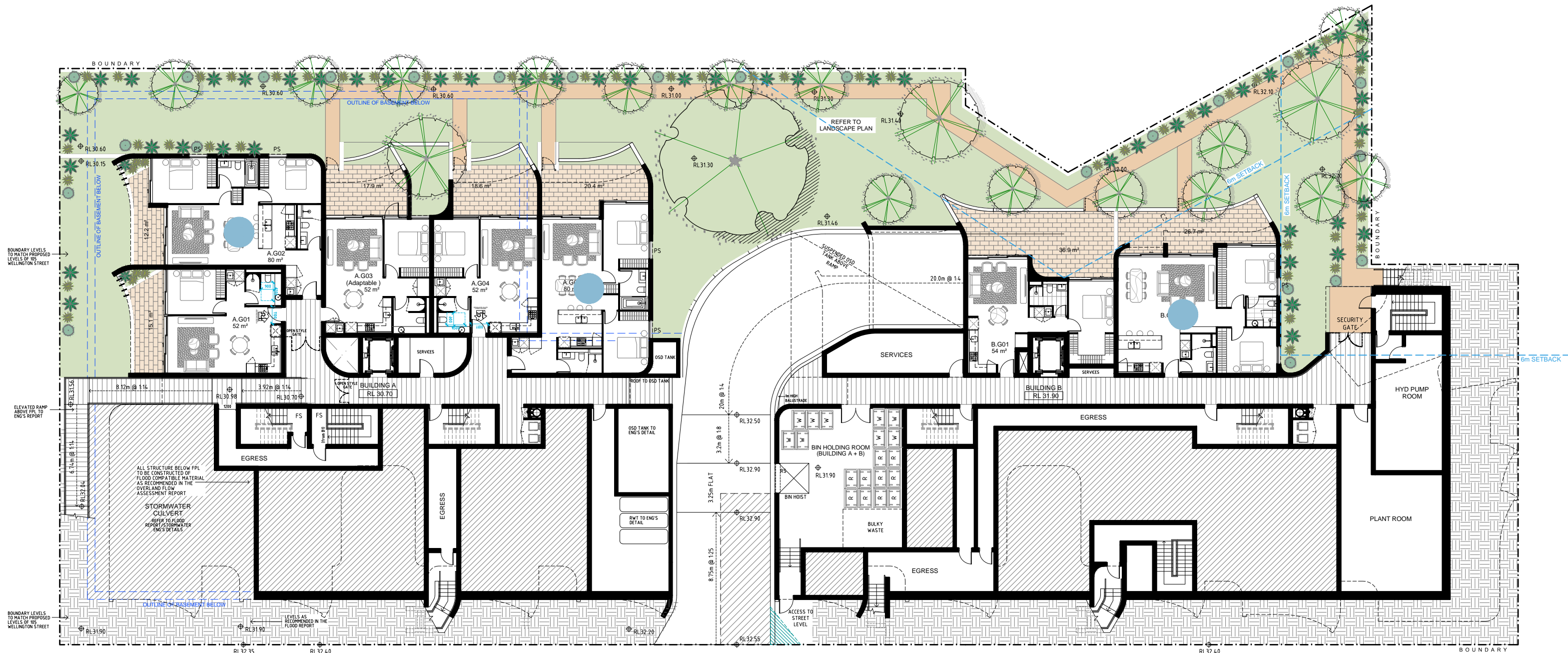
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

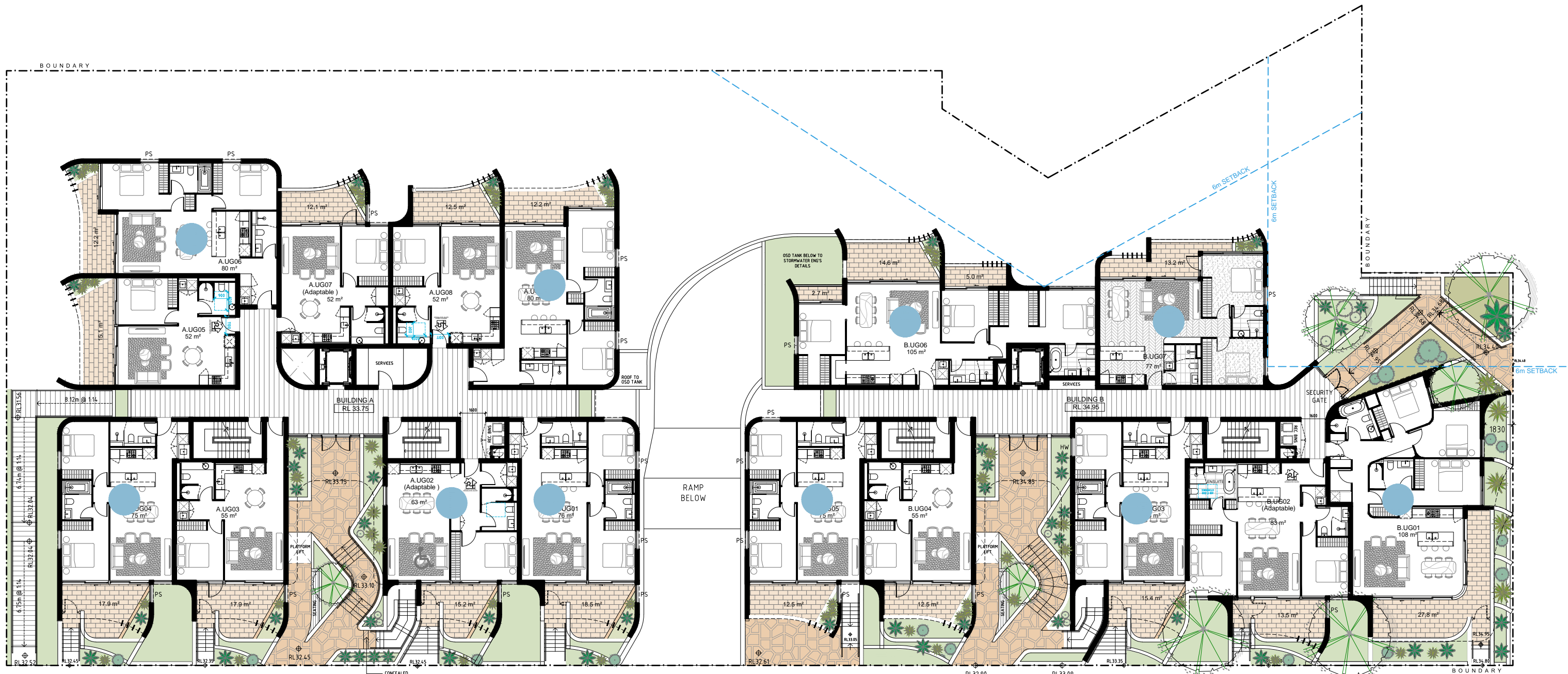
- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

AMENDED

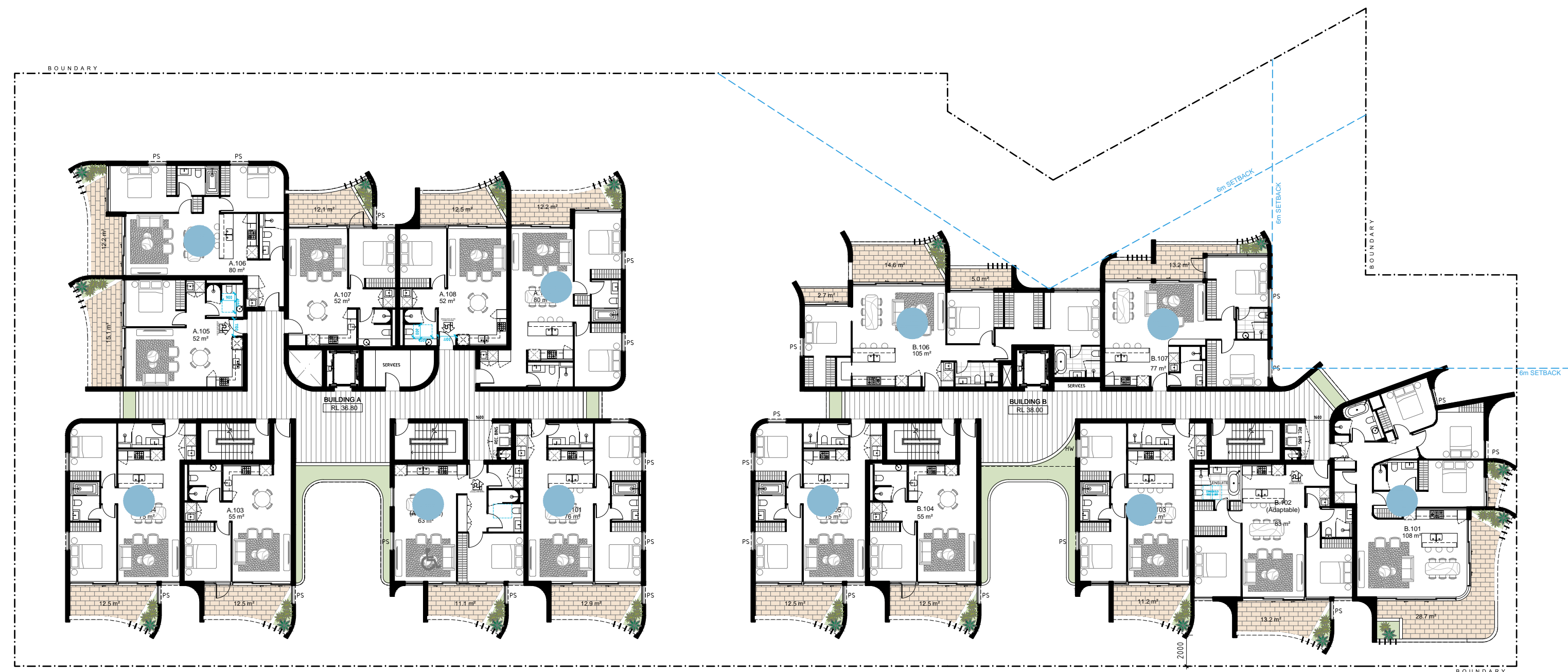
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



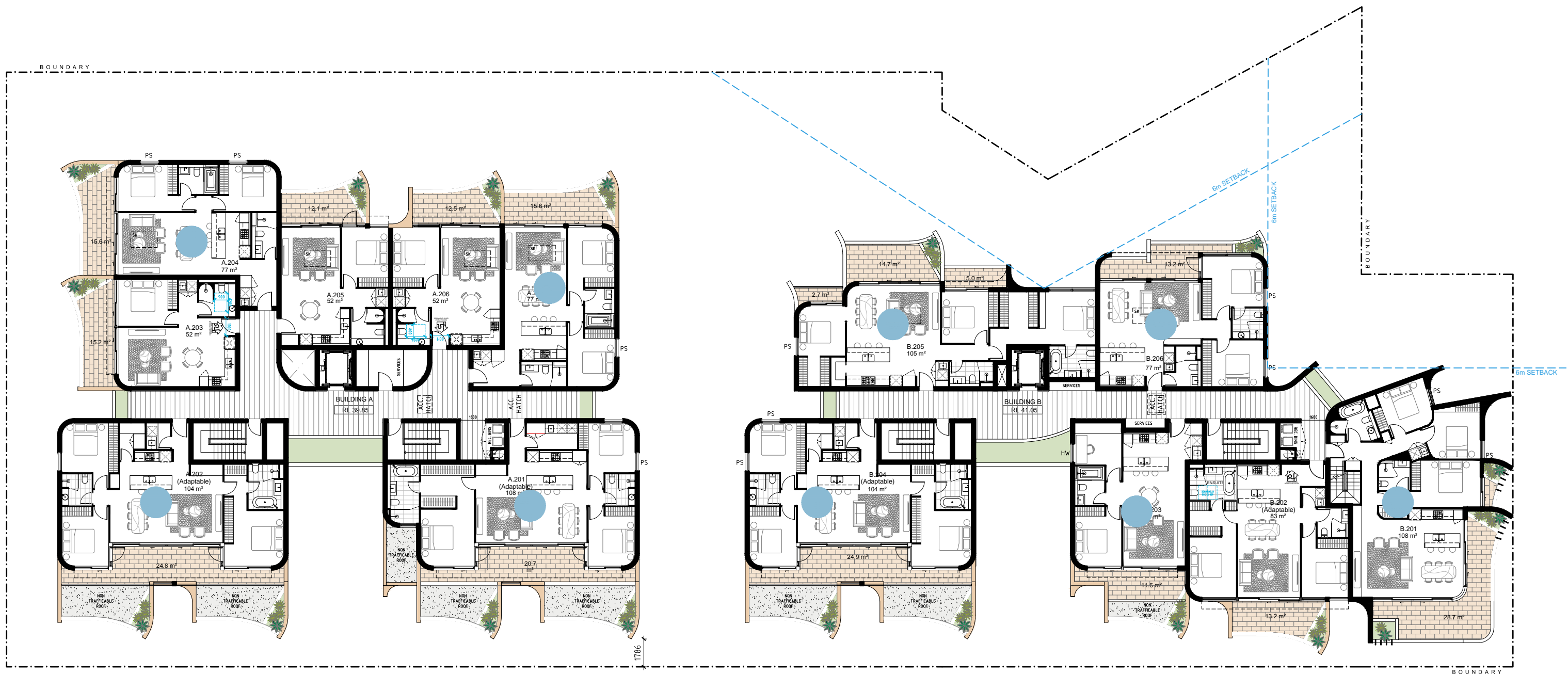
1 GROUND FLOOR



2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2



CROSS VENTILATION APARTMENT

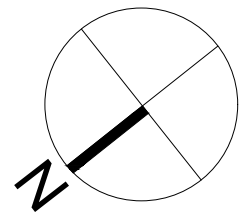
NATURAL CROSS VENTILATION SUMMARY

TOTAL NUMBER OF APARTMENTS : 52 UNITS
NATURALLY CROSS VENTILATED APARTMENTS : 32UNITS
APARTMENTS WITH NATURAL CROSS VENTILATION = 61.5%

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2

CROSS VENTILATION DIAGRAM

ISSUE: C

DA570

CLIENT: STARGATE PROPERTY GROUP

DATE: AUGUST 2020 JOB No. 2015

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

PBD | ARCHITECTS

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

- | | |
|-------|--------------------------|
| B | BOLLARD |
| HW | HIGHLIGHT WINDOW |
| CU | A/C CONDENSER UNITS |
| PH | FIRE HYDRANT |
| PHR | FIRE HOSE REEL |
| FS | FIRE STAIRS |
| GC | GARBAGE CHUTE |
| MB | MAILBOX TO FUTURE DETAIL |
| SK-F | FIXED SKYLIGHT |
| SK-OP | OPERABLE SKYLIGHT |
| ST | STORAGE |

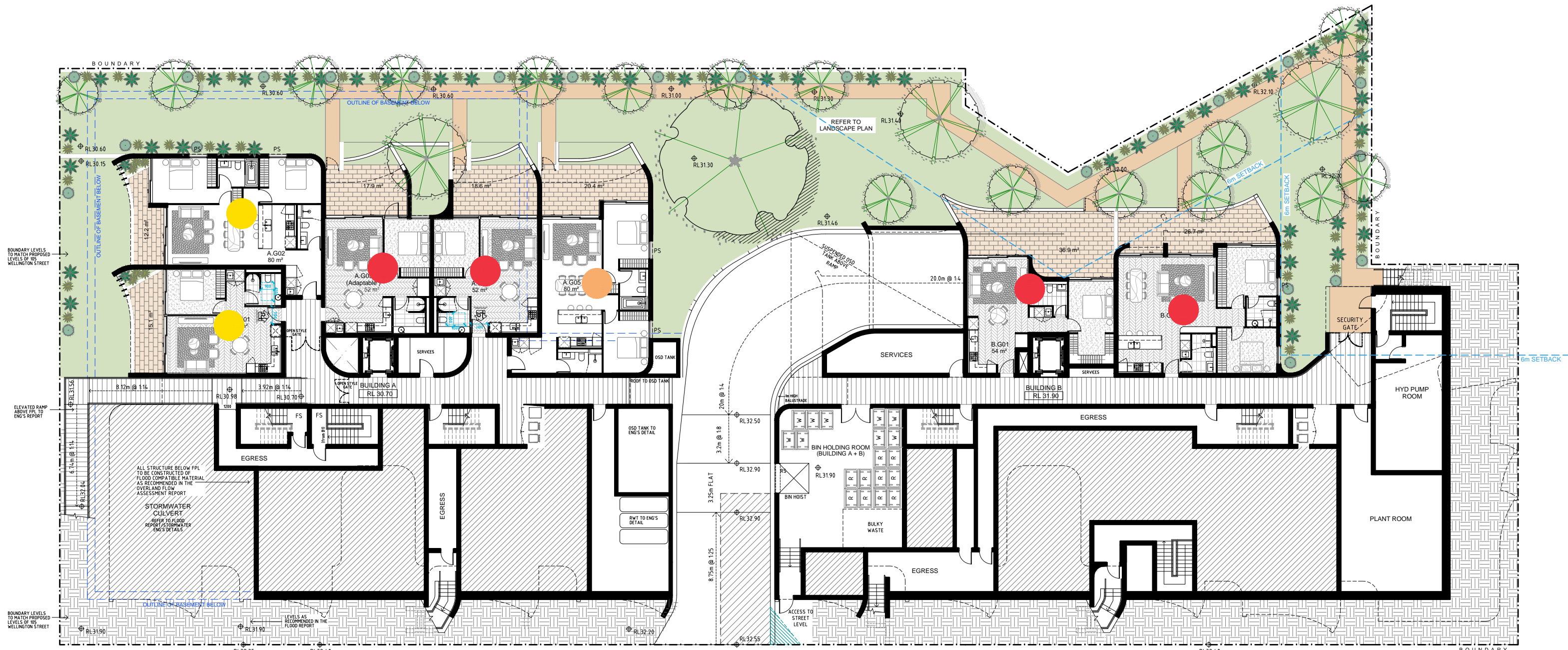
AMENDED

RECEIVED

Waverley Council

Application No. DA-268/2020

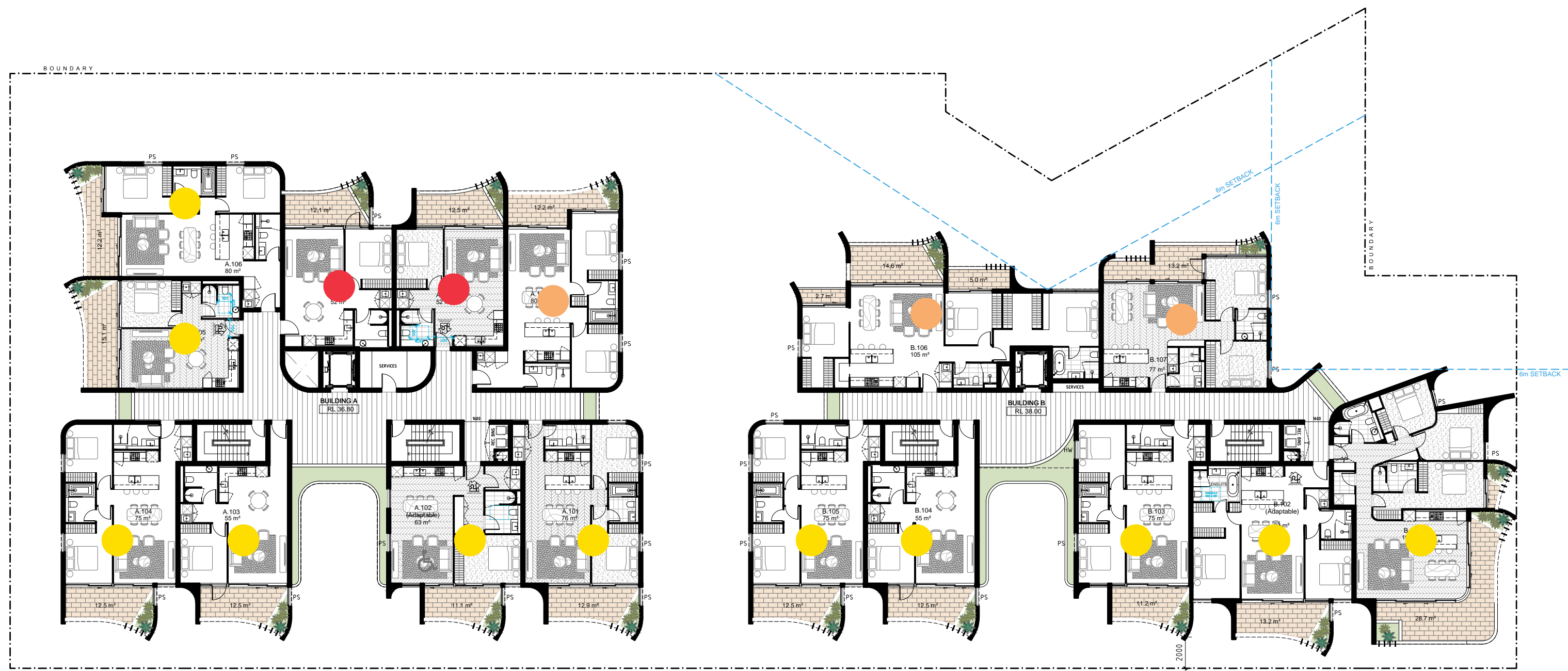
Date Received: 24/11/2021



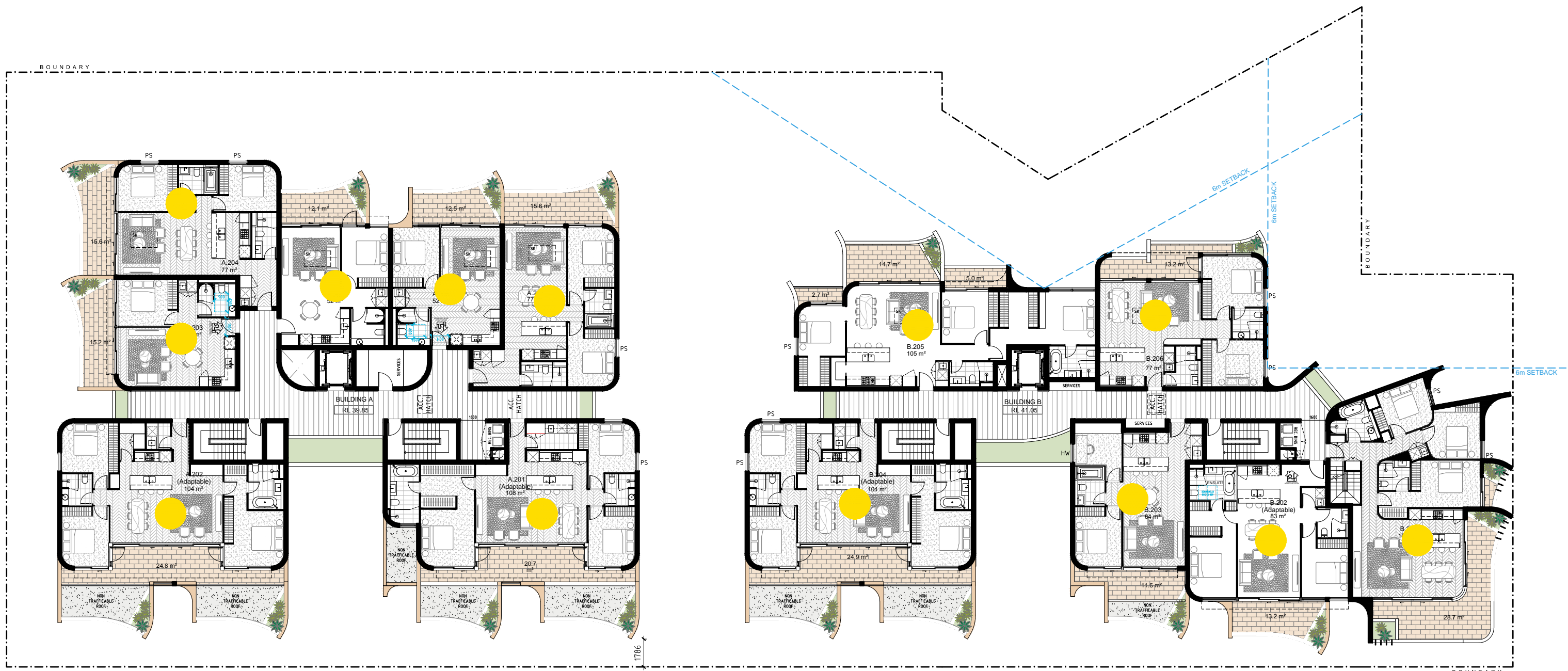
1 GROUND FLOOR



2 UPPER GROUND FLOOR



3 LEVEL 1



4 LEVEL 2

LEGEND

- >2H SOLAR
- <2H SOLAR
- NO SOLAR

SOLAR ACCESS SUMMARY

TOTAL NUMBER OF APARTMENTS : 52 UNITS
>2H SOLAR APARTMENTS : 37 UNITS (70%)
NO SOLAR APARTMENTS : 8 UNITS (14%)

SOLAR COMPLIANCE CHECK - BUILDING A

	9AM	9.15AM	10AM	11AM	12PM	1PM	2PM	3PM	TOTAL
A.G01				Y	Y	Y	Y		3
A.G02	Y								3.25
A.G03				Y	Y	Y	Y		0
A.G04									0
A.G05	Y	Y							0.25
A.U.G01				Y	Y	Y	Y	Y	3
A.U.G02				Y	Y	Y	Y	Y	3
A.U.G03				Y	Y	Y	Y	Y	3
A.U.G04				Y	Y	Y	Y	Y	3
A.U.G05			Y	Y	Y	Y	Y	Y	5
A.U.G06									4
A.U.G07									0
A.U.G08									0
A.U.G09	Y	Y							0.25
A.101				Y	Y	Y	Y	Y	3
A.102				Y	Y	Y	Y	Y	3
A.103				Y	Y	Y	Y	Y	3
A.104				Y	Y	Y	Y	Y	3
A.105	Y	Y	Y	Y	Y	Y	Y	Y	6
A.106	Y	Y	Y	Y	Y	Y	Y	Y	6
A.107									0
A.108									0
A.109	Y	Y							0.25
A.201				Y	Y	Y	Y	Y	3
A.202				Y	Y	Y	Y	Y	3
A.203				Y	Y	Y	Y	Y	3
A.204			Y	Y	Y	Y			3
A.205			Y	Y	Y	Y			3
A.206			Y	Y	Y	Y			3
A.207			Y	Y	Y	Y			3

SOLAR ACCESS

NO SOLAR

>2H

<2H

SOLAR COMPLIANCE CHECK - BUILDING B

	9AM	9.15AM	10AM	11AM	12PM	1PM	2PM	3PM	TOTAL
B.G01	Y	Y							0.25
B.G02	Y	Y							0.25
B.U.G01				Y	Y	Y	Y	Y	3
B.U.G02				Y	Y	Y	Y	Y	3
B.U.G03				Y	Y	Y	Y	Y	3
B.U.G04				Y	Y	Y	Y	Y	3
B.U.G05				Y	Y	Y	Y	Y	3
B.U.G06									0
B.U.G07	Y	Y							0.25
B.101				Y	Y	Y	Y	Y	3
B.102				Y	Y	Y	Y	Y	3
B.103				Y	Y	Y	Y	Y	3
B.104				Y	Y	Y	Y	Y	3
B.105				Y	Y	Y	Y	Y	3
B.106				Y	Y	Y	Y	Y	3
B.107	Y	Y							0.25
B.201				Y	Y	Y	Y	Y	3
B.202				Y	Y	Y	Y	Y	3
B.203				Y	Y	Y	Y	Y	3
B.204			Y	Y	Y	Y			3
B.205			Y	Y	Y	Y			3
B.206			Y	Y	Y	Y			3

SOLAR ACCESS

NO SOLAR

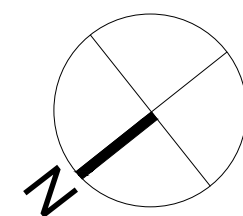
>2H

<2H

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:500 @ A2
1:1000 @ A3

SOLAR ACCESS DIAGRAM

ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

DA580

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021

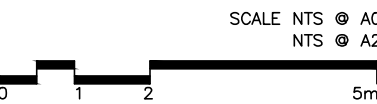
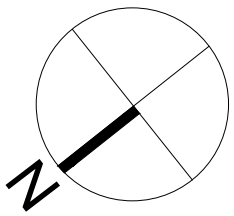


PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

CLIENT: STARGATE PROPERTY GROUP

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.08.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



DA590
HEIGHT PLANE DIAGRAM
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

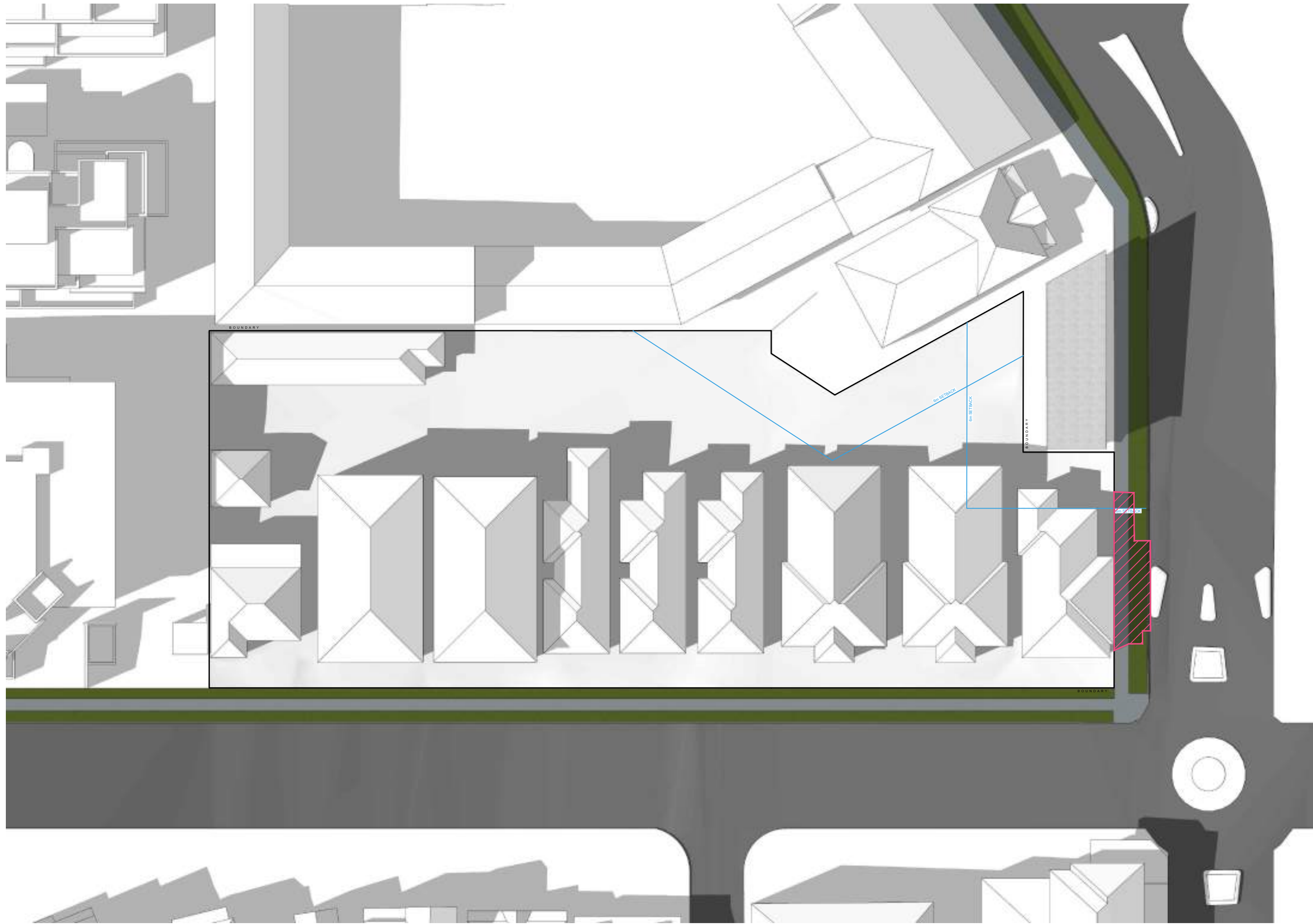
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



1 EXISTING - SOLAR EYE VIEW - 11AM



2 PROPOSED- SOLAR EYE VIEW - 10AM



3 EXISTING - SHADOW DIAGRAM - 10AM



4 PROPOSED - SHADOW DIAGRAM - 11AM

LEGEND

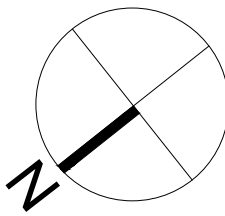
	EXISTING SHADOW
	ADDITIONAL SHADOW
	ADDITIONAL SHADOW ABOVE HEIGHT PLANE

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

CLIENT: STARGATE PROPERTY GROUP

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2
2m

DA603
SOLAR STUDY (21st June 11AM)
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS. AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

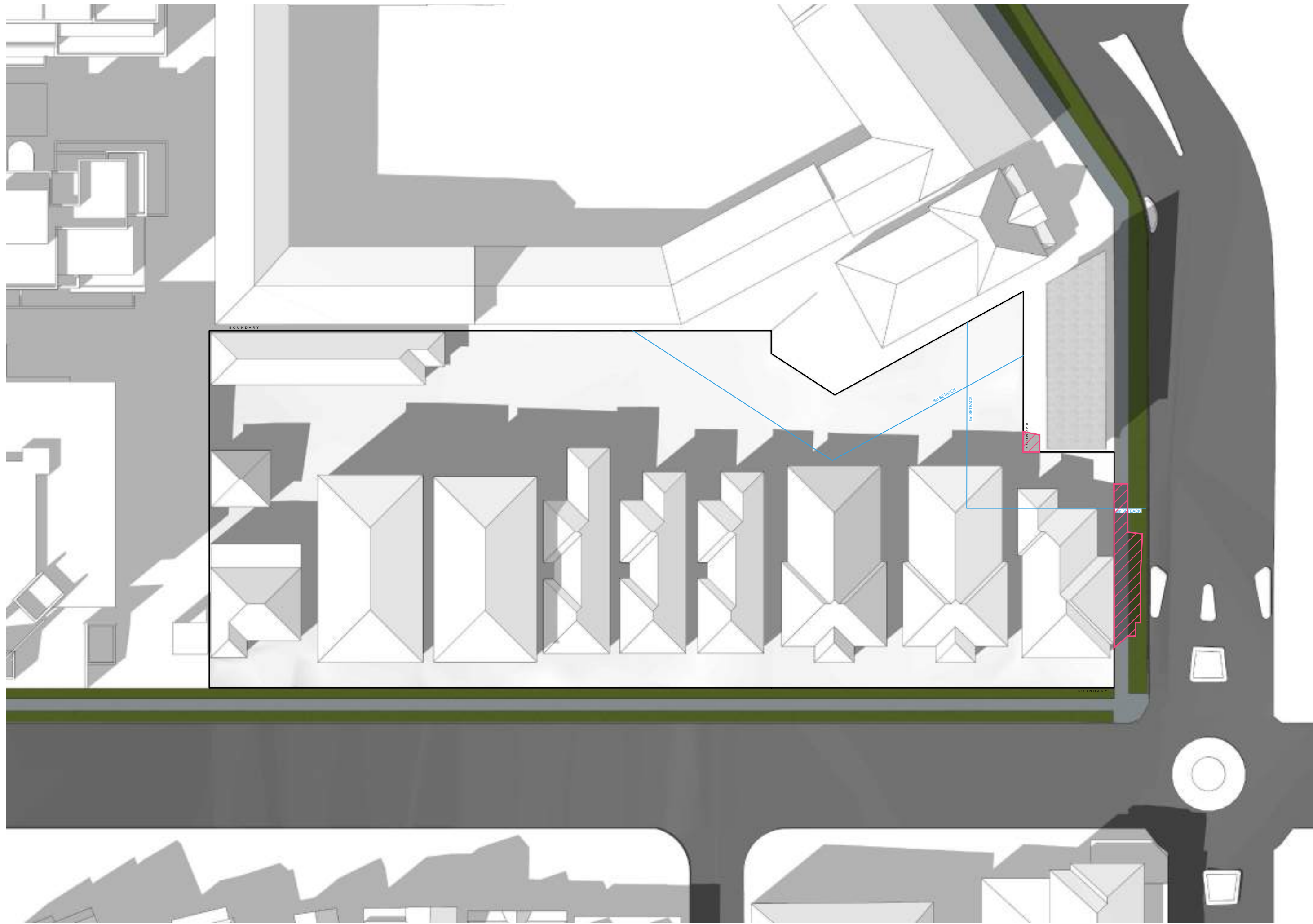
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



1 EXISTING - SOLAR EYE VIEW - 12PM



2 PROPOSED - SOLAR EYE VIEW - 12PM



3 EXISTING - SHADOW DIAGRAM - 12PM



4 PROPOSED - SHADOW DIAGRAM - 12PM

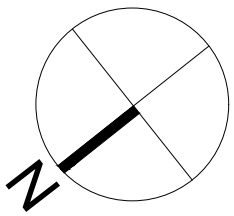
LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SHADOW ABOVE HEIGHT PLANE

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2

DA604
SOLAR STUDY (21st June 12PM)
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP



1 EXISTING - SOLAR EYE VIEW - 1PM



2 PROPOSED - SOLAR EYE VIEW - 1PM



3 EXISTING - SHADOW DIAGRAM - 1PM



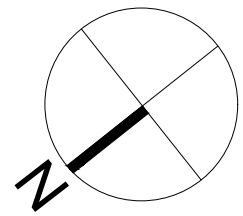
4 PROPOSED - SHADOW DIAGRAM - 1PM

- LEGEND
- EXISTING SHADOW
 - ADDITIONAL SHADOW
 - ADDITIONAL SHADOW ABOVE HEIGHT PLANE

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



DA605
SOLAR STUDY (21st June 1PM)
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS. AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

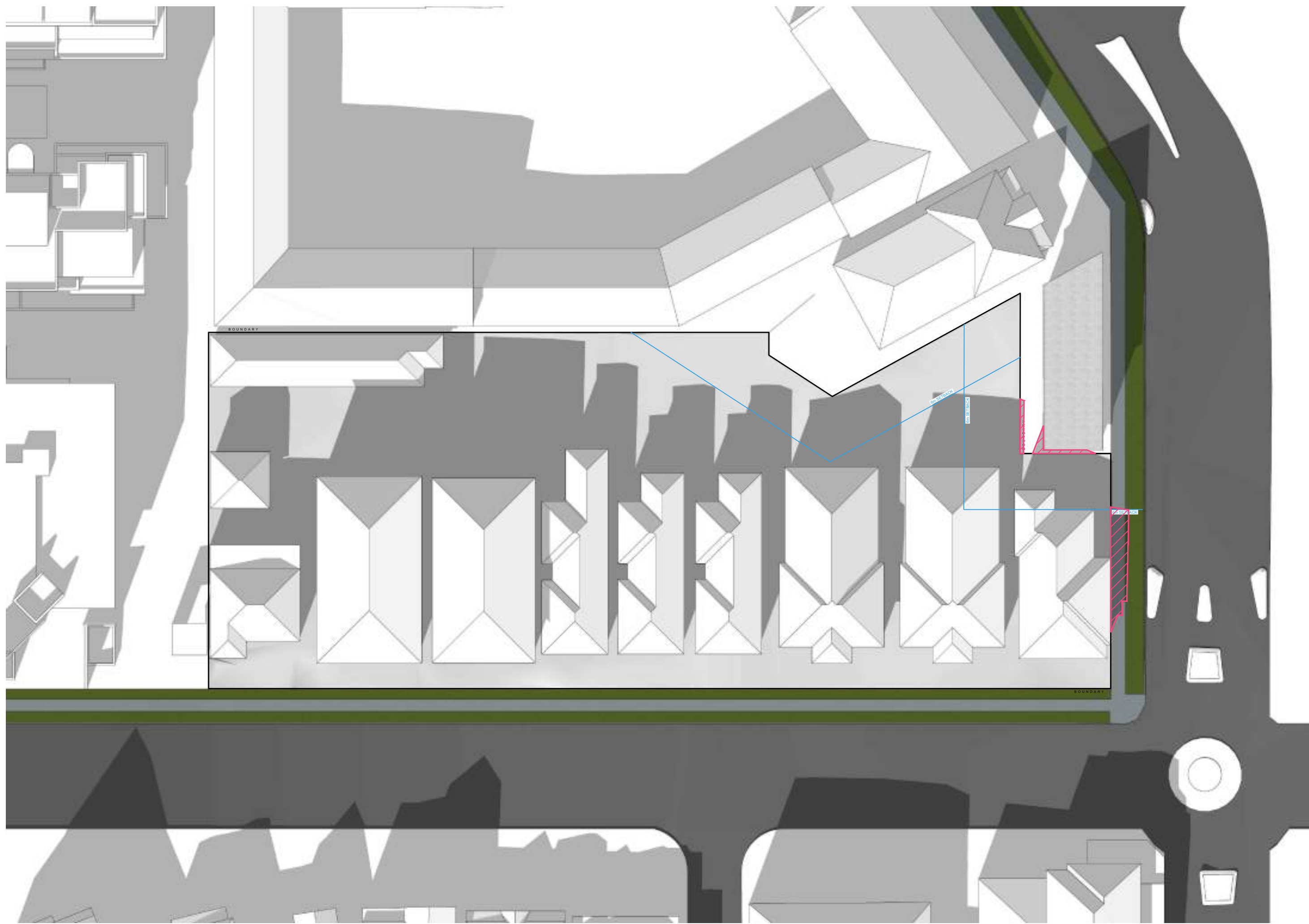
RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



1 EXISTING - SOLAR EYE VIEW - 2PM



2 PROPOSED - SOLAR EYE VIEW - 2PM



3 EXISTING - SHADOW DIAGRAM - 2PM



4 PROPOSED - SHADOW DIAGRAM - 2PM

LEGEND

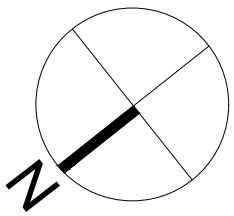
	EXISTING SHADOW
	ADDITIONAL SHADOW
	ADDITIONAL SHADOW ABOVE HEIGHT PLANE

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

CLIENT: STARGATE PROPERTY GROUP

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A2
1:250 @ A2
2m

DA606
SOLAR STUDY (21st June 2PM)
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

GENERAL NOTES:

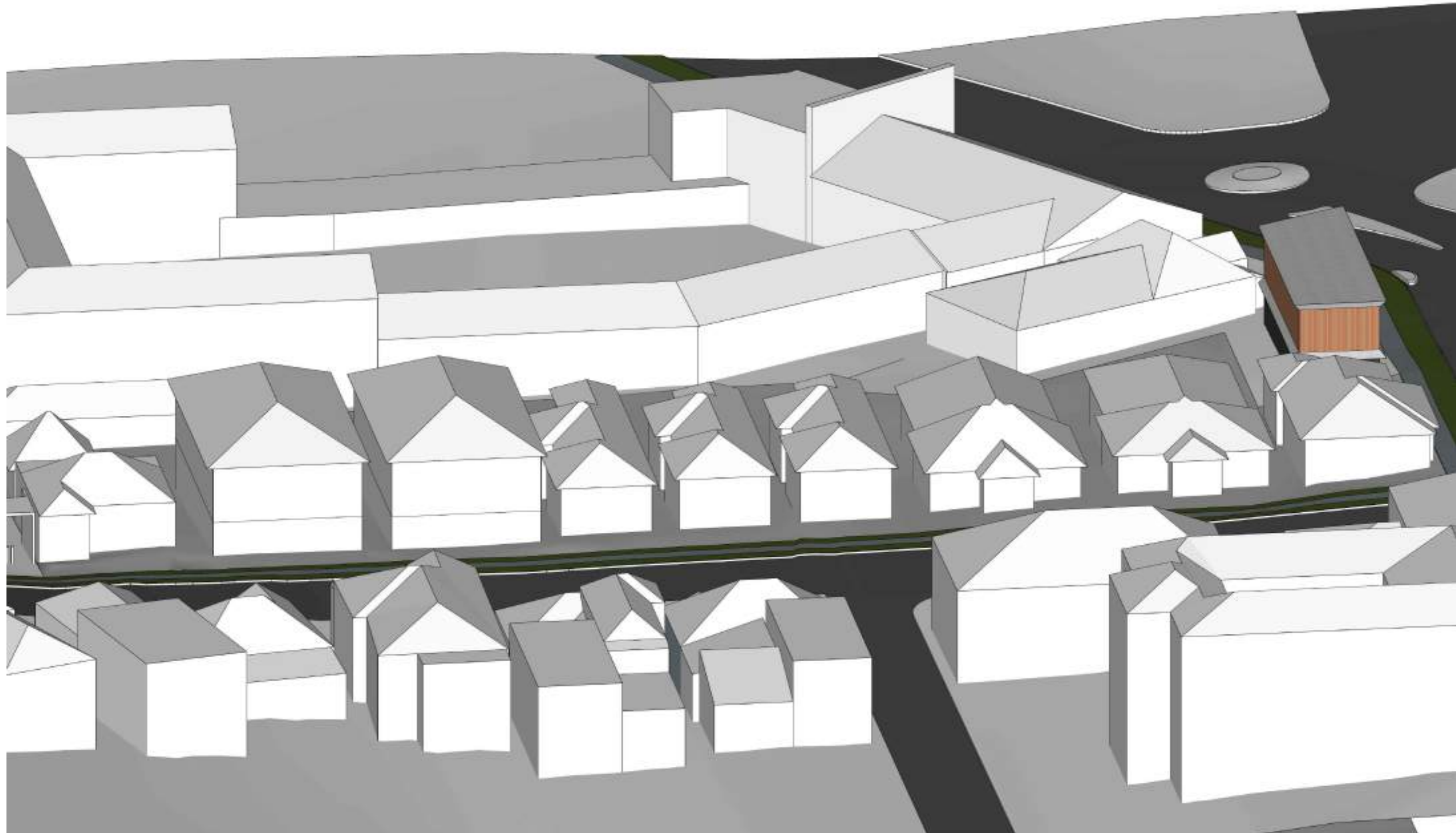
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE, WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

B	BOLLARD
HW	HIGHLIGHT WINDOW
CU	A/C CONDENSER UNITS
PH	FIRE HYDRANT
PHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
MB	MAILBOX TO FUTURE DETAIL
SK-F	FIXED SKYLIGHT
SK-OP	OPERABLE SKYLIGHT
ST	STORAGE

AMENDED

RECEIVED
Waverley Council
Application No. DA-268/2020
Date Received: 24/11/2021



1 EXISTING - SOLAR EYE VIEW - 3PM



2 PROPOSED- SOLAR EYE VIEW - 3PM



3 EXISTING - SHADOW DIAGRAM - 3PM



4 PROPOSED - SHADOW DIAGRAM - 3PM

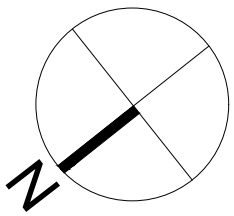
LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SHADOW ABOVE HEIGHT PLANE

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
79-103 WELLINGTON STREET, BONDI

AMENDMENTS

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
A	14.08.2020	ISSUE FOR DA			
B	02.05.2021	ISSUED FOR REVISED DA			
C	19.11.2021	ISSUED FOR REVISED DA			



SCALE 1:250 @ A0
1:200 @ A2
2m

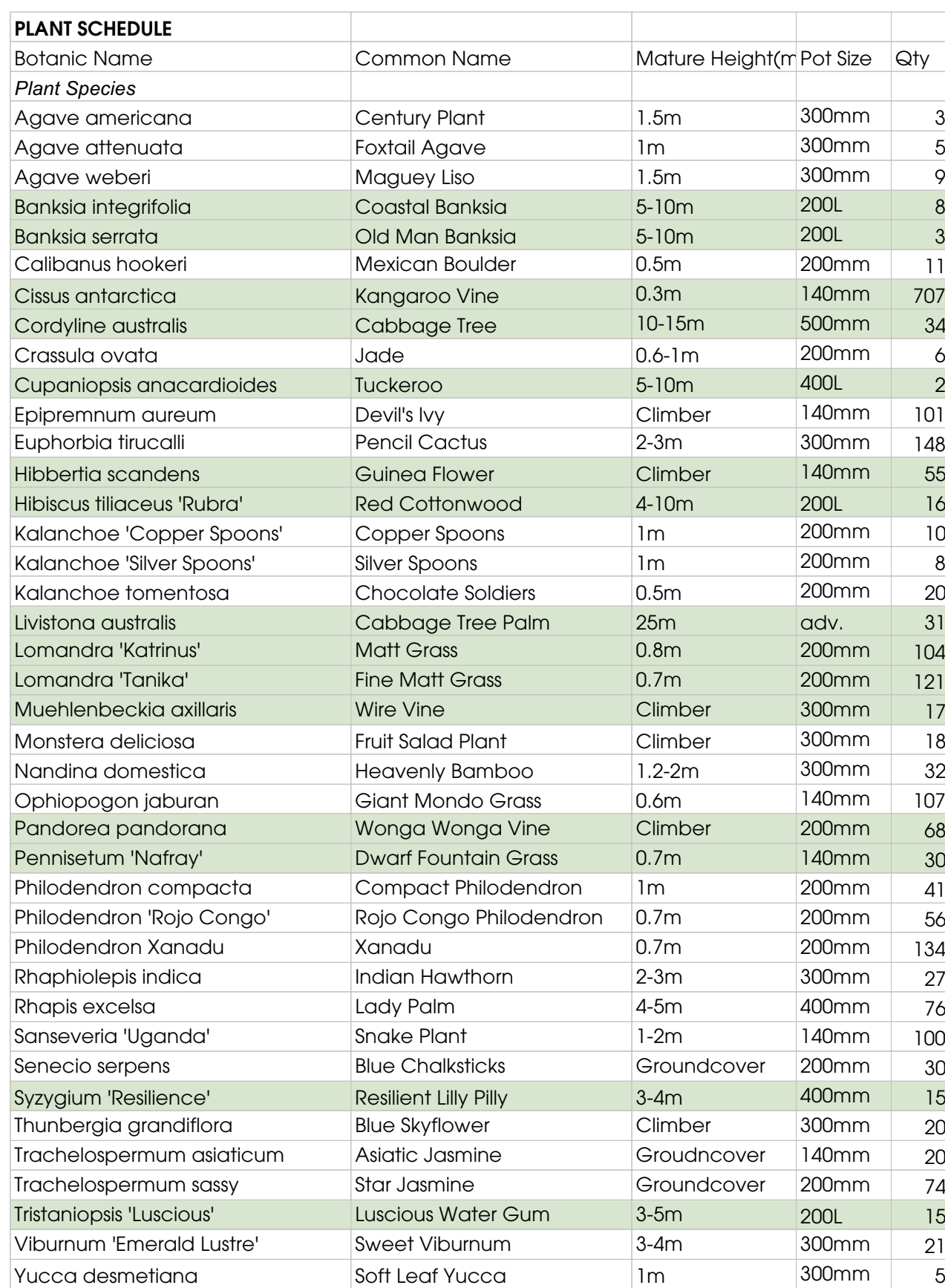
DA607
SOLAR STUDY (21st June 3PM)
ISSUE: C

DATE: AUGUST 2020 JOB No. 2015

PBD | ARCHITECTS

ABN 36 147 035 550, Nominated Architect Paul Buljevic, Registration Number 7768
Level 2, 52 Albion Street, Surry Hills NSW 2010
P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

CLIENT: STARGATE PROPERTY GROUP

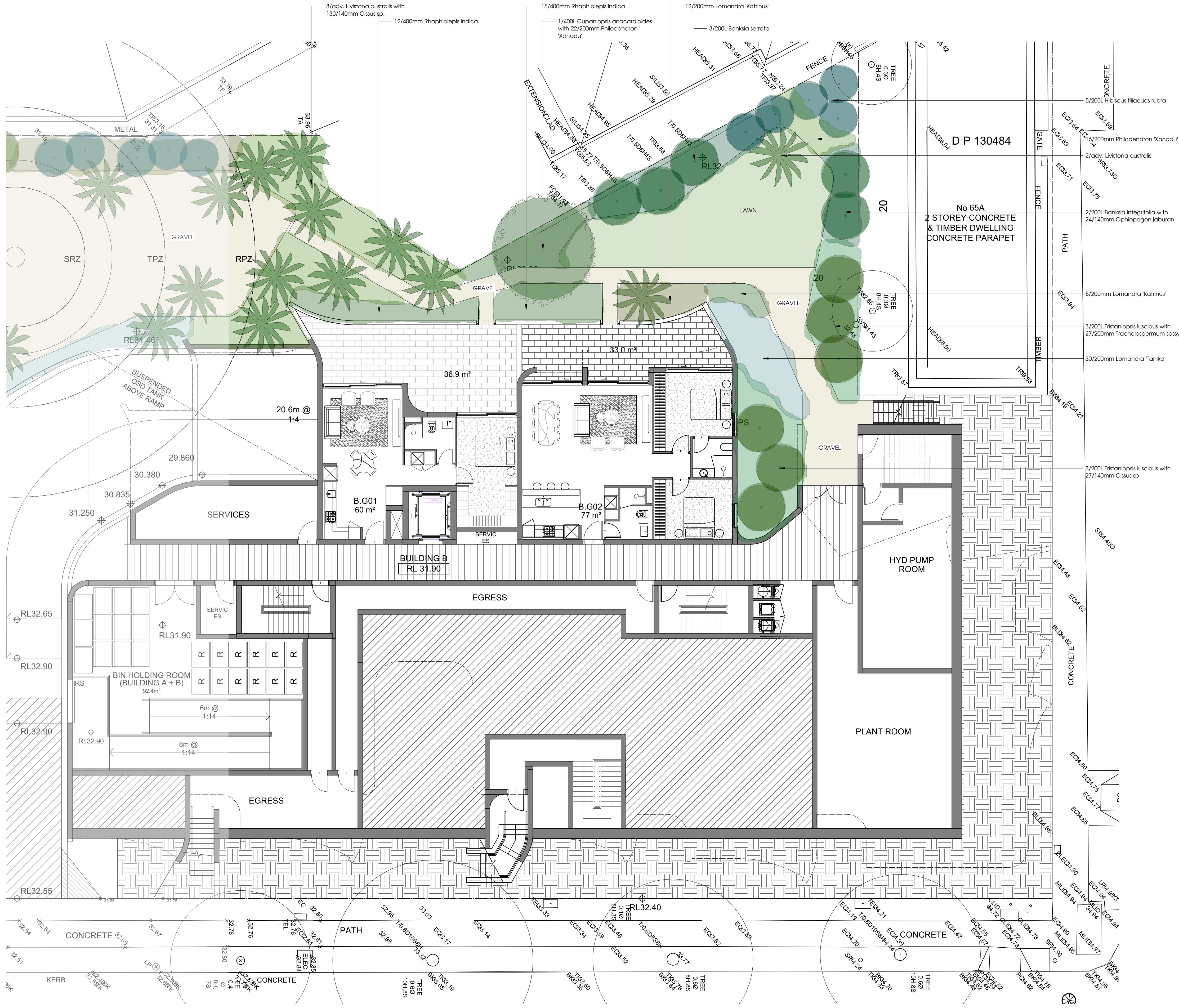


DANGAR
BARIN
SMITH



AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



AMENDED

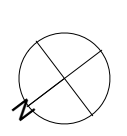
RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021





AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



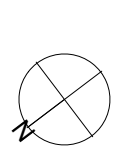
Project: 79-103 Wellington St, Bondi NSW 2026
Client: Stargate Properties Group
Dwg no: LP36-D5820
Title: Building A L1 Landscape Plan
Drawn by: Checked: Scale: 1:100 @ A1
CT WD
Issues: 01 Revision: B Date: 23.11.2021

Landscape Design Sydney Tel: (02) 9316 9044
53 Cranbrook St, Botany NSW 2019
Fax: (02) 9316 9056
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.

DANGAR
BARIN
SMITH

AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021

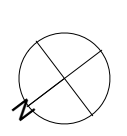
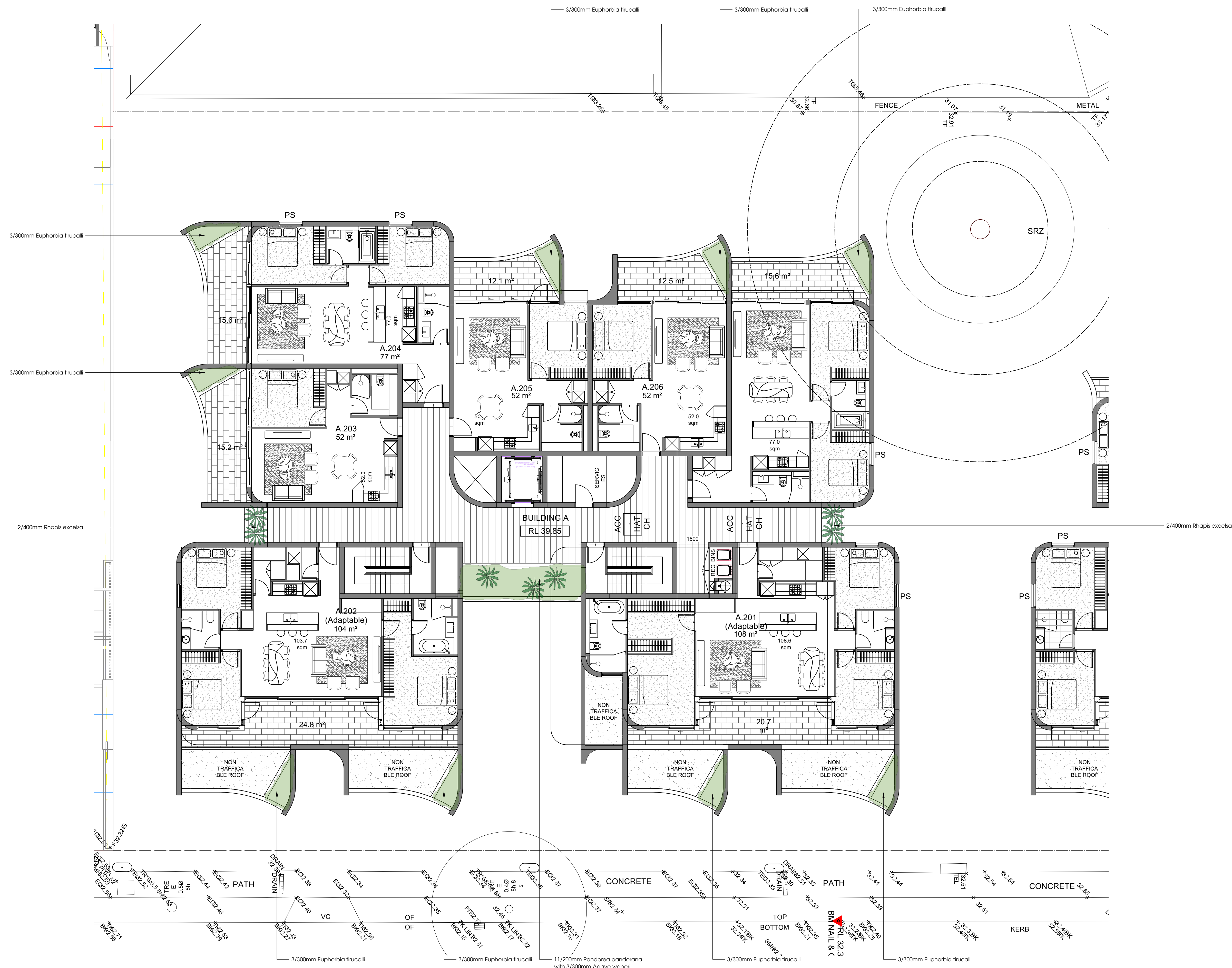


Project: 79-103 Wellington St, Bondi NSW 2026
Client: Stargate Properties Group
Dwg no: LP07-D5820
Title: Building B L1 Landscape Plan
Drawn by: CT
Checked: WD
Scale: 1:100 @ A1
Issue: 01
Revision: B
Date: 23.11.2021
Landscape Design Sydney Tel: (02) 9316 9044
53 Campbell St, Botany NSW 2019
Fax: (02) 9316 9056
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work on making site drawings. This drawing is protected by copyright.



AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



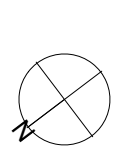
Project: 79-103 Wellington St, Bondi NSW 2026
Client: Stargate Properties Group
Dwg no: LP35-D5820
Title: Building A L2 Landscape Plan
Drawn by: Checked: Scale: 1:100 @ A1
CT WD
Issues: 01
Revision: 8
Date: 23.11.2021

Landscape Design Sydney Tel: (02) 9316 9044
53 Cranbrook St, Botany NSW 2019
Fax: (02) 9316 9056
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work on making site drawings. This drawing is protected by copyright.

DANGAR
BARIN
SMITH

AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



Project:
79-103 Wellington St,
Bondi NSW 2026
Client:
Stargate Properties Group

Dwg no:
LP09-D5820
Title: Building B
L2 Landscape Plan

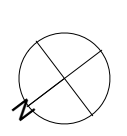
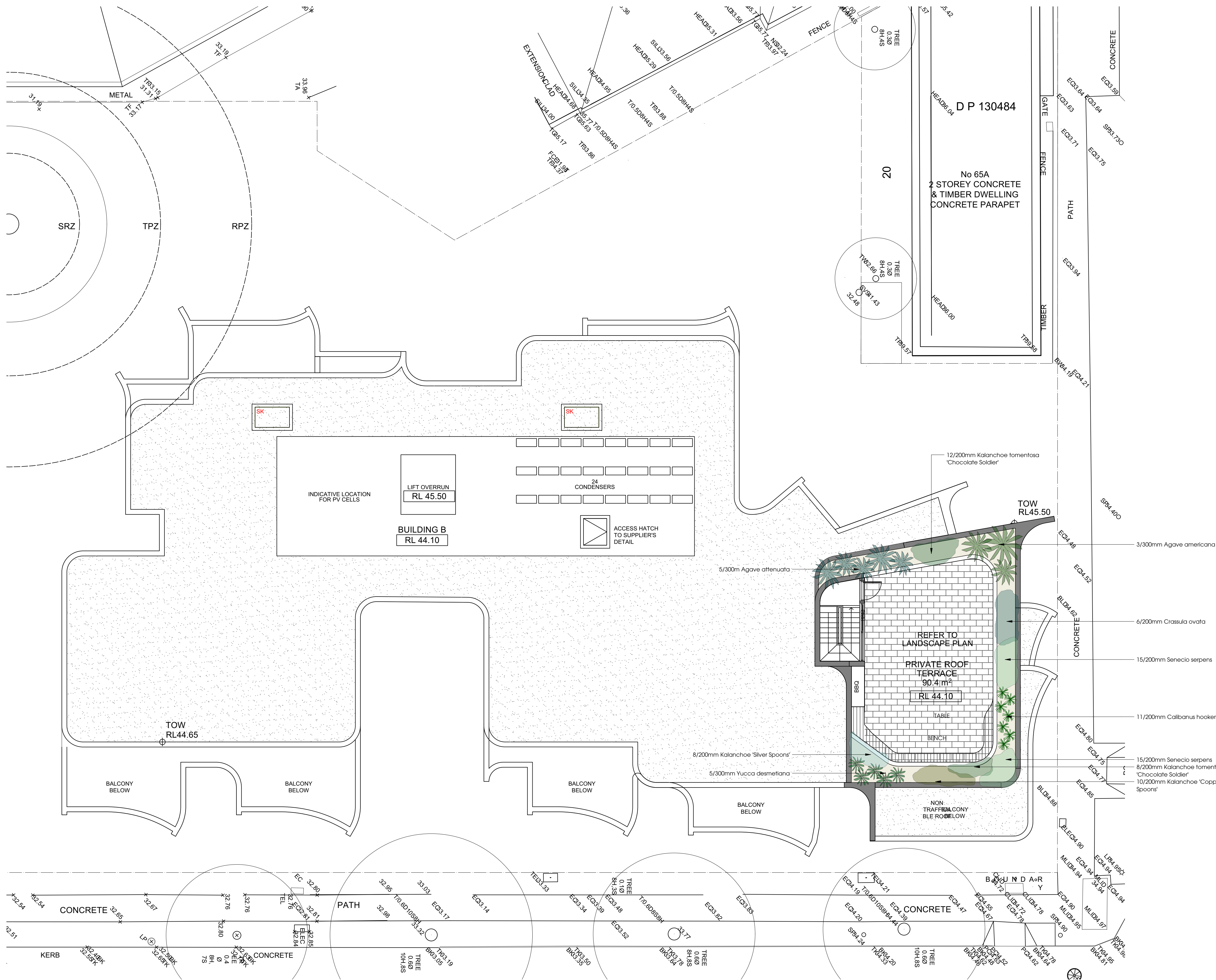
Drawn by: Checked: Scale: 1:100 @ A1
CT WD
Issue: 01 Revision: B Date: 23.11.2021

Landscape Design Sydney Tel: (02) 9316 9044
53 Campbell St For: (02) 9316 9056
Botany NSW 2019
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work on making site drawings. This drawing is controlled by copyright.

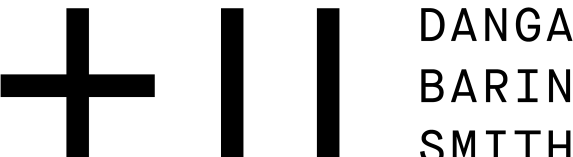


AMENDED

RECEIVED
Waverley Council
Application No: DA-268/2020
Date Received: 24/11/2021



Project: 79-103 Wellington St, Bondi NSW 2026
Client: Stargate Properties Group
Dwg no: LPTD-D5820
Title: Building B Roof Landscape Plan
Drawn by: CT
Checked: WD
Scale: 1:100 @ A1
Issue: 01
Revision: B
Date: 23.11.2021
Landscape Design Sydney Tel: (02) 9316 9044
53 Campbell St, Bondi NSW 2019
Fax: (02) 9316 9056
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.

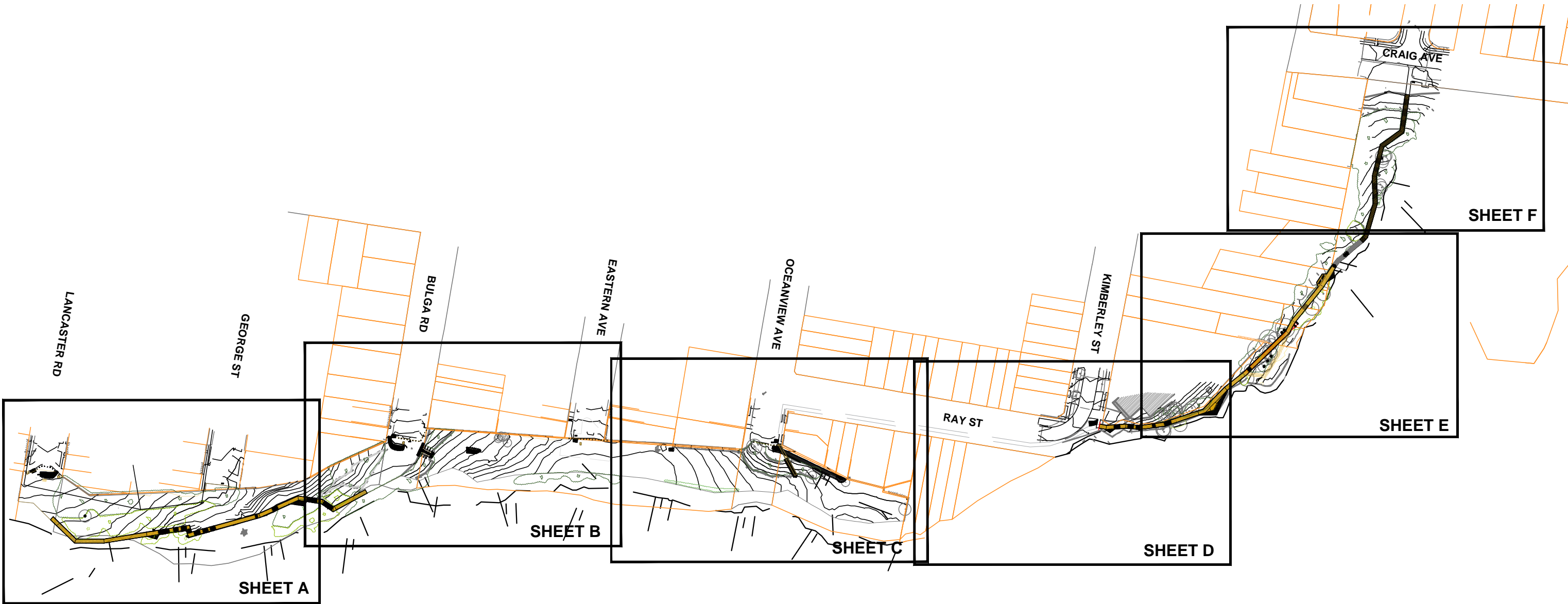
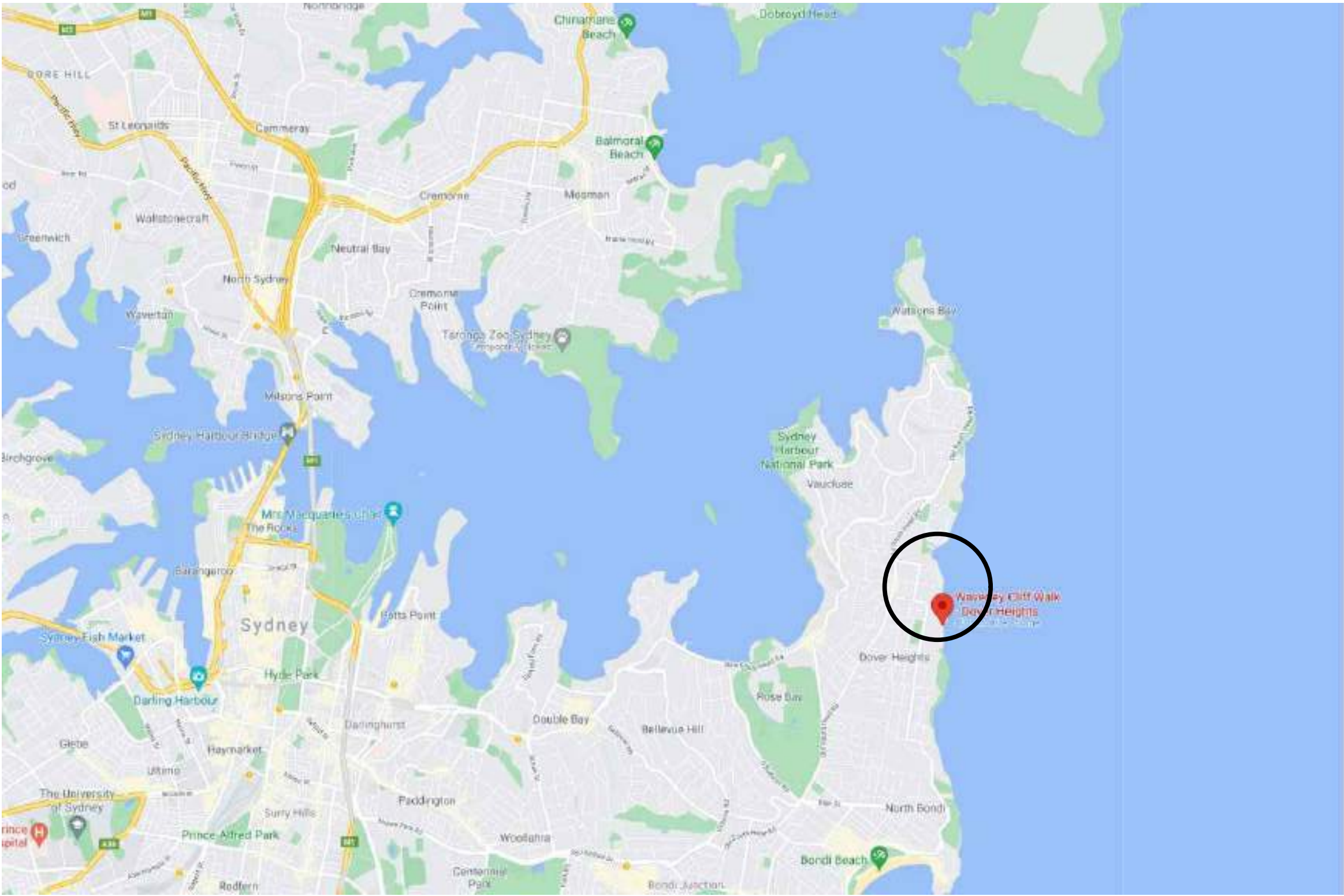


CLIFFTOP WALKWAY UPGRADE DEVELOPMENT APPLICATION

DRAWING INDEX

DWG #	TITLE
CWU-DD-01	COVER SHEET
CWU-DD-02-A	SURVEY PLAN A
CWU-DD-02-B	SURVEY PLAN B
CWU-DD-02-C	SURVEY PLAN C
CWU-DD-02-D	SURVEY PLAN D
CWU-DD-02-E	SURVEY PLAN E
CWU-DD-02-F	SURVEY PLAN F
CWU-DD-03-A	SITE ANALYSIS PLAN A
CWU-DD-03-B	SITE ANALYSIS PLAN B
CWU-DD-03-C	SITE ANALYSIS PLAN C
CWU-DD-03-D	SITE ANALYSIS PLAN D
CWU-DD-03-E	SITE ANALYSIS PLAN E
CWU-DD-03-F	SITE ANALYSIS PLAN F
CWU-DD-04	CONTEXT ANALYSIS PLAN
CWU-DD-05-A	GENERAL LAYOUT PLAN A
CWU-DD-05-B	GENERAL LAYOUT PLAN B
CWU-DD-05-C	GENERAL LAYOUT PLAN C
CWU-DD-05-D	GENERAL LAYOUT PLAN D
CWU-DD-05-E	GENERAL LAYOUT PLAN E
CWU-DD-05-F	GENERAL LAYOUT PLAN F
CWU-DD-06	LANDSCAPE PLAN
CWU-DD-07-A	SOIL & WATER MANAGEMENT PLAN A
CWU-DD-07-B	SOIL & WATER MANAGEMENT PLAN B
CWU-DD-07-C	SOIL & WATER MANAGEMENT PLAN C
CWU-DD-07-D	SOIL & WATER MANAGEMENT PLAN D
CWU-DD-07-E	SOIL & WATER MANAGEMENT PLAN E
CWU-DD-07-F	SOIL & WATER MANAGEMENT PLAN E
CWU-DD-08-A	ELEVATED BOARDWALK TYPICAL CROSS SECTION
CWU-DD-08-B	INFORMAL PEDESTRIAN ACCESS TYPICAL CROSS SECTION
CWU-DD-08-C	LOW BOARDWALK TYPICAL CROSS SECTION

SITE LOCATION




WARNING

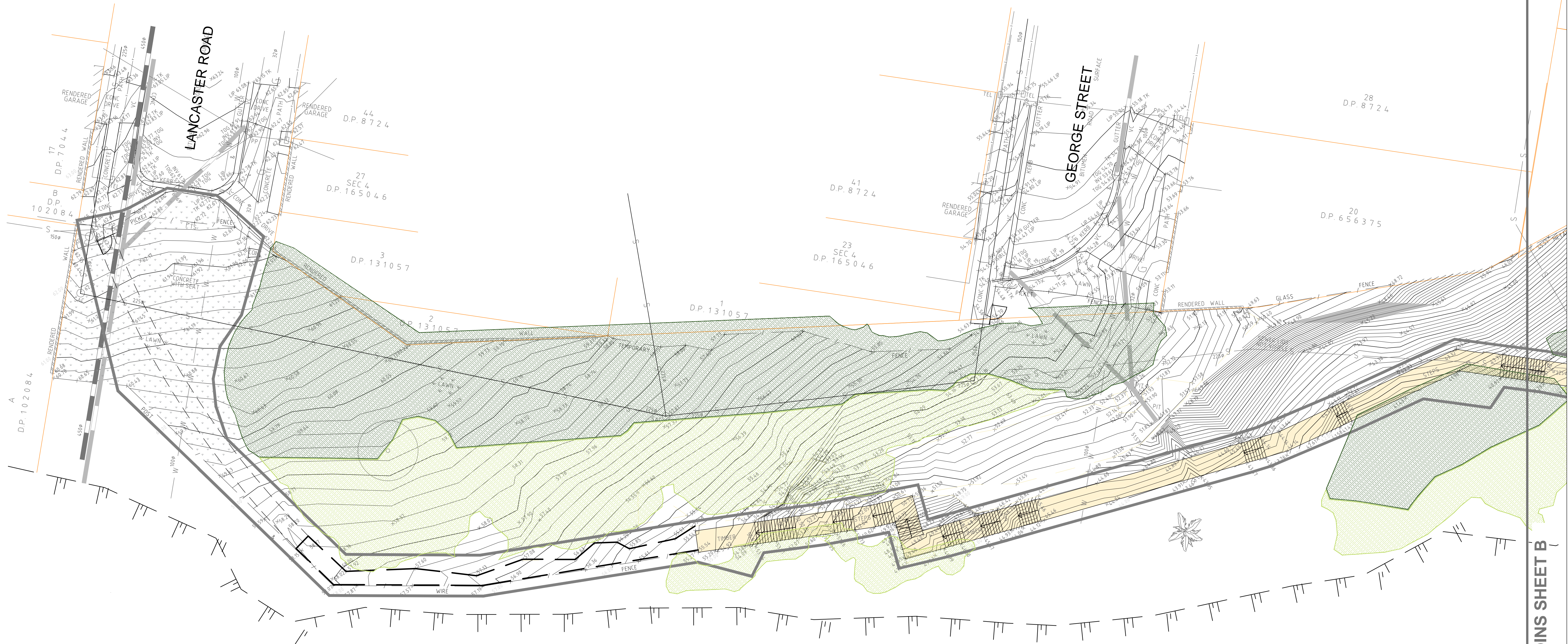
BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present.
Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE CLIFFTOP WALKWAY UPGRADE		SCALE BAR
CLIENT 	DRAWING NAME DEVELOPMENT APPLICATION COVER SHEET	
THOMPSON BERRILL LANDSCAPE DESIGN P/L PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbid.com.au		SCALE DATE SEP 2021 DRAWN JP DESIGN TBLD CHECKED GB/AZ DATUM AHD DWG No. CWU-DD-01 ACAD REF:



C.M.S. Surveyors Pty Limited
SURVEYORS
ACN: 096 240 201
PO Box 463 Dee Why NSW 2099
2/99A South Creek Road, Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: Waverley

SURVEYED MB	DRAWN GP	CHECKED MB
SURVEY INSTRUCTION 19703		SCALE
DRAWING NAME 19703 detail		DATE OF SURVEY 15 & 16/10/2020
CAD FILE 210903_CWU_DA PLANS.dwg		

DUNLOP THORPE & CO. PTY. LTD.
SURVEYORS
ABN 74 003 512 150
447 KENT STREET SYDNEY 2000
www.dunlopthorpe.com.au
LEVEL DATUM A1AHD
DATE 02.03.2016

PHONE 9283 6677
FAX 9283 6633
EMAIL admin@dunlopthorpe.com.au
REFERENCE No. 1854.0

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Extent of works	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)	Minor water main
Contour (200mm intervals)	Existing timber footpath	Existing vegetation(PCT 1822)	Major water main
Cliff edge	Existing concrete footpath	Underground electricity cable	Stormwater pipe
Existing wall	Existing sandstone footpath	Overhead electricity cable	Telstra/Telecommunications main cable
Existing tree	Existing stair directions	Minor gas main	
Existing spot heights	Boundary	Minor sewer pipe	
Existing fencing	Existing turf		

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SURVEY PLAN A**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-02-A
ACAD REF:	

DUNLOP THORPE & CO. LTD.
SURVEYORS
447 KENT STREET
SYDNEY 2000
www.dunlopthorpe.com.au
LEVEL DATUM A1AHD
DATE 02.03.2016

RECEIVED
Waverley Council
Application No. DA-378/2021
Date Received: 15/09/2021
ABN 663 512 135
PHONE 9283 6677
FAX 9283 6633
EMAIL admin@dunlopthorpe.com.au
REFERENCE No. 18540

C.M.S. Surveyors Pty Limited
ACN: 096 240 201
PO Box 463 Dee Why NSW 2099
2/994 South Creek Road, Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: Waverley			
SURVEYED MB	DRAWN GP	CHECKED MB	
SURVEY INSTRUCTION 19703		SCALE	DATE OF SURVEY 15 & 16/10/2020
DRAWING NAME 19703 detail			
CAD FILE 210903_CWU_DA PLANS.dwg			



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Extent of works	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)	Minor water main
Contour (200mm intervals)	Existing timber footpath	Existing vegetation(PCT 1822)	Major water main
Cliff edge	Existing concrete footpath	Underground electricity cable	Stormwater pipe
Existing wall	Existing sandstone footpath	Overhead electricity cable	Telstra/Telecommunications main cable
Existing tree	Existing stair directions	Minor gas main	
Existing spot heights	Boundary	Minor sewer pipe	
Existing fencing	Existing turf		

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

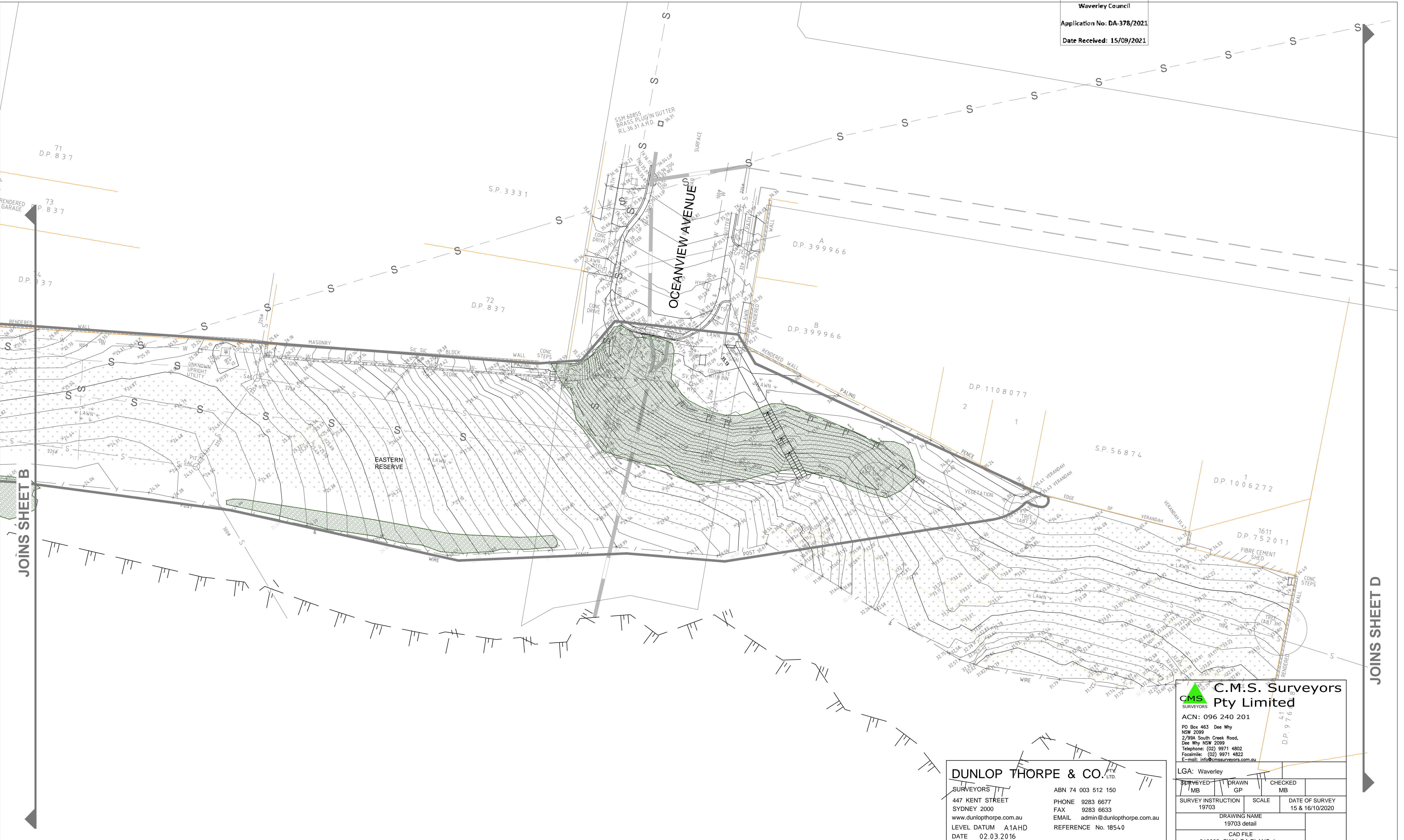
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SURVEY PLAN B**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbbld.com.au

SCALE BAR

SCALE 1:200 @ A3
DATE SEP 2021
DRAWN JP
DESIGN TBLD
CHECKED GB/AZ
DATUM AHD
DWG No. CWU-DD-02-B
ACAD REF:



C.M.S. Surveyors Pty Limited
SURVEYORS
ACN: 096 240 201
PO Box 463 Dee Why NSW 2099
2/594 South Creek Road, Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: Waverley

SURVEYED MB	DRAWN GP	CHECKED MB
SURVEY INSTRUCTION 19703	SCALE	DATE OF SURVEY 15 & 16/10/2020
DRAWING NAME 19703 detail		
CAD FILE 210903_CWU_DA PLANS.dwg		

DUNLOP THORPE & CO. PTY LTD.
SURVEYORS
447 KENT STREET SYDNEY 2000
www.dunlopthorpe.com.au
LEVEL DATUM A1AHD
DATE 02.03.2016

ABN 74 003 512 150
PHONE 9283 6677
FAX 9283 6633
EMAIL admin@dunlopthorpe.com.au
REFERENCE No. 18540

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Extent of works	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)	Minor water main
Contour (200mm intervals)	Existing timber footpath	Existing vegetation(PCT 1822)	Major water main
Cliff edge	Existing concrete footpath	Underground electricity cable	Stormwater pipe
Existing wall	Existing sandstone footpath	Overhead electricity cable	Telstra/Telecommunications main cable
Existing tree	Existing stair directions	Minor gas main	
Existing spot heights	Boundary	Minor sewer pipe	
Existing fencing	Existing turf		

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

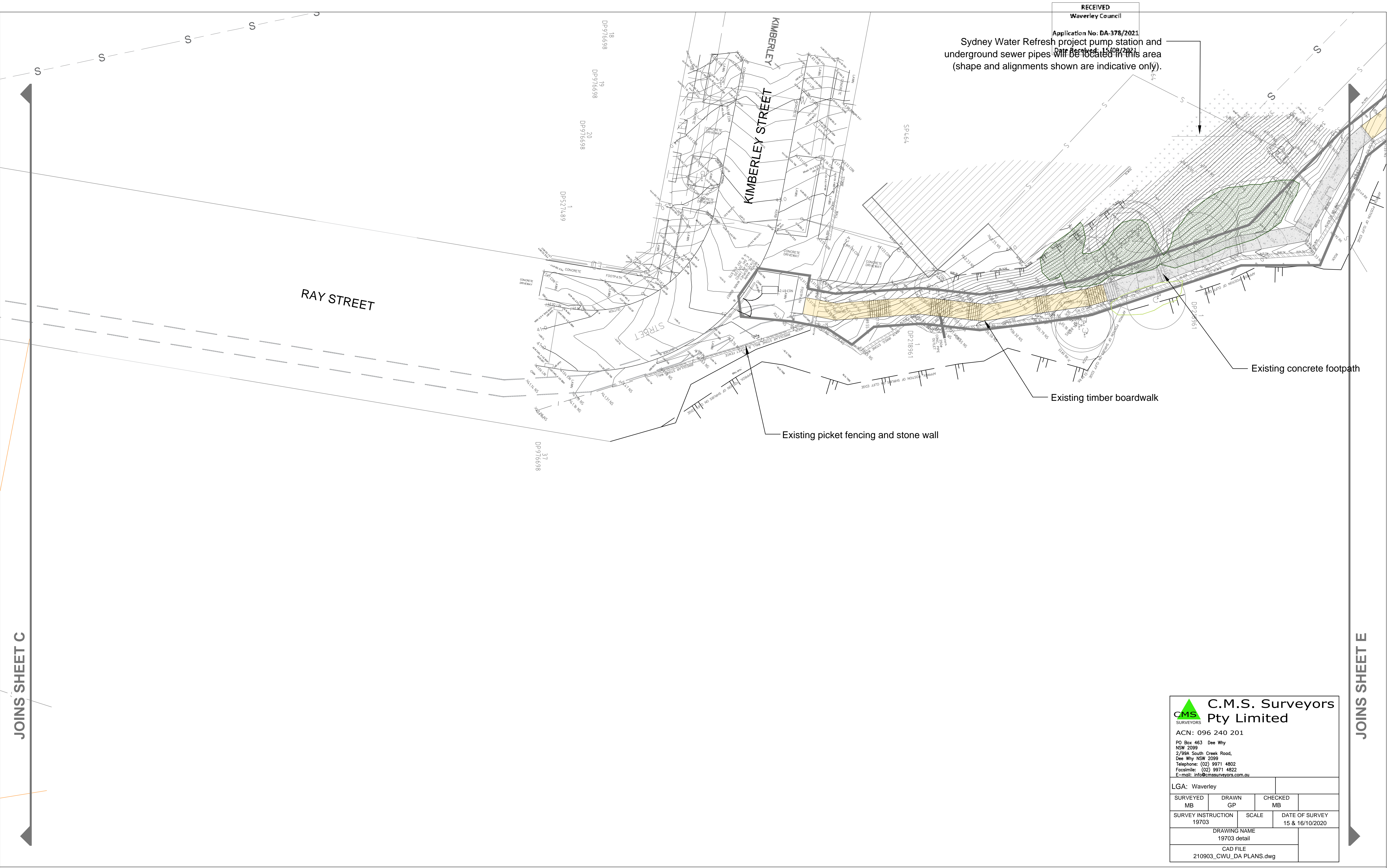
CLIENT

DRAWING NAME
DEVELOPMENT APPLICATION SURVEY PLAN C

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au


SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-02-C
ACAD REF:	



JOINS SHEET C

JOINS SHEET E




C.M.S. Surveyors
Pty Limited
SURVEYORS

ACN: 096 240 201

PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: Waverley


SURVEYED MB	DRAWN GP	CHECKED MB	
SURVEY INSTRUCTION 19703	SCALE	DATE OF SURVEY 15 & 16/10/2020	
DRAWING NAME 19703 detail			
CAD FILE 210903_CWU_DA PLANS.dwg			





WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.


GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present.
Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.


DRAWING KEY

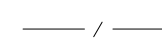
 Extent of works


 Contour (200mm intervals)


 Cliff edge


 Existing wall

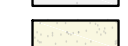
 Existing tree


 Existing spot heights


 Existing fencing


 Overland flow from stormwater pipe runoff


 Existing timber footpath


 Existing concrete footpath


 Existing sandstone footpath

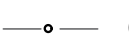
 Existing stair directions

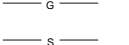
 Boundary


 Existing turf


 Existing vegetation(landscaped)

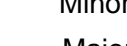
 Existing vegetation(PCT 1822)

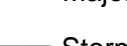
 Underground electricity cable


 Overhead electricity cable

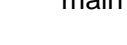
 Minor gas main

 Minor sewer pipe


 Minor water main

 Major water main

 Stormwater pipe

 Telstra/Telecommunications main cable

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION




WAVERLEY
COUNCIL

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT
DEVELOPMENT APPLICATION

DRAWING NAME
SURVEY PLAN D

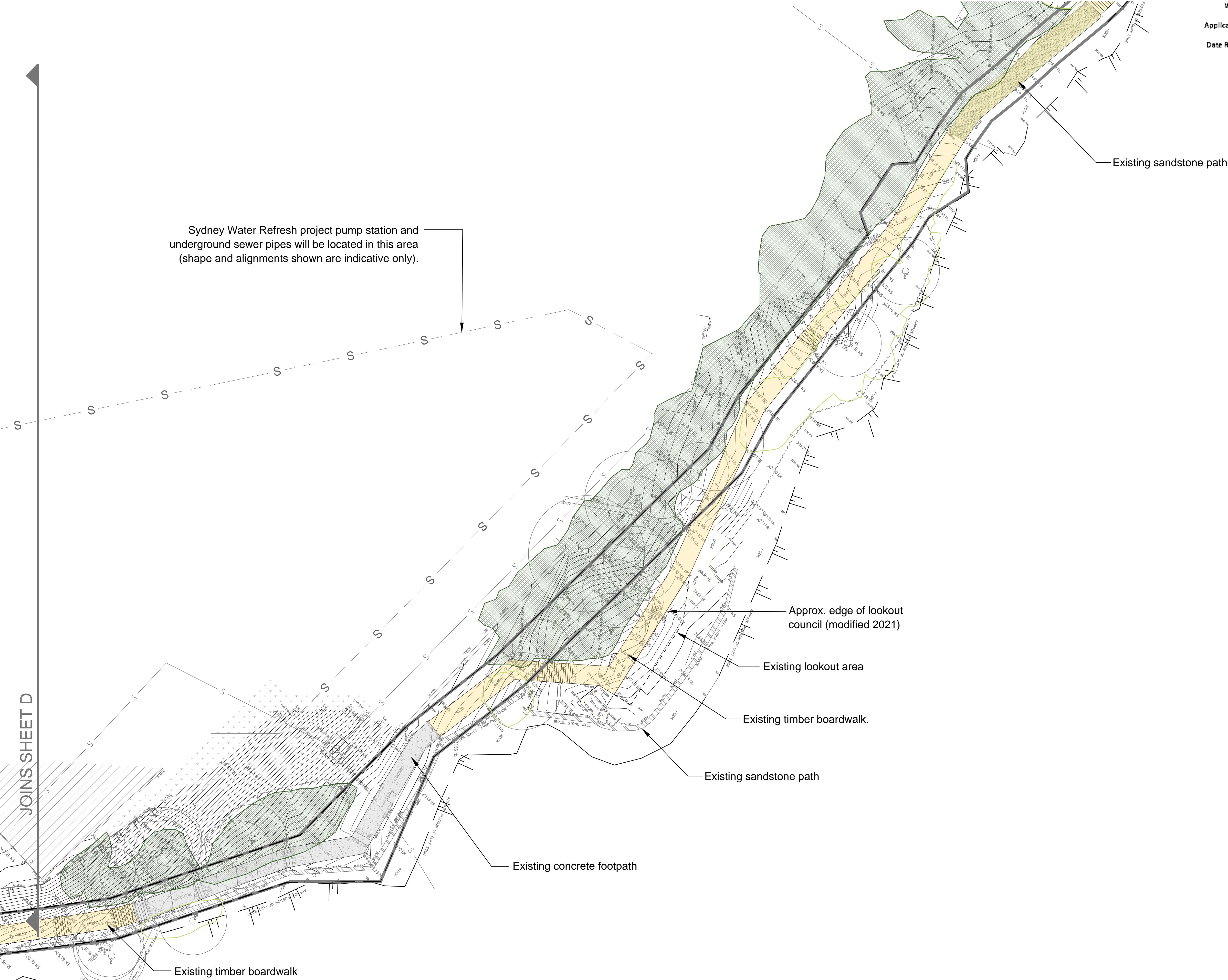



THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbbld.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-02-D
ACAD REF:	


Page 831 of 856





C.M.S. Surveyors
Pty Limited
ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
7/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: Waverley			
SURVEYED MB	DRAWN GP	CHECKED MB	
SURVEY INSTRUCTION 19703	SCALE	DATE OF SURVEY 15 & 16/10/2020	
DRAWING NAME 19703 detail			
CAD FILE 210903_CWU_DA_PLANS.dwg			




WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.


DRAWING KEY		
Extent of works	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)
Contour (200mm intervals)	Existing timber footpath	Existing vegetation(PCT 1822)
Cliff edge	Existing concrete footpath	Underground electricity cable
Existing wall	Existing sandstone footpath	Overhead electricity cable
Existing tree	Existing stair directions	Minor gas main
Existing spot heights	Boundary	Minor sewer pipe
Existing fencing	Existing turf	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT


DRAWING NAME
**DEVELOPMENT APPLICATION
SURVEY PLAN E**

 **THOMPSON BERRILL LANDSCAPE DESIGN P/L**
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbbld.com.au


SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-02-E
ACAD REF:	



RECEIVED
Waverley Council
Application No: DA-378/2021
Date Received: 15/09/2021


JOINS SHEET E



C.M.S. Surveyors
Pty Limited




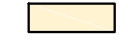
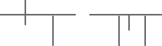








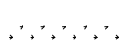
ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/99A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au







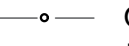

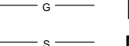

LGA: Waverley			
SURVEYED MB	DRAWN GP	CHECKED MB	
SURVEY INSTRUCTION 19703	SCALE	DATE OF SURVEY 15 & 16/10/2020	
DRAWING NAME 19703 detail			
CAD FILE 210903_CWU_DA PLANS.dwg			




WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.


DRAWING KEY	
 Extent of works	 Overland flow from stormwater pipe runoff
 Contour (200mm intervals)	 Existing timber footpath
 Cliff edge	 Existing concrete footpath
 Existing wall	 Existing sandstone footpath
 Existing tree	 Existing stair directions
 Existing spot heights	 Boundary
 Existing fencing	 Existing turf

 Existing vegetation(landscaped)	 Minor water main
 Existing vegetation(PCT 1822)	 Major water main
 Underground electricity cable	 Stormwater pipe
 Overhead electricity cable	 Telstra/Telecommunications main cable
 Minor gas main	
 Minor sewer pipe	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION



PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE



CLIENT
THOMPSON BERRILL LANDSCAPE DESIGN P/L

DRAWING NAME
**DEVELOPMENT APPLICATION
SURVEY PLAN F**

DATUM
AHD

SCALE
1:200 @ A3

DATE
SEP 2021

DRAWN
JP

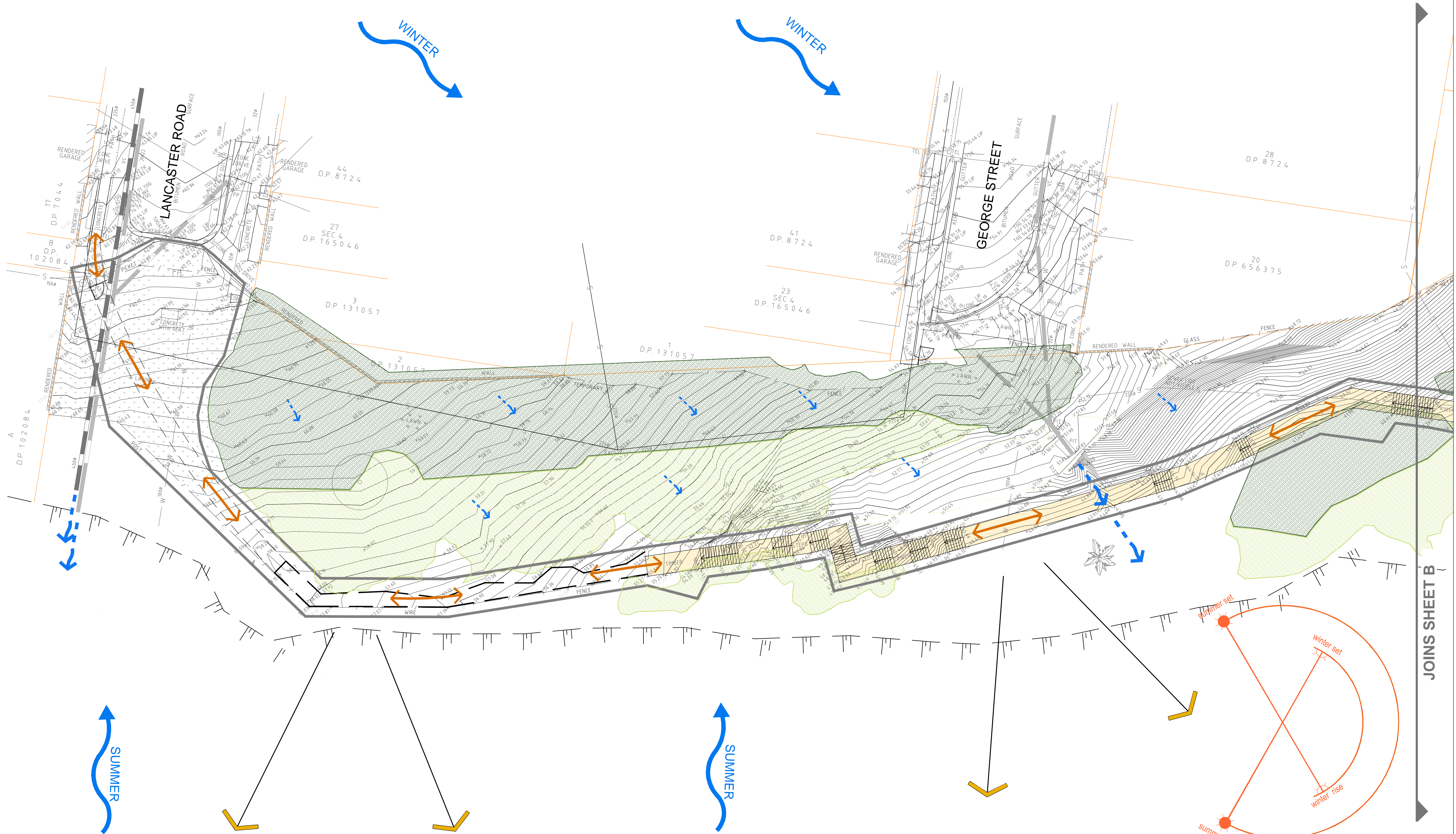
DESIGN
TBLD

CHECKED
GB/AZ

DWG No.
CWU-DD-02-F

ACAD REF:

Page 833 of 856



WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- Extent of works
- Cliff edge
- Existing wall
- Existing tree
- Existing spot heights
- Existing fencing

- Existing timber footpath
- Existing concrete footpath
- Existing sandstone footpath
- Existing stair directions
- Boundary
- Existing vegetation(landscaped)
- Existing vegetation(PCT 1822)

- Overhead electricity cable
- Minor gas main
- Minor sewer pipe
- Minor water main
- Major water main
- Stormwater pipe
- Telstra/Telecommunications main cable

- Surface drainage
- Solar access diagram
- Overland flow from stormwater pipe runoff
- Pedestrian movement
- Site lines
- Prevailing winds
- Views

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT



DRAWING NAME

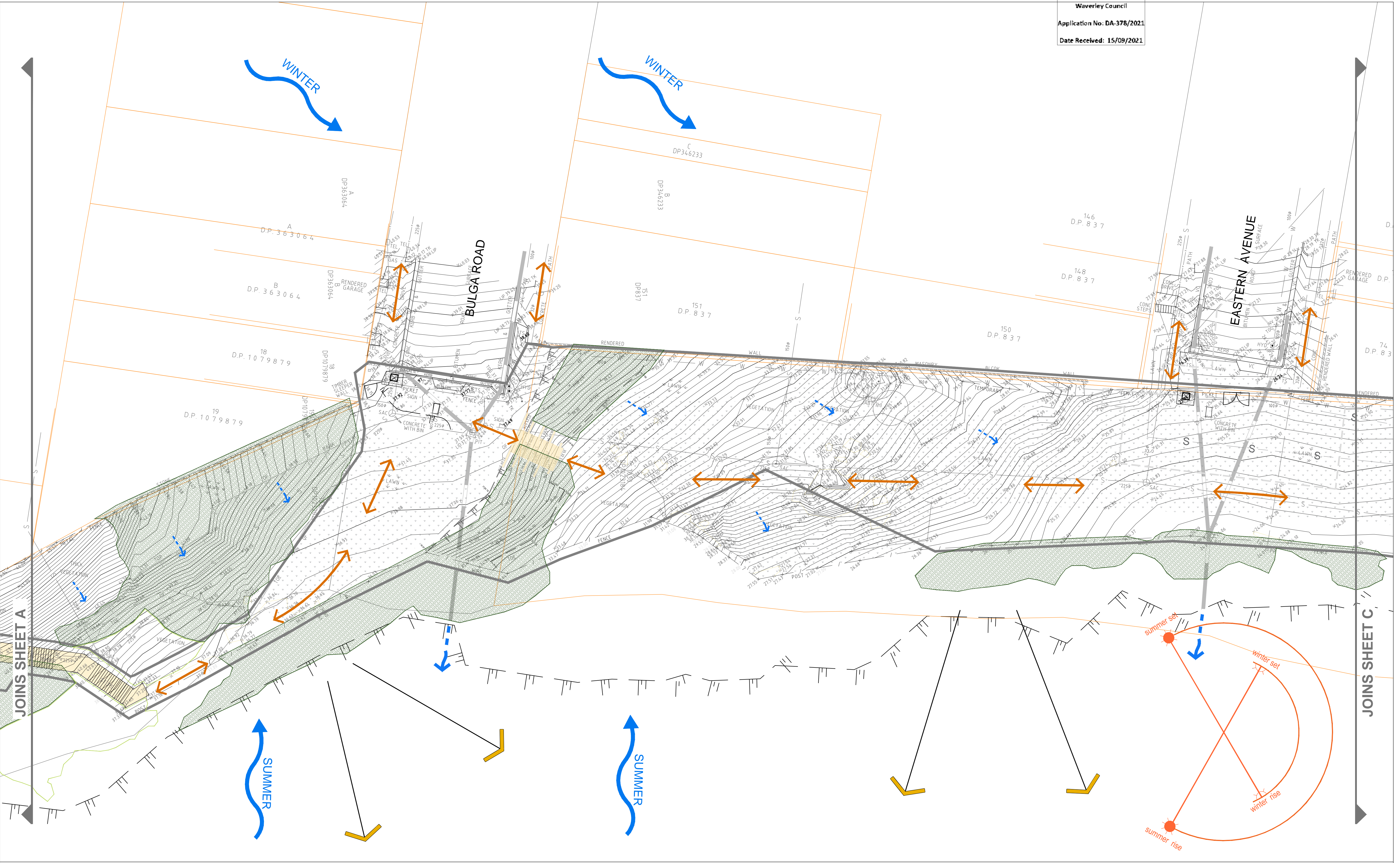
**DEVELOPMENT APPLICATION
SITE ANALYSIS PLAN A**



THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblld.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-03-A
ACAD REF:	



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:

Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Existing timber footpath		Overhead electricity cable		Surface drainage
	Cliff edge		Existing concrete footpath		Minor gas main		Solar access diagram
	Existing wall		Existing sandstone footpath		Minor sewer pipe		Overland flow from stormwater pipe runoff
	Existing tree		Existing stair directions		Minor water main		Pedestrian movement
	Existing spot heights		Boundary		Major water main		Site lines
	Existing fencing		Existing vegetation(landscaped)		Stormwater pipe		Prevailing winds
			Existing vegetation(PCT 1822)		Telstra/Telecommunications main cable		Views

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

THOMPSON BERRILL LANDSCAPE DESIGN P/L

PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au

DRAWING NAME

DEVELOPMENT APPLICATION

SITE ANALYSIS PLAN B

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

DESIGN TBLD

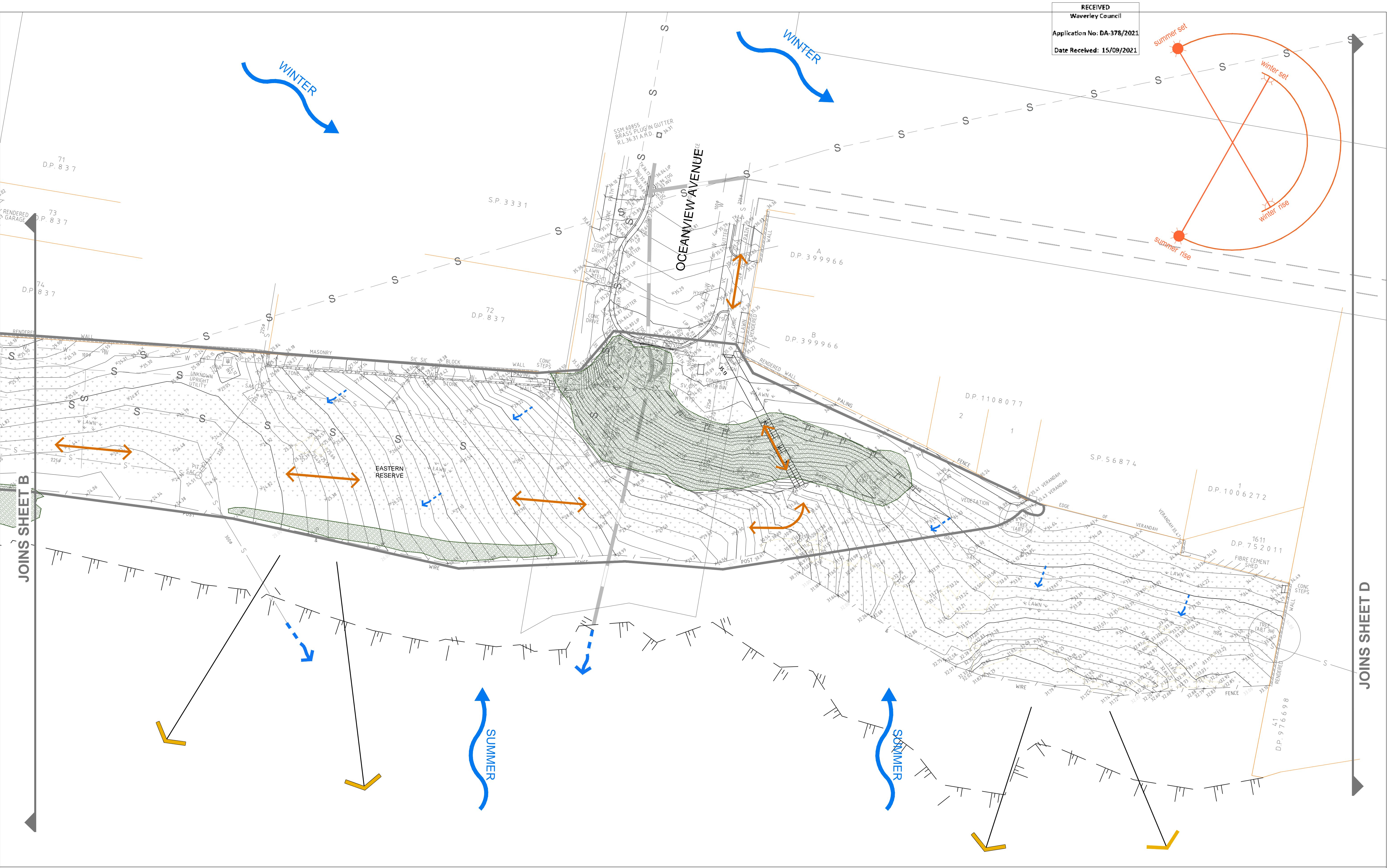
CHECKED GB/AZ

DATUM AHD

DWG No.

CWU-DD-03-B

ACAD REF:



WARNING
BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

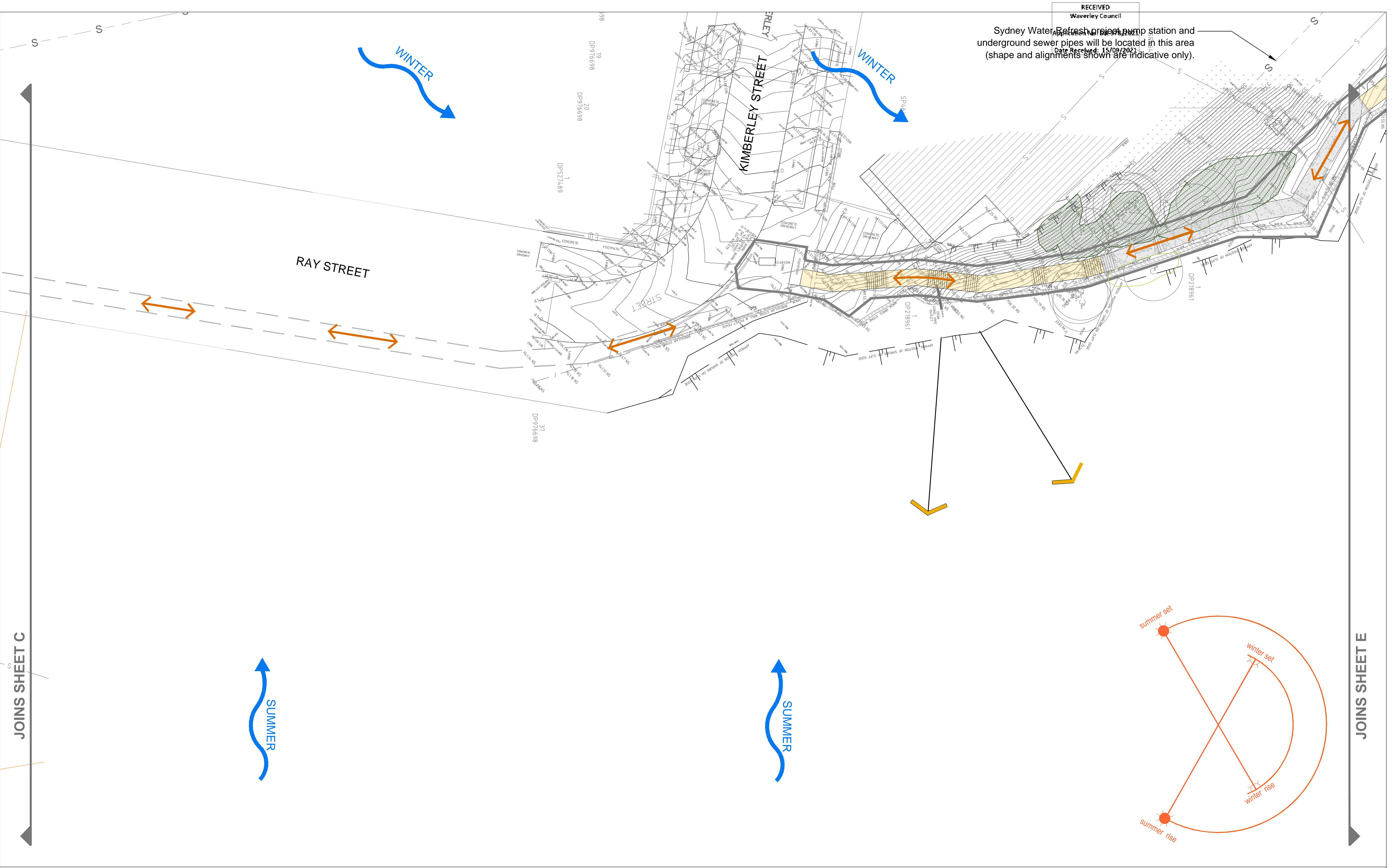
DRAWING KEY

	Extent of works		Cliff edge		Existing wall		Existing tree		Existing spot heights		Existing fencing
	Existing timber footpath		Existing concrete footpath		Existing sandstone footpath		Existing stair directions		Boundary		Existing vegetation(landscaped)
	Existing vegetation(PCT 1822)		Overhead electricity cable		Minor gas main		Minor sewer pipe		Minor water main		Major water main
	Stormwater pipe		Telstra/Telecommunications main cable		Surface drainage		Solar access diagram		Overland flow from stormwater pipe runoff		Pedestrian movement
	Site lines		Prevailing winds		Views						

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE CLIFFTOP WALKWAY UPGRADE	
CLIENT 	DRAWING NAME DEVELOPMENT APPLICATION SITE ANALYSIS PLAN C
THOMPSON BERRILL LANDSCAPE DESIGN P/L PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au	

SCALE BAR	
SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-03-C
ACAD REF:	



Sydney Water Refresh project pump station and underground sewer pipes will be located in this area (shape and alignments shown are indicative only).

JOINS SHEET C

JOINS SHEET E

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Existing timber footpath		Overhead electricity cable		Surface drainage
	Cliff edge		Existing concrete footpath		Minor gas main		Solar access diagram
	Existing wall		Existing sandstone footpath		Minor sewer pipe		Overland flow from stormwater pipe runoff
	Existing tree		Existing stair directions		Minor water main		Pedestrian movement
	Existing spot heights		Boundary		Major water main		Site lines
	Existing fencing		Existing vegetation(landscaped)		Stormwater pipe		Prevailing winds
			Existing vegetation(PCT 1822)		Telstra/Telecommunications main cable		Views

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

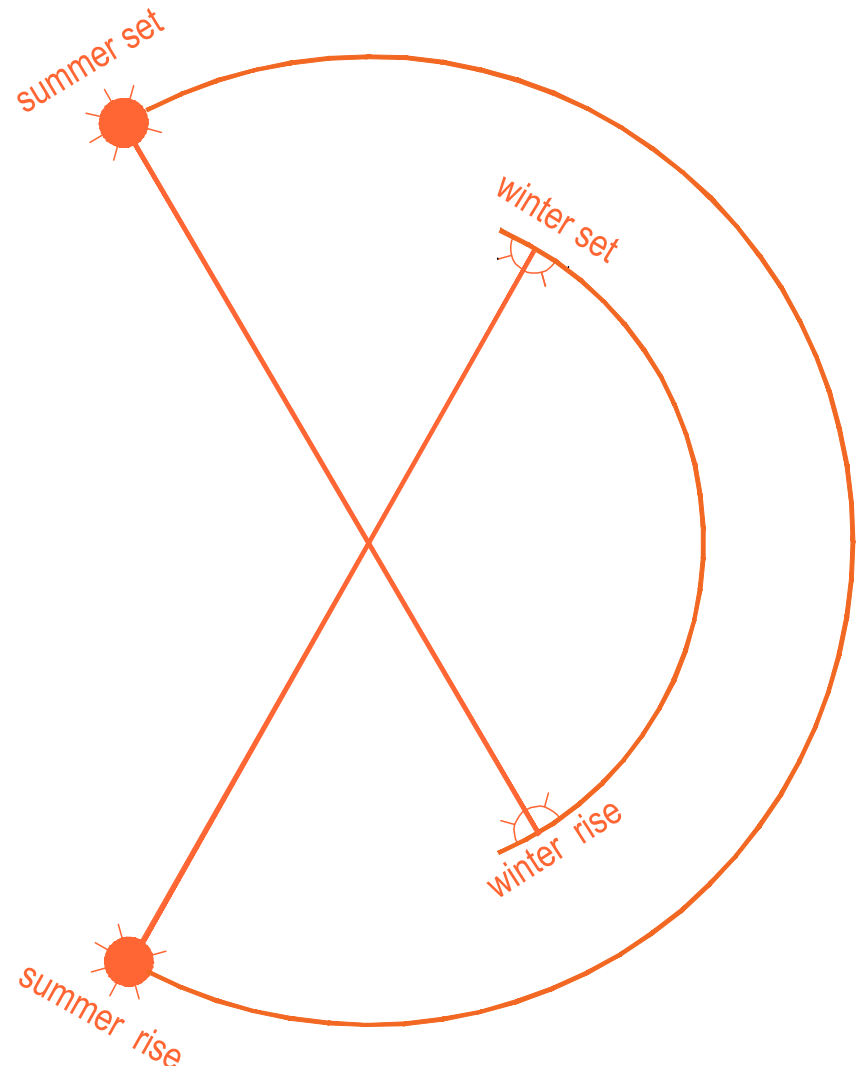
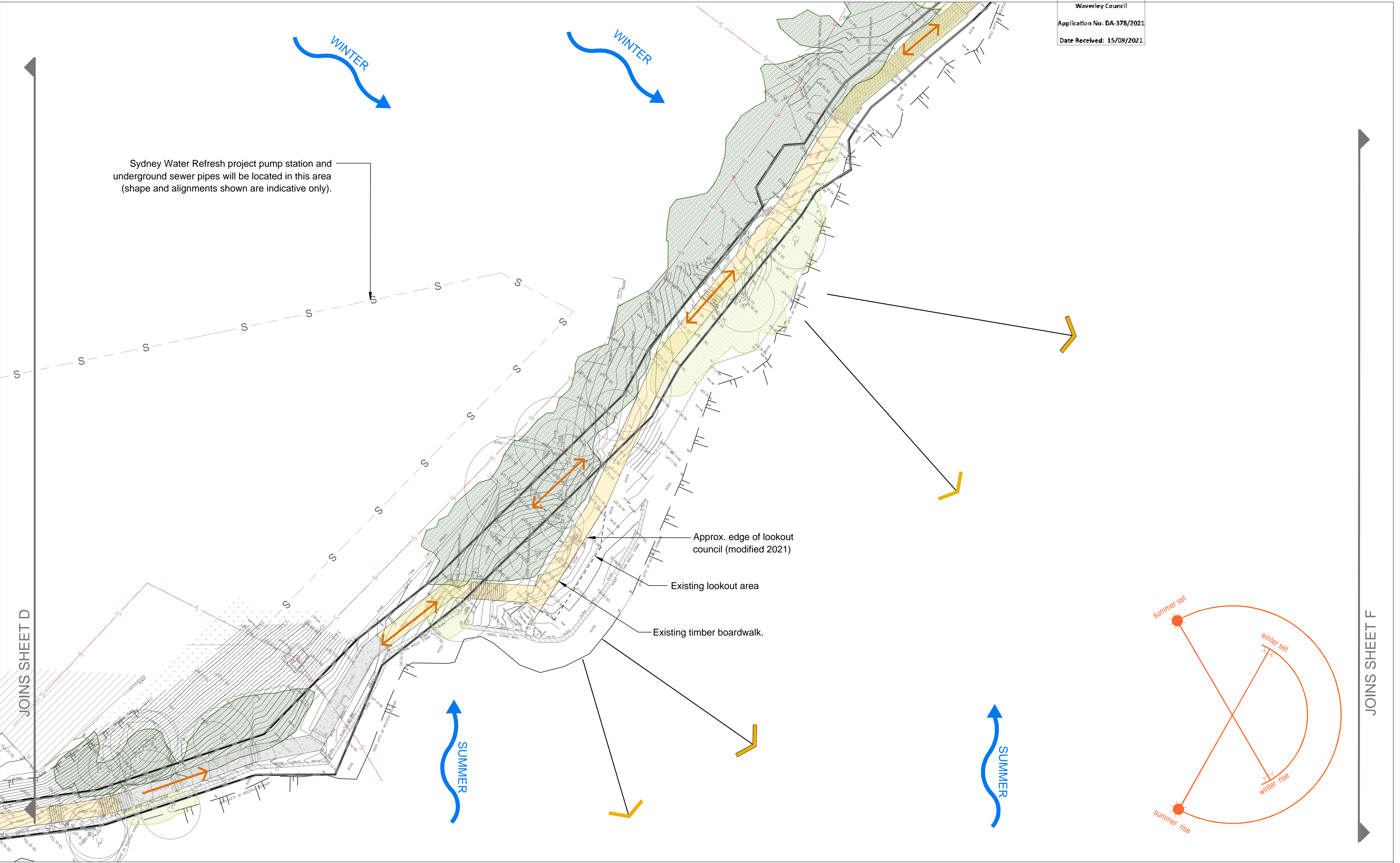
DRAWING NAME
**DEVELOPMENT APPLICATION
SITE ANALYSIS PLAN D**

DWG No.
CWU-DD-03-D

ACAD REF:

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Extent of works	Existing timber footpath	Overhead electricity cable	Surface drainage
Cliff edge	Existing concrete footpath	Minor gas main	Solar access diagram
Existing wall	Existing sandstone footpath	Minor sewer pipe	Overland flow from stormwater pipe runoff
Existing tree	Existing stair directions	Minor water main	Pedestrian movement
Existing spot heights	Boundary	Major water main	Site lines
Existing fencing	Existing vegetation(landscaped)	Stormwater pipe	Prevailing winds
	Existing vegetation(PCT 1822)	Telstra/Telecommunications main cable	Views

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

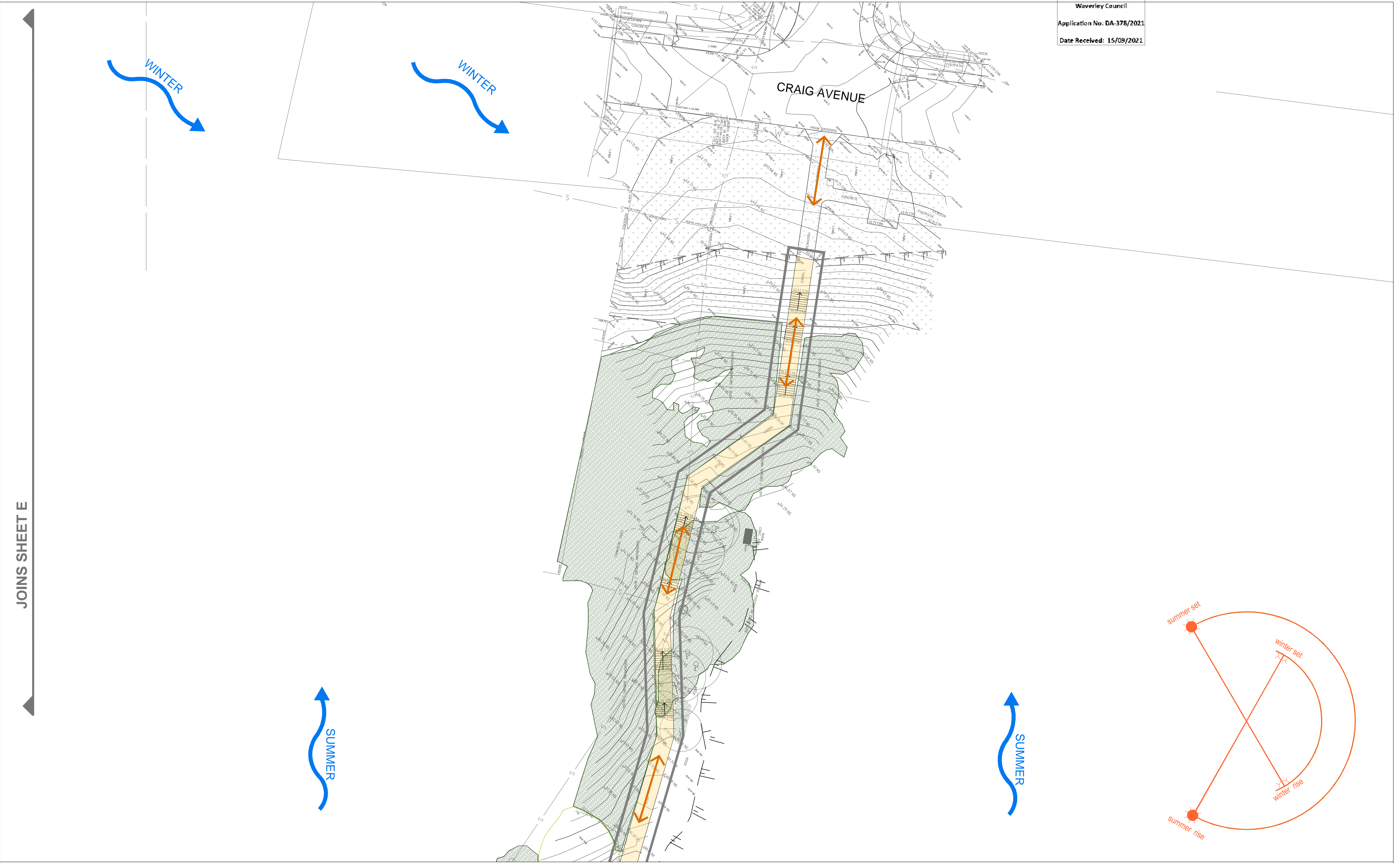
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SITE ANALYSIS PLAN E**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-03-E
ACAD REF:	



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present.
Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY	
	Extent of works
	Cliff edge
	Existing wall
	Existing tree
	Existing spot heights
	Existing fencing
	Existing timber footpath
	Existing concrete footpath
	Existing sandstone footpath
	Existing stair directions
	Boundary
	Existing vegetation(landscaped)
	Existing vegetation(PCT 1822)
	Overhead electricity cable
	Minor gas main
	Minor sewer pipe
	Minor water main
	Major water main
	Stormwater pipe
	Telstra/Telecommunications main cable
	Surface drainage
	Solar access diagram
	Overland flow from stormwater pipe runoff
	Pedestrian movement
	Site lines
	Prevailing winds
	Views

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SITE ANALYSIS PLAN F**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

DESIGN TBLD

CHECKED GB/AZ

DATUM AHD

DWG No.
CWU-DD-03-F

ACAD REF:



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Existing timber footpath		Underground electricity cable		Potential Aboriginal Deposit
	Cliff edge		Existing concrete footpath		Overhead electricity cable		Art (Pigment or Engraving)
	Existing wall		Existing sandstone footpath		Minor gas main		Surface drainage
	Existing tree		Existing stair directions		Minor sewer pipe		Overland flow from stormwater pipe runoff
	Existing spot heights		Boundary		Minor water main		Views
	Existing fencing		Existing vegetation(landscaped)		Major water main		(C54) Heritage conservation areas
			Existing vegetation(PCT 1822)		Stormwater pipe		(C37) Heritage conservation areas
					Telstra/Telecommunications main cable		

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

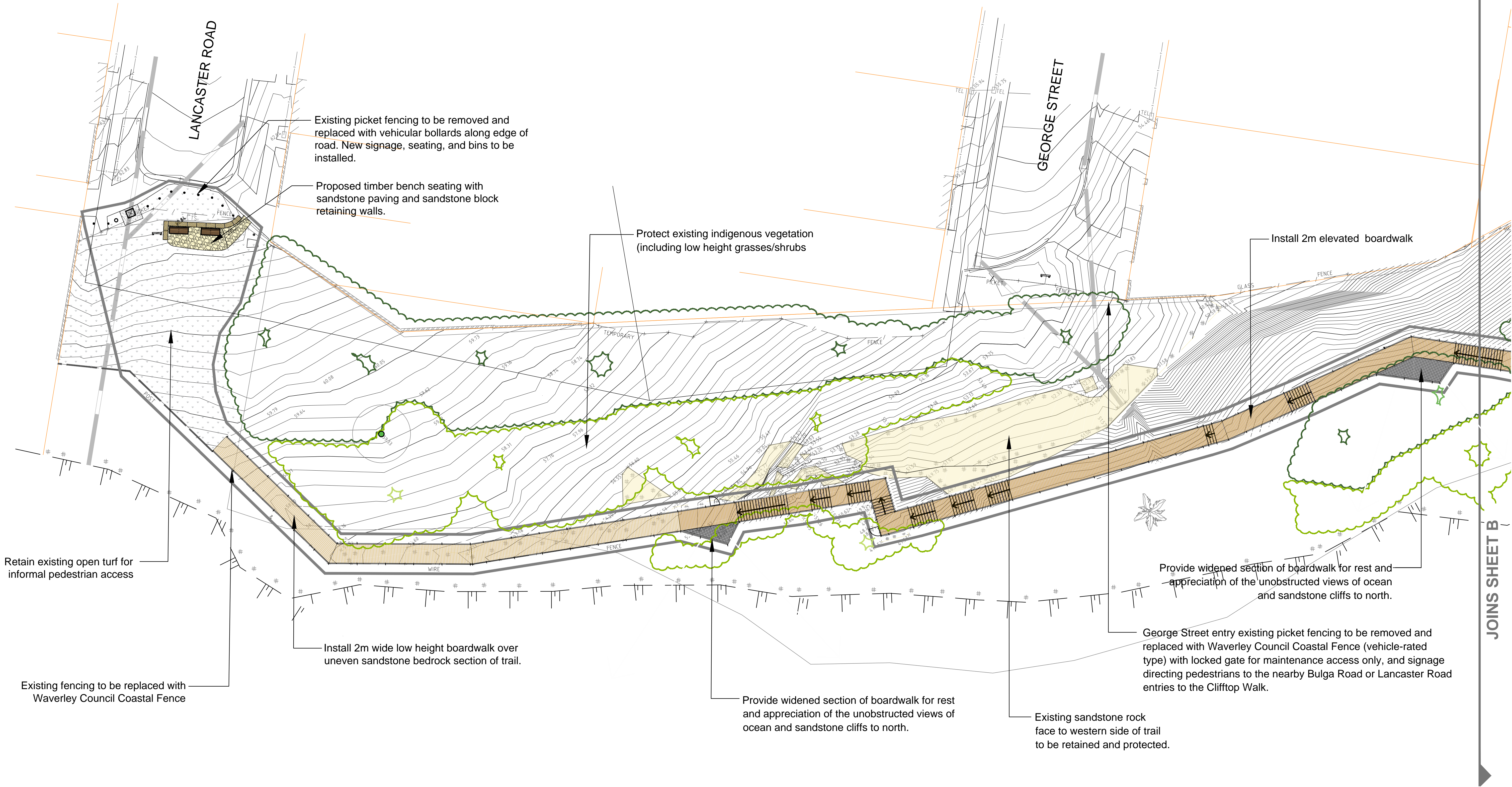
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
CONTEXT ANALYSIS PLAN**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:2000 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-04
ACAD REF:	



WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

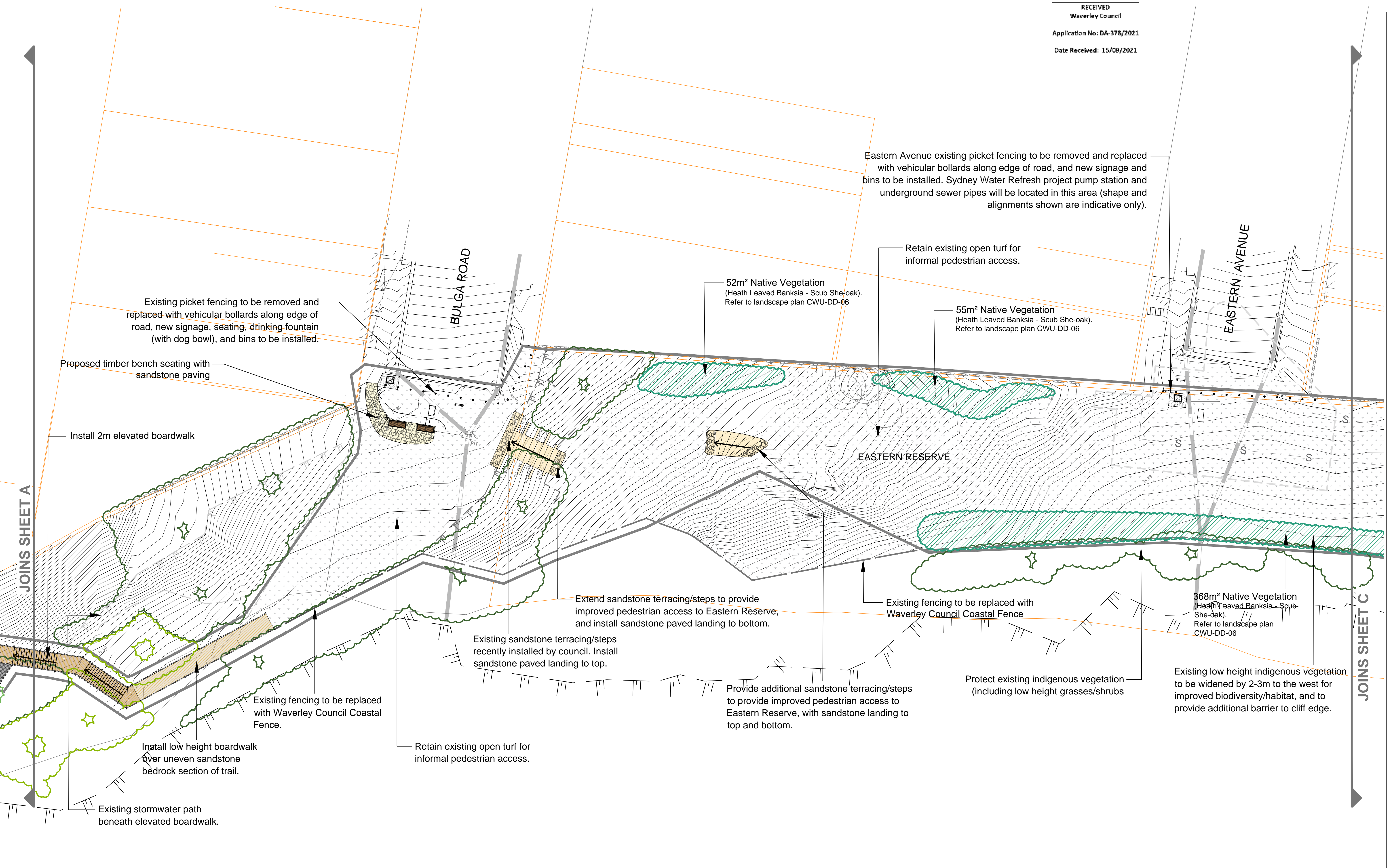
GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present.
Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Boundary		Existing vegetation (landscaped)		Overhead electricity cable
	Cliff edge		Sandstone paving landing area		Existing vegetation (PCT 1822)		Minor gas main
	Existing wall		Timber bench seat & sandstone paved footpad	<div>For existing vegetation, refer to Cliff Top Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)</div>			Minor sewer pipe
	Existing tree		2m wide elevated timber boardwalk		Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)		Minor water main
	Existing spot heights		2m wide elevated stepped boardwalk		Existing turf (retain for informal pedestrian access)		Major water main
	Existing fencing		2m wide low boardwalk				Stormwater pipe
	Existing concrete footpath		FRP elevated lookout				Telstra/Telecommunications main cable
	Existing sandstone footpath						

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE CLIFF TOP WALKWAY UPGRADE		DRAWING NAME DEVELOPMENT APPLICATION GENERAL LAYOUT PLAN A	
CLIENT 			
THOMPSON BERRILL LANDSCAPE DESIGN P/L PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au			
SCALE BAR SCALE 1:200 @ A3		DATE SEP 2021	
DRAWN JP		DESIGN TBLD	
CHECKED GB/AZ		DATUM AHD	
DWG No.		CWU-DD-05-A	
ACAD REF:			



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Extent of works	Boundary	Existing vegetation (landscaped)	Overhead electricity cable
Cliff edge	Sandstone paving landing area	Existing vegetation (PCT 1822)	Minor gas main
Existing wall	Timber bench seat & sandstone paved footpad	For existing vegetation, refer to Cliff Top Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)	Minor sewer pipe
Existing tree	2m wide elevated timber boardwalk	Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)	Minor water main
Existing spot heights	2m wide elevated stepped boardwalk	Existing turf (retain for informal pedestrian access)	Major water main
Existing fencing	2m wide low boardwalk		Stormwater pipe
Existing concrete footpath	FRP elevated lookout		Telstra/Telecommunications main cable
Existing sandstone footpath			

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFF TOP WALKWAY UPGRADE

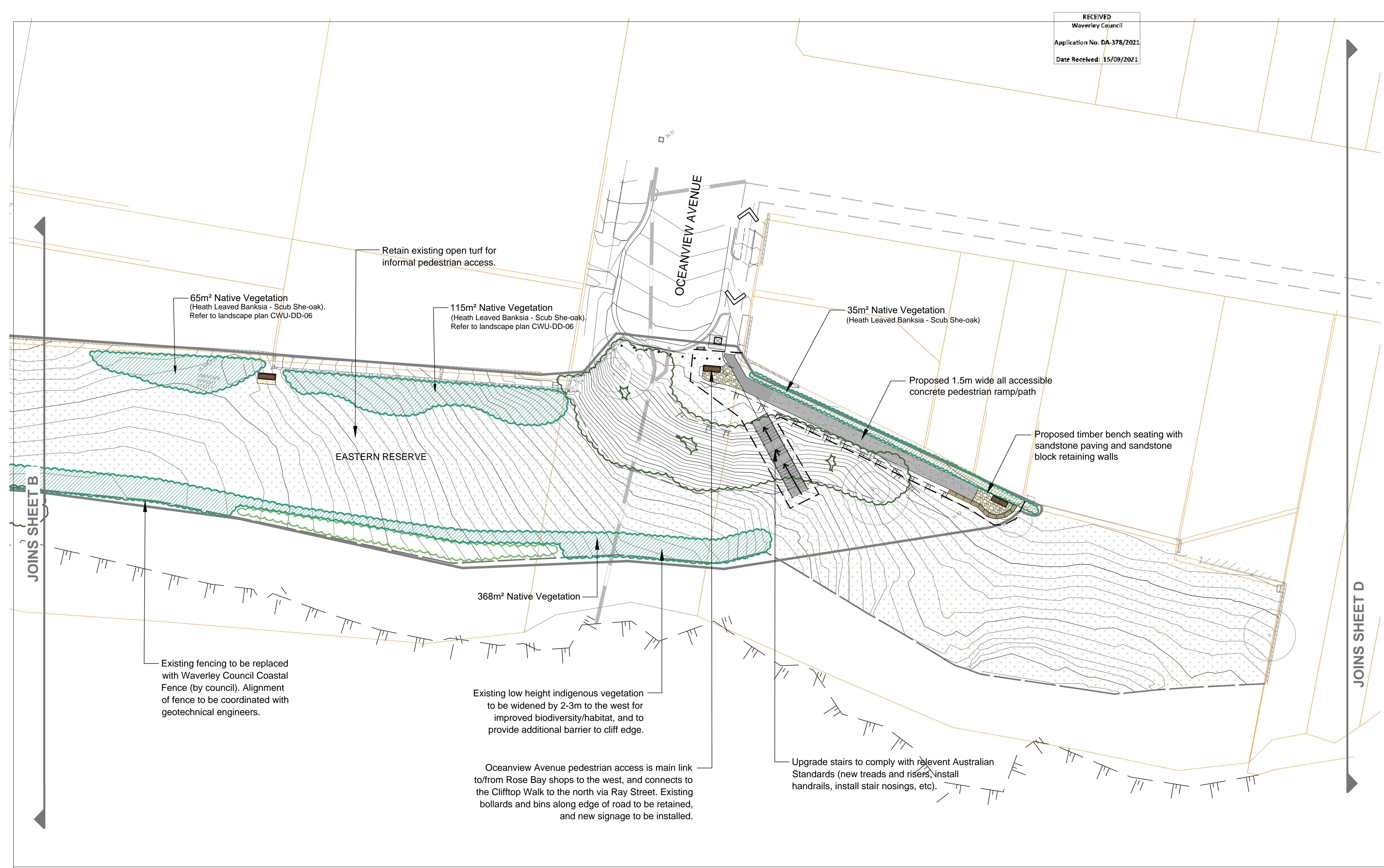
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
GENERAL LAYOUT PLAN B**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-05-B
ACAD REF.	



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:

Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Boundary		Existing vegetation (landscaped)		Overhead electricity cable
	Cliff edge		Sandstone paving landing area		Existing vegetation (PCT 1822)		Minor gas main
	Existing wall		Timber bench seat & sandstone paved footpad	<div>For existing vegetation, refer to Cliff Top Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)</div>			Minor sewer pipe
	Existing tree		2m wide elevated timber boardwalk		Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)		Minor water main
	Existing spot heights		2m wide elevated stepped boardwalk		Existing turf (retain for informal pedestrian access)		Major water main
	Existing fencing		2m wide low boardwalk				Stormwater pipe
	Existing concrete footpath		FRP elevated lookout				Telstra/Telecommunications main cable
	Existing sandstone footpath						

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME

DEVELOPMENT APPLICATION

GENERAL LAYOUT PLAN C

THOMPSON BERRILL LANDSCAPE DESIGN P/L

PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbltd.com.au

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

DESIGN TBLD

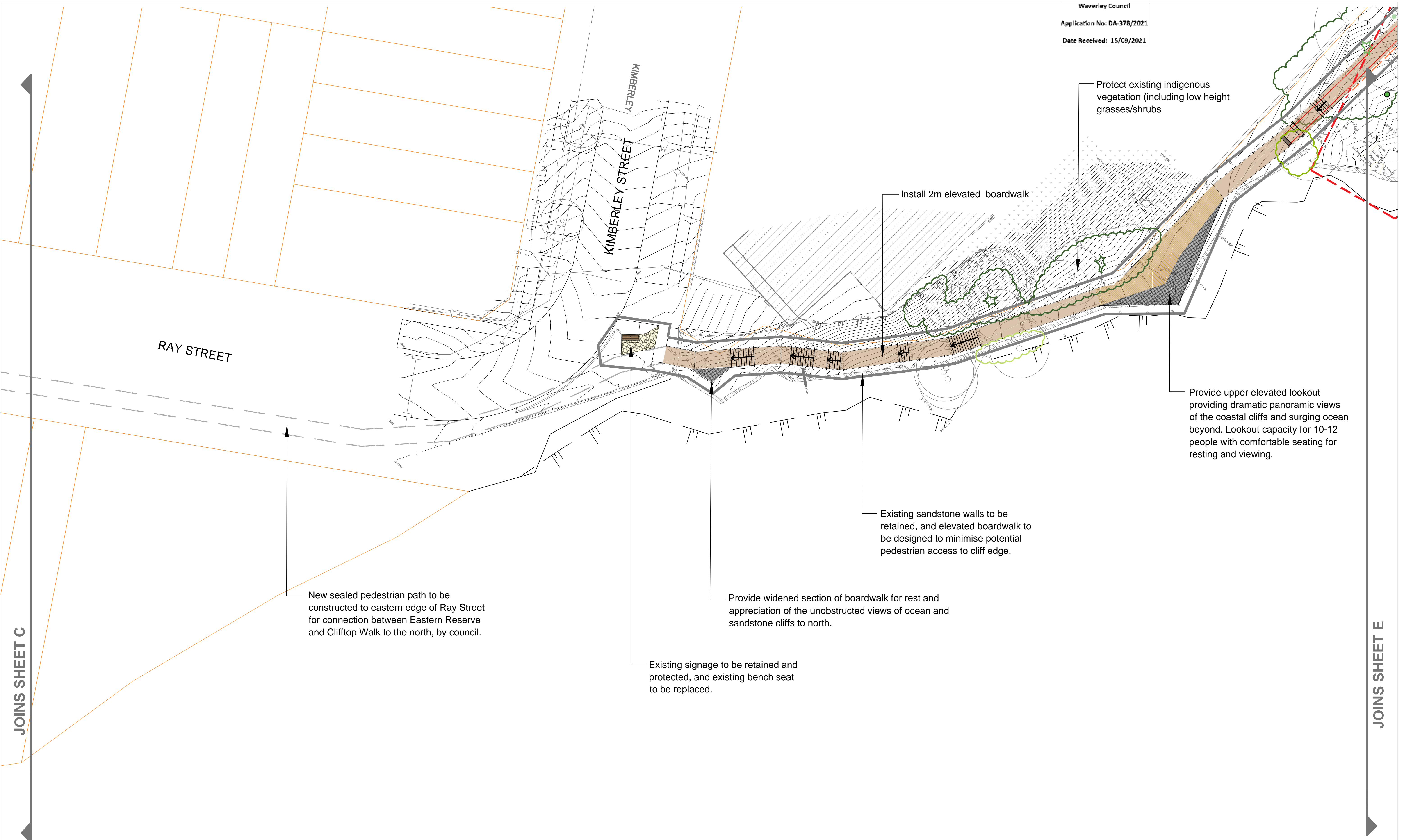
CHECKED GB/AZ

DATUM AHD

DWG No.

CWU-DD-05-C

ACAD REF:



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Boundary		Existing vegetation(landscaped)		Overhead electricity cable
	Cliff edge		Sandstone paving landing area		Existing vegetation(PCT 1822)		Minor gas main
	Existing wall		Timber bench seat & sandstone paved footpad	<div>For existing vegetation, refer to Cliff Top Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)</div>			Minor sewer pipe
	Existing tree		2m wide elevated timber boardwalk		Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)		Minor water main
	Existing spot heights		2m wide elevated stepped boardwalk		Existing turf (retain for informal pedestrian access)		Major water main
	Existing fencing		2m wide low boardwalk				Stormwater pipe
	Existing concrete footpath		FRP elevated lookout				Telstra/Telecommunications main cable
	Existing sandstone footpath						

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

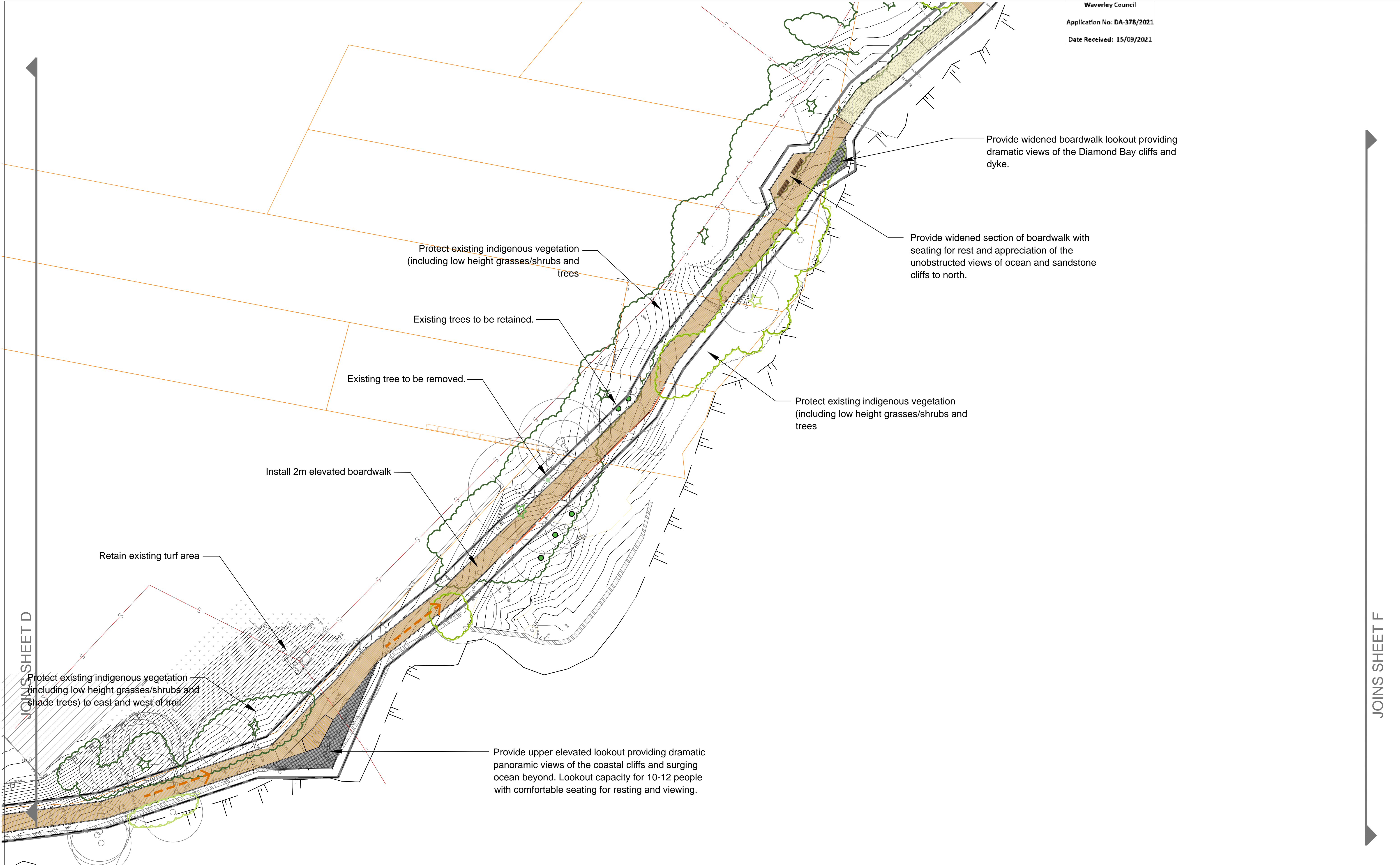
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
GENERAL LAYOUT PLAN D**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-05-D
ACAD REF:	



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:

Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Extent of works		Boundary		Existing vegetation (landscaped)		Overhead electricity cable
	Cliff edge		Sandstone paving landing area		Existing vegetation (PCT 1822)		Minor gas main
	Existing wall		Timber bench seat & sandstone paved footpad	<div>For existing vegetation, refer to Cliff Top Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)</div>			Minor sewer pipe
	Existing tree		2m wide elevated timber boardwalk		Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)		Minor water main
	Existing spot heights		2m wide elevated stepped boardwalk		Existing turf (retain for informal pedestrian access)		Major water main
	Existing fencing		2m wide low boardwalk				Stormwater pipe
	Existing concrete footpath		FRP elevated lookout				Telstra/Telecommunications main cable
	Existing sandstone footpath						

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME

**DEVELOPMENT APPLICATION
GENERAL LAYOUT PLAN E**

THOMPSON BERRILL LANDSCAPE DESIGN P/L

PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbbld.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-05-E
ACAD REF:	

Existing bollards and bins along edge of road to be retained.

CRAIG AVENUE

AVENUE

Existing drinking fountain and bin along edge of road to be retained, and new signage to be installed.

Retain existing turf area

BONDI TO WATSONS BAY /
FEDERATION CLIFF WALK

Protect existing indigenous vegetation (including low height grasses/shrubs and shade trees) to east and west of trail.

Install 2m wide low height boardwalk



WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- Extent of works

Cliff edge

Existing wall

Existing tree

Existing spot heights

Existing fencing

Existing concrete footpath

Existing sandstone footpath
- Boundary

Sandstone paving landing area

Timber bench seat & sandstone paved footpad

2m wide elevated timber boardwalk

2m wide elevated stepped boardwalk

2m wide low boardwalk

FRP elevated lookout
- Existing vegetation(landscaped)

Existing vegetation(PCT 1822)

For existing vegetation, refer to Clifftop Walkway Upgrade, Dover Heights and Vaucluse (Flora and Fauna Assessment)

Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)

Existing turf (retain for informal pedestrian access)
- Overhead electricity cable

Minor gas main

Minor sewer pipe

Minor water main

Major water main

Stormwater pipe

Telstra/Telecommunications main cable

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
GENERAL LAYOUT PLAN F**

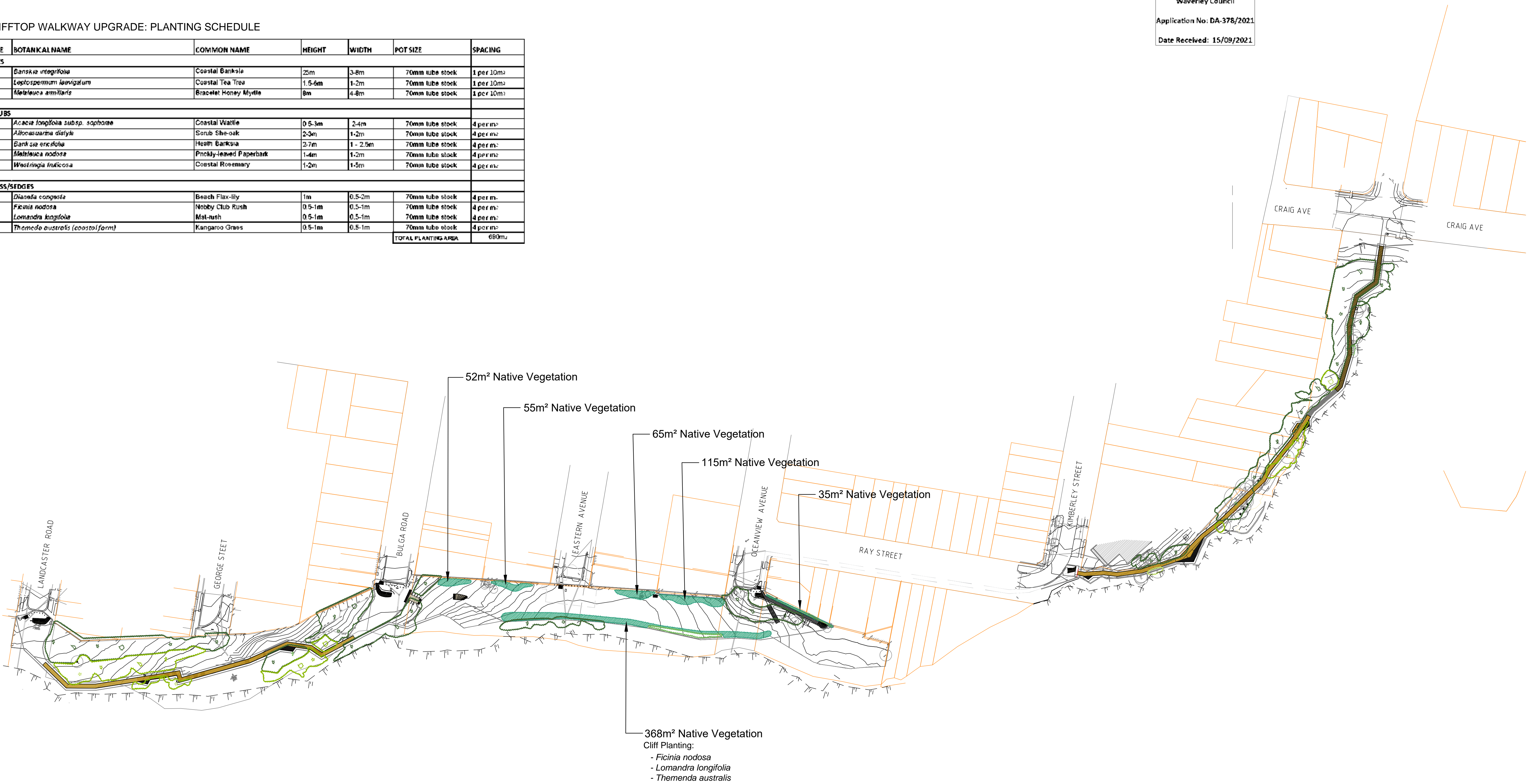
THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR
SCALE 1:200 @ A3
DATE SEP 2021
DRAWN JP
DESIGN TBLD
CHECKED GB/AZ
DATUM AHD
DWG No.
CWU-DD-05-F
ACAD REF:

CLIFFTOP WALKWAY UPGRADE: PLANTING SCHEDULE

CODE	BOTANKALNAME	COMMON NAME	HEIGHT	WIDTH	POT SIZE	SPACING
TREES						
Gi	<i>Banksia integrifolia</i>	Coastal Banksia	25m	3-8m	70mm tube stock	1 per 10m²
Li	<i>Leptospermum laevigatum</i>	Coastal Tea Tree	1.5-5m	1-2m	70mm tube stock	1 per 10m²
MA	<i>Metaleuca amaranthifolia</i>	Bracelet Honey Myrtle	8m	4-8m	70mm tube stock	1 per 10m²
SHRUBS						
Al	<i>Acacia longifolia subsp. sophorae</i>	Coastal Wattle	0.5-3m	2-4m	70mm tube stock	4 per m²
Ad	<i>Allocasuarina distyle</i>	Scrub She-oak	2-3m	1-2m	70mm tube stock	4 per m²
Be	<i>Banksia ericifolia</i>	Heath Banksia	2-7m	1 - 2.5m	70mm tube stock	4 per m²
Mn	<i>Metaleuca nodosa</i>	Prickly-leaved Paperbark	1-4m	1-2m	70mm tube stock	4 per m²
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	1-2m	1-5m	70mm tube stock	4 per m²
GRASS/SEDGES						
Dc	<i>Dianella congesta</i>	Beach Flax-lily	1m	0.5-2m	70mm tube stock	4 per m²
Fn	<i>Ficinia nodosa</i>	Nobby Club Rush	0.5-1m	0.5-1m	70mm tube stock	4 per m²
Li	<i>Lomandra longifolia</i>	Mat-rush	0.5-1m	0.5-1m	70mm tube stock	4 per m²
Te	<i>Themeda australis (coastal form)</i>	Kangaroo Grass	0.5-1m	0.5-1m	70mm tube stock	4 per m²
TOTAL PLANTING AREA						680m²

RECEIVED
Waverley Council
Application No: DA-378/2021
Date Received: 15/09/2021



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

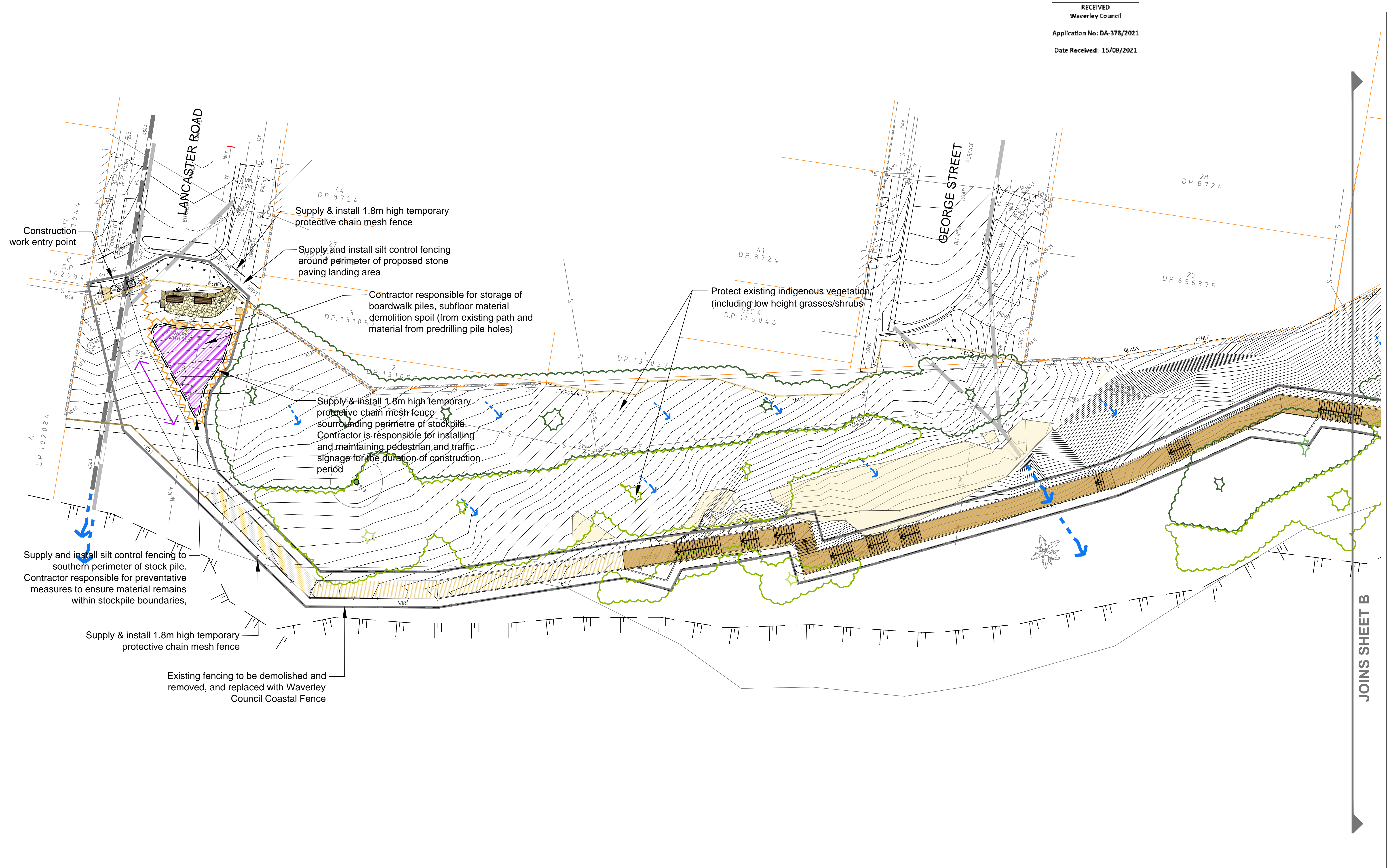
GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present.
Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- Extent of works
- Cliff edge
- Existing wall
- Existing tree
- Existing spot heights
- Existing fencing
- Boundary
- Existing vegetation(landscaped)
- Existing vegetation(PCT 1822)
- Proposed native vegetation

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE CLIFFTOP WALKWAY UPGRADE		SCALE BAR	
CLIENT 		SCALE 1:2000 @ A3	
DRAWING NAME DEVELOPMENT APPLICATION LANDSCAPE PLAN		DATE SEP 2021	
DRAWN JP		DESIGN TBLD	
CHECKED GB/AZ		DATUM AHD	
DWG No. CWU-DD-06		ACAD REF:	
THOMPSON BERRILL LANDSCAPE DESIGN P/L PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbbld.com.au			



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Construction access route	1.8m high protective fencing	Existing coastal fence to be retained (Low Priority)
Structures to be demolished and removed off site	Silt control fencing	Existing coastal fence to be replaced (High Priority)
Contractor stockpile	Earthworks	Proposed vehicle exclusion bollard
Extension of work	Proposed new boardwalk	Maintenance gate
Trees to be protected		Proposed wayfinding and interpretive signage
Trees to be removed		

Items to be retained

Existing vegetation(landscaped)	Minor water main
Existing vegetation(PCT 1822)	Major water main
Underground electricity cable	Stormwater pipe
Overhead electricity cable	Telstra main cable
Minor gas main	
Minor sewer pipe	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

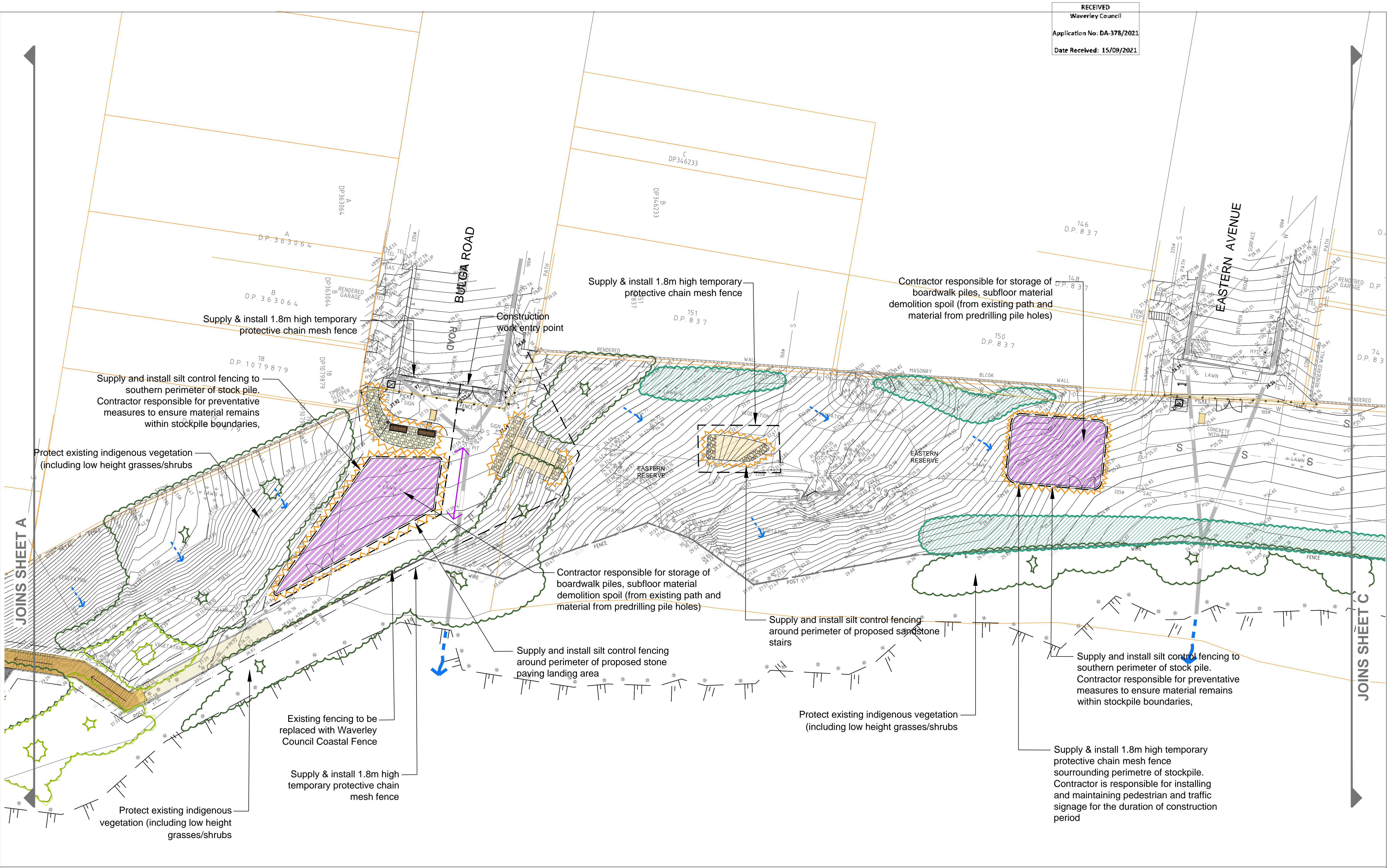
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SOIL & WATER
MANAGEMENT PLAN A**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-07-A
ACAD REF:	



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- Construction access route
- Structures to be demolished and removed off site
- Extension of work
- Trees to be protected
- Trees to be removed
- 1.8m high protective fencing
- Silt control fencing
- Contractor stockpile
- Earthworks
- Proposed new boardwalk
- Existing coastal fence to be retained (Low Priority)
- Existing coastal fence to be replaced (High Priority)
- Proposed vehicle exclusion bollard
- Maintenance gate
- Proposed wayfinding and interpretive signage
- Existing vegetation (landscaped)
- Existing vegetation (PCT 1822)
- Underground electricity cable
- Overhead electricity cable
- Minor gas main
- Minor sewer pipe
- Proposed native vegetation (Heath Leaved Banksia - Scub She-oak)
- Minor water main
- Major water main
- Stormwater pipe
- Telstra main cable

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SOIL & WATER
MANAGEMENT PLAN B**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

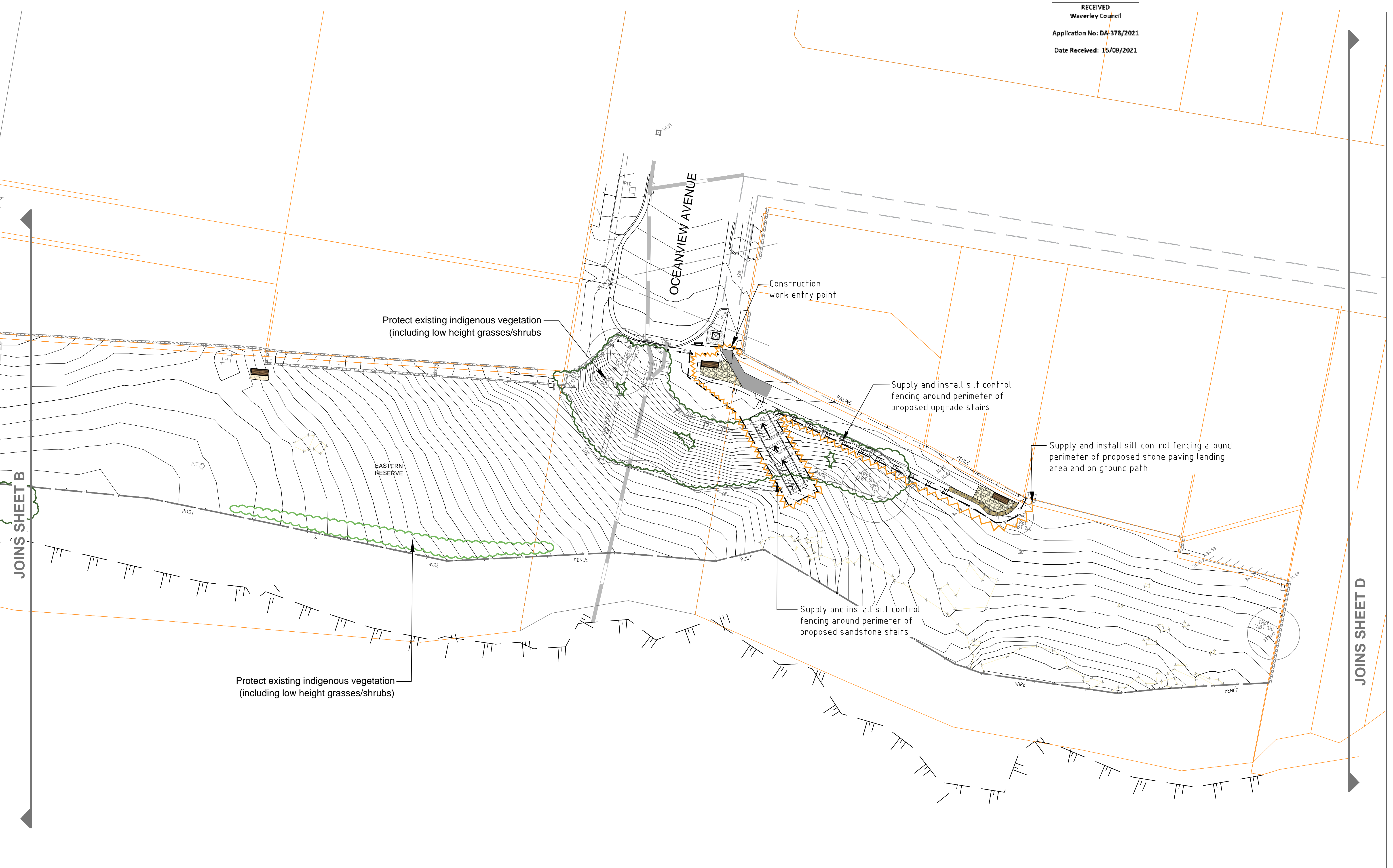
DESIGN TBLD

CHECKED GB/AZ

DATUM AHD

DWG No. CWU-DD-07-B

ACAD REF:



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Construction access route	1.8m high protective fencing	Existing coastal fence to be retained (Low Priority)	Existing vegetation(landscaped)	Minor water main
Structures to be demolished and removed off site	Silt control fencing	Existing coastal fence to be replaced (High Priority)	Existing vegetation(PCT 1822)	Major water main
Extension of work	Contractor stockpile	Proposed vehicle exclusion bollard	Underground electricity cable	Stormwater pipe
Trees to be protected	Earthworks	Maintenance gate	Overhead electricity cable	Telstra main cable
Trees to be removed		Proposed wayfinding and interpretive signage	Minor gas main	
			Minor sewer pipe	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SOIL & WATER
MANAGEMENT PLAN C**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblid.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-07-C
ACAD REF:	



JOINS SHEET C

JOINS SHEET E

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

	Construction access route		1.8m high protective fencing		Existing coastal fence to be retained (Low Priority)		Existing vegetation(landscaped)		Minor water main
	Structures to be demolished and removed off site		Silt control fencing		Existing coastal fence to be replaced (High Priority)		Existing vegetation(PCT 1822)		Major water main
	Extension of work		Contractor stockpile		Proposed vehicle exclusion bollard		Underground electricity cable		Stormwater pipe
	Trees to be protected		Earthworks		Maintenance gate		Overhead electricity cable		Telstra main cable
	Trees to be removed		Proposed new boardwalk		Proposed wayfinding and interpretive signage		Minor gas main		
							Minor sewer pipe		

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

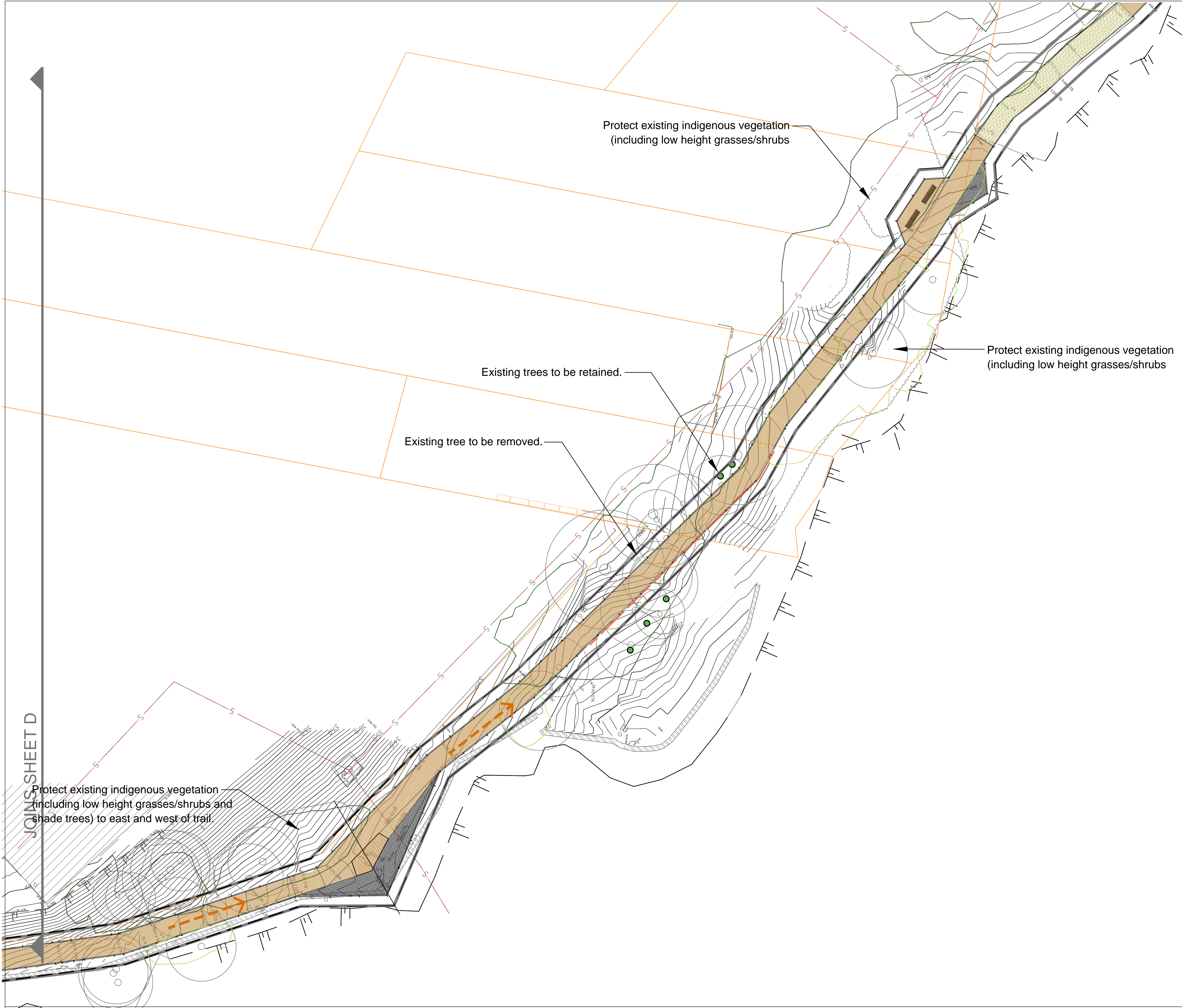
CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
SOIL & WATER
MANAGEMENT PLAN D**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD
DWG No.	CWU-DD-07-D
ACAD REF:	



JOINS SHEET D

JOINS SHEET F

WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

DRAWING KEY

Construction access route

Structures to be demolished and removed off site

Extension of work

Trees to be protected

Trees to be removed

1.8m high protective fencing

Silt control fencing

Contractor stockpile

Earthworks

Proposed new boardwalk

Existing coastal fence to be retained (Low Priority)

Existing coastal fence to be replaced (High Priority)

Proposed vehicle exclusion bollard

Maintenance gate

Proposed wayfinding and interpretive signage

Existing vegetation(landscaped)

Existing vegetation(PCT 1822)

Underground electricity cable

Overhead electricity cable

Minor gas main

Minor sewer pipe

Minor water main

Major water main

Stormwater pipe

Telstra main cable

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME

**DEVELOPMENT APPLICATION
SOIL & WATER
MANAGEMENT PLAN E**

THOMPSON BERRILL LANDSCAPE DESIGN P/L

PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tblad.com.au

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

DESIGN TBLD

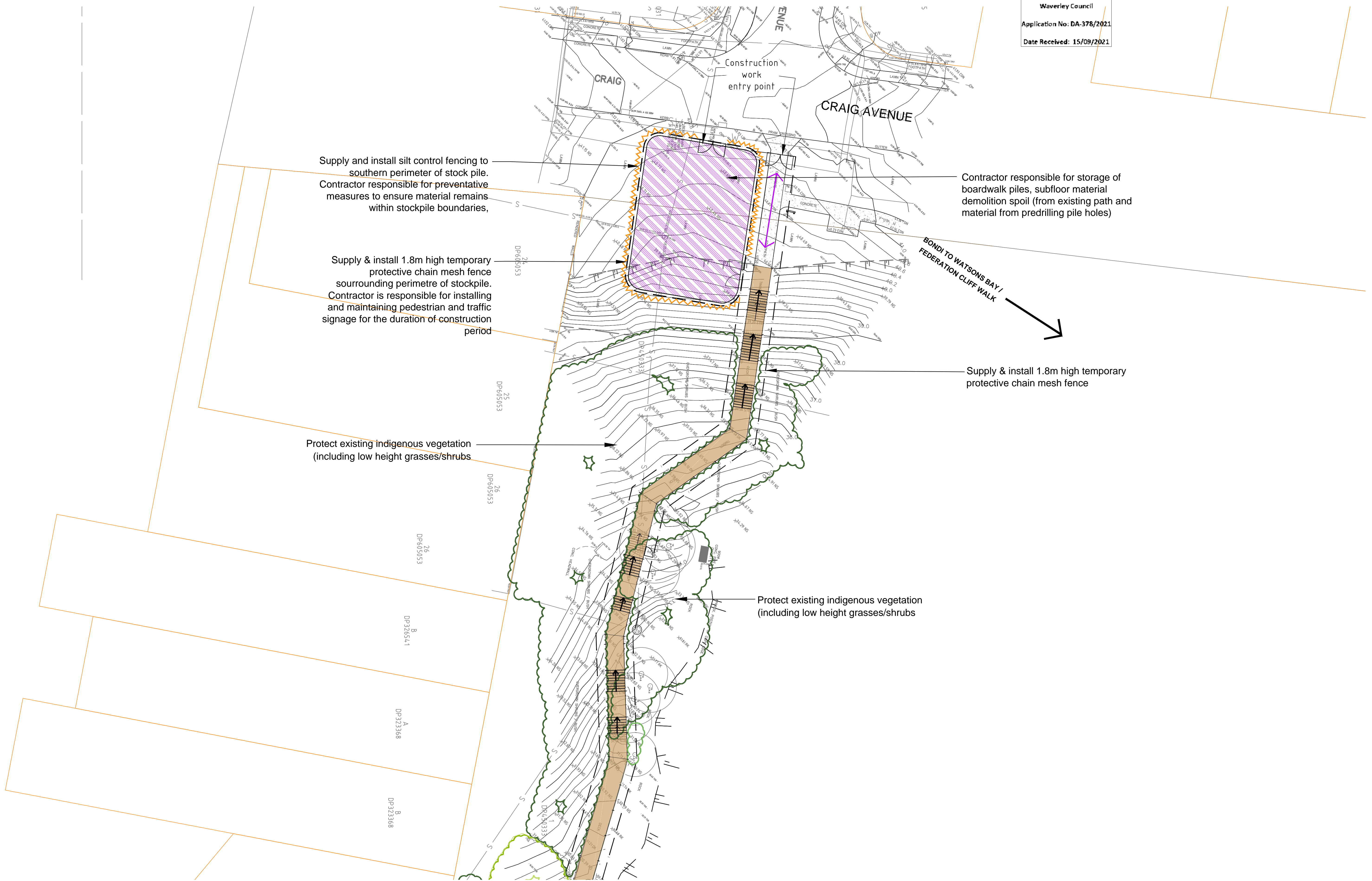
CHECKED GB/AZ

DATUM AHD

DWG No.

CWU-DD-07-E

ACAD REF:



WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

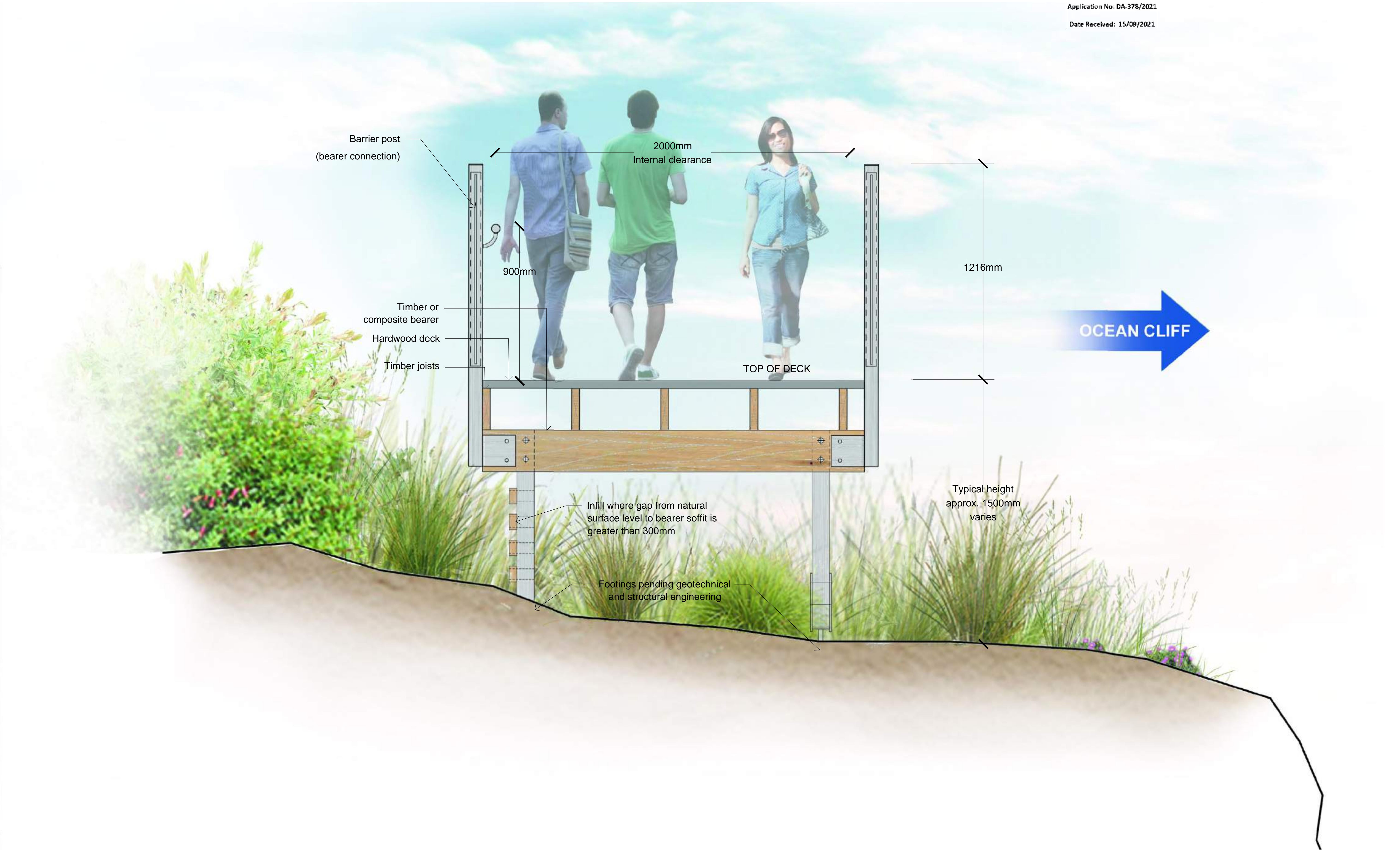
GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- Construction access route
- Structures to be demolished and removed off site
- Extension of work
- Trees to be protected
- Trees to be removed
- 1.8m high protective fencing
- Silt control fencing
- Contractor stockpile
- Earthworks
- Proposed new boardwalk
- Existing coastal fence to be retained (Low Priority)
- Existing coastal fence to be replaced (High Priority)
- Proposed vehicle exclusion bollard
- Maintenance gate
- Proposed wayfinding and interpretive signage
- Existing vegetation (landscaped)
- Existing vegetation (PCT 1822)
- Underground electricity cable
- Overhead electricity cable
- Minor gas main
- Minor sewer pipe
- Minor water main
- Major water main
- Stormwater pipe
- Telstra main cable

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE CLIFFTOP WALKWAY UPGRADE		SCALE BAR SCALE 1:200 @ A3 DATE SEP 2021 DRAWN JP DESIGN TBLD CHECKED GB/AZ DATUM AHD DWG No. CWU-DD-07-F ACAD REF:
CLIENT 	DRAWING NAME DEVELOPMENT APPLICATION SOIL & WATER MANAGEMENT PLAN F	
THOMPSON BERRILL LANDSCAPE DESIGN P/L PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbd.com.au		



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:

Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Contour (200mm intervals)	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)	Minor water main
Cliff edge	Existing timber footpath	Existing vegetation(PCT 1822)	Major water main
Existing wall	Existing concrete footpath	Underground electricity cable	Stormwater pipe
Existing tree	Existing sandstone footpath	Overhead electricity cable	Telstra/Telecommunications main cable
Existing spot heights	Existing stair directions	Minor gas main	
Existing fencing	Boundary	Minor sewer pipe	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE
CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME
**DEVELOPMENT APPLICATION
ELEVATED BOARDWALK
TYPICAL CROSS SECTION**

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbd.com.au

SCALE BAR

SCALE 1:200 @ A3

DATE SEP 2021

DRAWN JP

DESIGN TBLD

CHECKED GB/AZ

DATUM AHD

DWG No.
CWU-DD-08-A

ACAD REF:



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:

Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

Contour (200mm intervals)	Overland flow from stormwater pipe runoff	Existing vegetation(landscaped)	Minor water main
Cliff edge	Existing timber footpath	Existing vegetation(PCT 1822)	Major water main
Existing wall	Existing concrete footpath	Underground electricity cable	Stormwater pipe
Existing tree	Existing sandstone footpath	Overhead electricity cable	Telstra/Telecommunications main cable
Existing spot heights	Existing stair directions	Minor gas main	
Existing fencing	Boundary	Minor sewer pipe	

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

DRAWING NAME

DEVELOPMENT APPLICATION

INFORMAL PEDESTRIAN ACCESS

TYPICAL CROSS SECTION

DWG No.

CWU-DD-08-B

ACAD REF:

THOMPSON BERRILL LANDSCAPE DESIGN P/L

PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbid.com.au

SCALE BAR

SCALE 1:200 @ A3

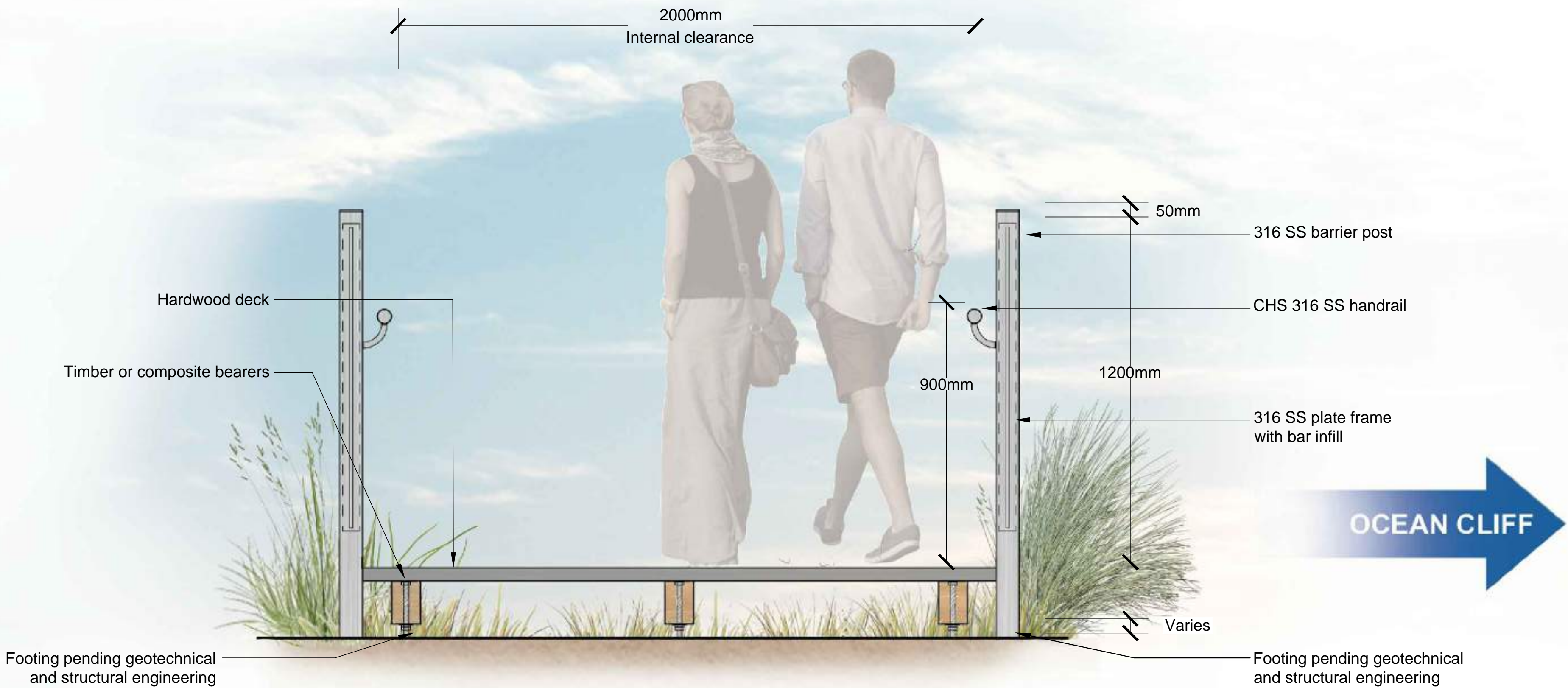
DATE SEP 2021

DRAWN JP

DESIGN TBLD

CHECKED GB/AZ

DATUM AHD



WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. THE CONTRACTOR MUST VERIFY ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION WORKS.

GENERAL NOTES:
Services shown hereon have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

DRAWING KEY

- | | | | |
|---------------------------|---|---------------------------------|---------------------------------------|
| Contour (200mm intervals) | Overland flow from stormwater pipe runoff | Existing vegetation(landscaped) | Minor water main |
| Cliff edge | Existing timber footpath | Existing vegetation(PCT 1822) | Major water main |
| Existing wall | Existing concrete footpath | Underground electricity cable | Stormwater pipe |
| Existing tree | Existing sandstone footpath | Overhead electricity cable | Telstra/Telecommunications main cable |
| Existing spot heights | Existing stair directions | Minor gas main | |
| Existing fencing | Boundary | Minor sewer pipe | |

DATE	REV	AMENDMENT
20/08/2021	V1	DEVELOPMENT APPLICATION
03/09/2021	V2	DEVELOPMENT APPLICATION

PROJECT TITLE

CLIFFTOP WALKWAY UPGRADE

CLIENT

WAVERLEY

DRAWING NAME

DEVELOPMENT APPLICATION

LOW BOARDWALK

TYPICAL CROSS SECTION

THOMPSON BERRILL LANDSCAPE DESIGN P/L
PO BOX 665 MANLY NSW 2095 T: 9977 6444 E: info@tbid.com.au

SCALE BAR

SCALE	1:200 @ A3
DATE	SEP 2021
DRAWN	JP
DESIGN	TBLD
CHECKED	GB/AZ
DATUM	AHD

DWG No.
CWU-DD-08-C

ACAD REF:



Report to the Waverley Local Planning Panel

Application number	DA-378/2021
Site address	Diamond Bay Reserve, Diamond Bay Road, Vaucluse
Proposal	Upgrade works to existing clifftop walk between Diamond Bay Reserve and Eastern Reserve including new landscaping and fencing.
Date of lodgement	16 September 2021
Owner	Waverley Council
Applicant	Waverley Council
Submissions	113 submissions
Cost of works	\$3,268,276
Principal Issues	<ul style="list-style-type: none"> • Materials • Access • Safety • Plant species • Amenity impacts
Recommendation	That the application be APPROVED in accordance with the conditions contained in the report.

SITE MAP



1. PREAMBLE

1.1. Executive Summary

The development application seeks consent for upgrade works to sections of the Waverley Clifftop Walkway at Dover Heights between Diamond Bay Reserve at Diamond Bay Road and Lancaster Road, including part of Eastern Reserve. The scope of works includes the replacement and extension of existing boardwalks, stairs and handrails, new coastal fencing, extension of viewing platform/lookout points, new wayfinding and safety signage, replacement of timber picket fences with bollards at the entry/exit to Eastern Reserve and associated landscaping works.

The principal issues arising from the assessment of the application are as follows:

- Materials
- Access
- Safety
- Plant species
- Amenity impacts

The assessment finds these issues acceptable, as Council has undertaken extensive consultation and given consideration to the most suitable use of materials for coastal fencing, paving, vegetation and provision of equitable access that is consistently utilised within the Waverley LGA. The proposal will improve the amenity and accessibility of the clifftop walkway, will provide a public benefit and will not result in adverse impacts on the amenity of adjoining properties, subject to conditions to address appropriate location and number of new tree plantings.

The application was originally notified for 21 days between 28 September and 19 October 2021 and was subject to two additional notification periods between 3 and 17 November and 23 to 30 November 2021 for the purposes of extending notification to surrounding properties. A total number of 113 submissions were received and the issues raised in the submissions have been considered and addressed in this report and in the Recommendation.

Following a Council meeting on 23 November 2021, a Council submission was received. The Council submission outlined that the Council had resolved to amend the application to address a number of issues raised by the local community. Due to time constraints the application could not be properly amended before the Panel meeting, so the changes were sought by way of a written submission to the Panel. Given the changes are ameliorative of potential impacts, the changes have been incorporated by way of conditions.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for approval subject to conditions of consent.

1.2. Site and Surrounding Locality

A site visit was carried out on 3 November 2021.

The site comprises a number of lots, owned by Waverley Council and the NSW Government, extending from Diamond Bay Reserve, Dover Heights to Lancaster Road, Dover Heights to the south. The separate lots are identified as follows:

- Lot 1, DP 1056298 (29A Kimberley Street)
- Lot 7031, DP 1023202 (Eastern Reserve)
- Lot 2, DP 560890 (Diamond Bay Reserve)
- Lot 1, DP 433771 (Diamond Bay Reserve)
- Lot 2, DP 573864 (Diamond Bay Reserve)
- Lot 7029, DP 1023187 (Eastern Reserve)
- Lot 7030, DP 1023184 (Eastern Reserve)
- Lot 102, DP 615418 (Kimberley Street)
- Lot 1, DP 218961 (Kimberley Street)
- Lot 1, DP 450333 (Diamond Bay Reserve)
- Lot 1611, DP 752011 (10a Ray Street)
- Unidentified Crown Land Along the cliffs and Crown Waterway

The site comprises of clifftop / open spaces, approximately 680m in length, from the eastern side of Diamond Bay Road along the coastline to the south-east to Kimberley Street and the clifftop from the eastern side of Ray Street and Oceanview Avenue along the coastline to the eastern side of Lancaster Road to the south.

The topography of the Waverley Clifftop Walk varies with rises and falls, with a general slope towards the north and east (coastline).

The Clifftop Walk has eight pedestrian access points from Craig Avenue, Kimberley Street, Ray Street, Oceanview Avenue, Eastern Avenue, Bulga Road, George Street and Lancaster Road. At Diamond Bay Reserve, access to the reserve and boardwalk is open and does not comprise of any gates. The entry to the Clifftop Walk at Kimberley Street is via a concrete pathway adjacent to a timber picket fence following the bend in the road to Ray Street. At the end of Oceanview Avenue is an unfenced entry to the Clifftop Walk with bollards evenly spaced out adjacent to the kerb. Timber picket style fencing with pedestrian gate access to Eastern Reserve is currently provided at Eastern Avenue, Bulga Road, George Street and Lancaster Road.

The Waverley Clifftop Walk is part of a network of coastal walkways extending from Manly in the north to La Perouse in the south.

The site is adjoined by two to three storey residential dwellings along the length of the Clifftop Walk, with the exception of a multi-storey residential flat building at the southern end of Diamond Bay Cliff walk fronting Kimberley Street.

Figures 1 to 20 are photos of the site and its context.



Figure 1: Diamond Bay Reserve, looking north



Figure 2: Diamond Bay Reserve looking south towards concrete path and boardwalk



Figure 3: Boardwalk stairs looking east along cliff walk from Craig Avenue



Figure 4: View south-east from the boardwalk of vegetation and the rear of dwellings fronting Kimberley Street



Figure 5: Existing sandstone pathway between Craig Avenue, coastline and Kimberley Street



Figure 6: Existing stone wall adjacent to cliff, looking north towards Diamond Bay Reserve



Figure 7: Looking north at entry to the cliffwalk from corner of Kimberley Street and Ray Street



Figure 8: Looking east from Oceanview Avenue towards the northern portion of Eastern Reserve



Figure 9: Existing pathways from Eastern Reserve at Oceanview Avenue, looking east towards the ocean



Figure 10: Looking north along Eastern Reserve at existing worn path adjacent to rear boundary of properties fronting Ray Street



Figure 11: Existing stairs between Oceanview Avenue and Eastern Reserve, looking south-west from Eastern Reserve



Figure 12: View of Eastern Reserve and adjacent properties, looking south from Oceanview Avenue entrance



Figure 13: Existing coastal fence along Eastern Reserve, looking south



Figure 14: Existing fence and gate at the entrance of Eastern Reserve from Eastern Avenue



Figure 15: Properties immediately to the south of Eastern Avenue fronting Eastern Reserve



Figure 16: Fencing and bollard at the entrance to Eastern Reserve from Bulga Road, looking south from Eastern Reserve



Figure 17: Existing steps providing access from Bulga Road to Eastern Reserve, looking west from Eastern Reserve



Figure 18: View west from Eastern Reserve towards Lancaster Road



Figure 19: Section of cliff walk with existing wire fence looking south-west towards Lancaster Road properties



Figure 20: Timber stairs and boardwalk between George Street and Lancaster Road, looking south

1.3. Relevant Development History

A search of Council's records revealed the following recent and relevant development history of the site:

- DA-34/2003 was approved on 3 April 2003 for the construction of Stage 2 of Dover Heights to Vaucluse Cliff Walk. Works associated with the second stage of development includes the extension of the unfinished route in Diamond Bay Reserve through to Kimberley Street.

1.4. Proposal

The development application seeks consent for upgrade works to the Diamond Bay Reserve and clifftop walk between Diamond Bay Reserve and Eastern Reserve, specifically the following:

Diamond Bay Reserve to Kimberley Street

- Replacement of existing Diamond Bay lookout with a widen boardwalk and seating further to the west and installation of a 2m wide elevated boardwalk along the coastline to Kimberley Street;
- Construction of an elevated lookout adjacent to existing clifftop walk to the north of Kimberley Street including seating. The lookout will have a capacity of 10-12 persons;
- Widen boardwalk immediately adjacent to the entry from Kimberley Street for rest and views of the ocean and cliffs to the north;
- Replacement of bench seat at the entry from Kimberley Street;
- Retain and protect existing trees and indigenous vegetation adjacent to the clifftop walk between Diamond Bay Reserve and Kimberley Street; and
- Removal of one tree on the western side of the Diamond Bay boardwalk.

Eastern Reserve (Oceanview Avenue to Lancaster Road)

- New 1.5m wide accessible concrete pathway from Oceanview Avenue along the western side of the reserve with 35m² of landscaping between the pathway and boundary of adjacent properties;
- New timber bench seating with sandstone paving and block retaining wall at the end of the concrete pathway to the north;
- 180m² of native vegetation along the western side of Eastern Reserve to the south of Oceanview Avenue;
- New vegetation adjacent to cliff edge in Eastern Reserve consisting of 368m² of native species including an additional width of planting area by 2-3m to the west for additional barrier to the cliff edge;
- Upgrade of existing stairs to comply with relevant Australian Standards;
- Retention of existing bollards at the entry;
- Replace existing fence along the cliff edge with Waverley Council Coastal Fence;
- Replace existing timber picket fence at the entry from Eastern Avenue, Bulga Road and Lancaster Road with vehicular bollards;
- Provision of new bins adjacent to Eastern Avenue entry;
- New native vegetation to be planted along the western side of Eastern Reserve, adjacent to boundary of adjoining properties (two clusters comprising 55m² and 52m² of landscaping);
- Retention of existing turf area and protection of existing indigenous vegetation;
- Extension of existing sandstone steps with a new sandstone landing adjacent to the Bulga Road entry and new sandstone steps further to the north of the existing steps to improve pedestrian access;
- New seating, sandstone paving, drinking fountain (with dog bowl) and bins adjacent to the Bulga Road entry;
- New seating, sandstone paving, retaining wall and bins adjacent to the Lancaster Road entry;
- Installation of low height boardwalk over sandstone bedrock and 2m wide elevated boardwalk with new rest and look out adjacent to cliff edge to the south of Bulga Road and south of George Street; and
- Replace existing picket fence at George Street entry with Waverley Council Coastal Fence, restricting access for maintenance vehicles.

Signage

- Installation of new aluminium framed colorbond steel panel wayfinding signage at the entries from Craig Avenue, Kimberley Street, Oceanview Avenue, Eastern Avenue, Bulga Road and Lancaster Road;

- Directional signage at George Street to redirect pedestrians to enter Eastern Reserve from Bulga Road or Lancaster Road; and
- Replacement of existing warning/regulatory signs along the clifftop walk boardwalk and coastal fences.

2. ASSESSMENT

The following matters are to be considered in the assessment of this development application under section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act).

2.1. Planning Instruments and Development Control Plans

The following is an assessment against relevant legislation, environmental planning instruments, including State environmental planning policies (SEPPs), and development control plans.

2.1.1. State Environmental Planning Policies (SEPPs)

The following SEPPs apply and have been considered acceptable in the assessment of this development application:

- SEPP 55 Remediation of Land.
- SEPP 64 Advertising and Signage.
- SEPP (Coastal Management) 2018.

A detailed discussion is provided for relevant SEPPs as follows:

SEPP (Coastal Management) 2018

The site is identified as a Coastal Environment Area under Division 3 and a Coastal Use area under Division 4 of the SEPP, as shown in **Figure 21** below.



Figure 21: Extract of SEPP (Coastal Management) 2018

The eastern portion of Diamond Bay Reserve and the cliff walk areas from Diamond Bay Reserve to Eastern Reserve (inclusive) are located within the Coast Environment Area (shaded in blue). The western portion of Diamond Bay Reserve fronting Craig Avenue is located within the Coastal Use Area (shaded in orange).

Clause 13 – Coastal Environment Area

The proposed scope of works is consistent with matters for consideration for development within the Coastal Environmental Area under Clause 13, Division 3 of the SEPP as the upgrade works and landscaping will not result in any adverse impacts on the ecological environment, the headlands and rock platforms or use and access to public spaces.

The site contains two items of Aboriginal Heritage, identified as AH555 (rock engraving) located at the eastern end of Diamond Bay Reserve and AH 559 (Shelter with Potential Archaeological Deposit) located at Eastern Reserve, adjacent to George Street. The proposed works are in the vicinity of the Aboriginal Heritage Items; however, the works will not disturb or adversely impact on the significance of the items and is acceptable.

Clause 14 – Coastal Use Area

The western portion of Diamond Bay Reserve is located within the Coastal Use Area under the SEPP and as such the consent authority must consider the impacts of the development in accordance with the provisions of Clause 14. In particular, development must not have an adverse impact on the following:

- existing safe and equitable access to and along publicly accessible foreshore, headlands or rock platforms;
- overshadowing, wind funnelling or loss of views from public places to foreshores;
- visual amenity and scenic qualities of the coast and headlands;
- Aboriginal heritage; or
- cultural and built environment heritage.

The proposed upgrade works, in and adjacent to Diamond Bay Reserve, include replacement of existing way-finding signage, protection of existing indigenous vegetation to the east and west of the cliff walk and installation of a 2m wide low height boardwalk, extension to the existing lookout along the coastline and new seating with views to the north. The proposed works will not have adverse impacts on public amenity within Diamond Bay Reserve, has negligible impact on the coastline and will improve accessibility along the cliff walk. In regard to provision of equitable access, the upgrade of the boardwalks satisfies the functional requirements under Australia Standard AS1428.1 and will provide enhanced access to areas of Diamond Bay Reserve and Eastern Reserve that are not constrained by steep topography.

As such, the proposal is consistent with the provisions for development under Clauses 13 and 14 of the SEPP and is acceptable.

SEPP 64 Advertising and Signage

In accordance with clause 8 of SEPP 64, Council must not grant development consent unless it is satisfied that the proposed signage is consistent with the objectives of the SEPP and the assessment criteria set out under Schedule 1 of the SEPP.

An assessment against the criteria under Schedule 1 of the SEPP is provided in **Table 1** of this report.

Table 1: SEPP 64 Advertising and Signage Compliance Table

Assessment Criteria	Compliance	Comment
1 Character of the area		
Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	Yes	The proposed signage is consistent with the signage requirements under the Waverley Council Public Domain Technical Manual (WCPDTM) for wayfinding signs along a coastal walk and is suitable at the entries to Diamond Bay Reserve and Eastern Reserve. The replacement of warning and regulatory signs along the clifftop walk is consistent with the relevant Australian Standards and the design requirements under the WCPDTM.
Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	Yes	The design of the wayfinding signs is consistent with Council's Coastal Walk signs identified in the WCPDTM.
2 Special areas		
Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	Yes	The wayfinding signs are consistent with the design requirements for coastal walk signage in the WCPDTM and will not detract from the amenity or visual quality along the Clifftop Walk.
3 Views and vistas		
Does the proposal obscure or compromise important views?	Yes	The location and size of the wayfinding signs will not obscure views of the ocean, cliffs or coastline.
Does the proposal dominate the skyline and reduce the quality of vistas?	Yes	The wayfinding signs have a maximum height of 2.3m and are positioned at the entries to Diamond Bay Reserve and Eastern Reserve. The signs are not visually dominating and will not impact views of the ocean or coastline from the public domain or surrounding properties.
Does the proposal respect the viewing rights of other advertisers?	N/A	The wayfinding signs do not contain advertising.

Assessment Criteria	Compliance	Comment
4 Streetscape, setting or landscape		
Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	Yes	The proportion and design of the wayfinding signs are consistent with the requirements for coastal walk signage in the WCPDTM and is therefore appropriate within the public domain.
Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	Yes	The design of the wayfinding signs is consistent with requirements for coastal walk signage under the WCPDTM and is considered suitable.
Does the proposal reduce clutter by rationalising and simplifying existing advertising?	N/A	There is currently no clutter or advertising located within Diamond Bay Reserve or Eastern Reserve.
Does the proposal screen unsightliness?	Yes	There is no unsightliness at the current locations within Diamond Bay Reserve and Eastern Reserve where the wayfinding signs are proposed.
Does the proposal protrude above buildings, structures or tree canopies in the area or locality?	Yes	The proposed signage does not protrude above the height of surrounding buildings or trees.
Does the proposal require ongoing vegetation management?	Yes	The location of proposed signage will not impact existing or proposed plantings and will not require ongoing vegetation management.
5 Site and building		
Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	Yes	The wayfinding signs are consistent with dimensions for Council's Coastal Walk signs under the WCPDTM and are appropriately scaled for pedestrians within the public domain.
Does the proposal respect important features of the site or building, or both?	Yes	The signs will not detract from the character of surrounding public open spaces or views of the coastline.
Does the proposal show innovation and imagination in its relationship to the site or building, or both?	Yes	The wayfinding signs provide information to the public and is designed minimise visual impact on the natural character of the coastal walk areas.
6 Associated devices and logos with advertisements and advertising structures		
Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	Yes	The wayfinding signs are consistent with the materials and finishes for coastal walk signage identified in the WCPDTM. Council's logo is integrated into the signage and no lighting devices are proposed.

Assessment Criteria	Compliance	Comment
7 Illumination		
Would illumination result in unacceptable glare?	N/A	No illumination of signage is proposed.
Would illumination affect safety for pedestrians, vehicles or aircraft?		
Would illumination detract from the amenity of any residence or other form of accommodation?		
Can the intensity of the illumination be adjusted, if necessary?		
8 Safety		
Would the proposal reduce the safety for any public road?		Signage is not proposed within the road reserve and will not have any impacts on safety of road users.
Would the proposal reduce the safety for pedestrians or bicyclists?	Yes	The wayfinding signs are designed and located at access points to the clifftop walk to provide pedestrians with information. The signs will not reduce the safety of pedestrians or bicyclists.
Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	Yes	The dimensions of the wayfinding signs will not obscure sightlines within the surrounding public domain and will not reduce the safety of pedestrians, particularly children.

Given the above assessment of the proposed signs, the proposal satisfies the assessment criteria specified in Schedule 1 of SEPP 64 and is consistent with the objectives set out in clause 3(1)(a) of SEPP 64. The proposed signs are therefore acceptable.

2.1.1. Draft Waverley Local Environmental Plan 2022 (Draft Waverley LEP 2022)

It is acknowledged that the Draft Waverley Local Environmental Plan 2022 is on exhibition from 12 November 2021 to 23 January 2022, however at the time of this assessment, there are no relevant matters for consideration.

2.1.2. Waverley Local Environmental Plan 2012 (Waverley LEP 2012)

The relevant matters to be considered under the Waverley LEP 2012 for the proposed development are outlined below:

Table 2: Waverley LEP 2012 Compliance Table

Provision	Compliance	Comment
Part 1 Preliminary		
1.2 Aims of plan	Yes	<p>The proposal satisfies the aims of the plan as the upgrade works will enhance the amenity of the public domain for the wider community and maintains accessible open space and opportunities for recreational uses.</p> <p>The proposal seeks to retain, protect and increase native vegetation along the clifftop walk, which contributes to the natural environment and is consistent with the aims of the plan.</p>
Part 2 Permitted or prohibited development		
<p>Land Use Table</p> <ul style="list-style-type: none"> • RE1 Public Recreation Zone • E2 Environmental Conservation Zone 	Yes	<p>Diamond Bay Reserve, the clifftop walk and Eastern Reserve are located within the RE1 Zone. The adjacent cliff edge is located within the E2 Zone. The proposal consists of landscape works which are permitted with consent in the RE1 and E2 zones.</p>
Part 5 Miscellaneous provisions		
5.10 Heritage conservation	Yes	<p>The area of the coastal walk, that is the subject of this application, is contained within the Coastal Sandstone Escarpment Landscape Conservation Area (C37) in Schedule 5 of the Waverley LEP 2012.</p> <p>In addition, two Aboriginal Heritage Site (AH555 – rock engravings and AH559 – a shelter with potential archaeological deposit) are located within the site area.</p> <p>The site is also adjacent to the Oceanview Avenue Landscaped Conservation Area (C54). The boundaries of C54 are outside of the subject site.</p> <p>The scope of works will not detract from the character or significance of the landscape conservation areas and will not disturb the setting of the identified Aboriginal Heritage Sites.</p> <p>Council's Heritage Advisor has raised no objection to the proposal and has recommended installation of interpretative signage providing information regarding geological, archaeological, and historical aspects of the stone portal and stairs at Diamond Gully.</p>

Provision	Compliance	Comment
Part 6 Additional local provisions		
6.4 Terrestrial biodiversity	Yes	Existing pockets of vegetation within the site area are identified as having biodiversity value. The proposal is consistent with the provisions of the LEP, as the significant vegetation will be retained and protected. The proposal to provide additional vegetation along parts of the clifftop walk will contribute to native fauna and flora and is supported by Council's Urban Ecology Coordinator.

2.1.3. Waverley Development Control Plan 2012 (Waverley DCP 2012) – Amendment No.9

The relevant matters to be considered under the Waverley DCP 2012 for the proposed development are outlined below:

Table 3: Waverley DCP 2012 – Part B General Provisions Compliance Table

Development Control	Compliance	Comment
1. Waste	Yes	Satisfactory.
2. Ecologically Sustainable Development	Yes	Satisfactory.
3. Landscaping and Biodiversity	Yes	<p>Satisfactory.</p> <p>The subject site area is identified as a habitat corridor under the DCP and contains remnant vegetation. The proposed landscaping will contribute to the habitat corridor and the character of Diamond Bay Reserve, the coastline and Eastern Reserve.</p> <p>The proposed new landscaping will not have any adverse impacts on the amenity of adjoining properties, subject to conditions requiring further details of plant numbers and tree placements to be submitted for approval, and must demonstrate that the new plantings will not result in detrimental visual and amenity impacts on adjoining properties.</p>
4. Coastal Risk Management	Yes	The subject site area is identified as an area of Geotechnical Hazard. In accordance with the requirements of the DCP, a Coastal Risk Assessment and Geotechnical Risk Assessment have been submitted. The scope of works along the Lancaster Road coastal fencing, Bulga Street coastal fencing and the Oceanview Avenue stairs

Development Control	Compliance	Comment
		<p>will not be impacted by areas of geological instability and is acceptable.</p> <p>The Geotechnical Risk Assessment identified a potential landslide risk in the middle section of the existing boarding between Lancaster Road and Bulga Road. It has been recommended that further investigations including a Landslide Risk Management Assessment be undertaken by a Geotechnical Engineer prior to finalising design and construction details for the boardwalk. A condition requiring the preparation of a Landslide Risk Assessment has been included in Appendix A.</p>
5. Vegetation Preservation	Yes	<p>No significant trees requiring retention or protection have been identified within the subject site area.</p> <p>The proposal includes minimal clearing of existing native vegetation and some tree removal. The footprint of the existing and new sections of boardwalk are predominantly contained within areas that have been cleared of vegetation or previously disturbed. The proposal seeks to retain and protect existing indigenous vegetation immediately adjacent to the board walk and within Eastern Reserve.</p> <p>Council's Tree Management Officer has advised that the subject trees are not significant and removal is supported, subject to conditions to adequately protect existing trees identified for retention.</p>
6. Stormwater	Yes	Satisfactory.
7. Accessibility and Adaptability	Yes	<p>Satisfactory. The proposal seeks to improve accessibility where possible given the constraints presented by existing topography along the clifftop walk and Eastern Reserve.</p> <p>The proposal originally included the construction of a new accessible concrete ramp/pathway from Oceanview Avenue terminating at a new bench seat to the north in Eastern Reserve.</p> <p>Concerns raised in submissions by surrounding properties regarding potential amenity impacts from the construction and use of the pathway and seating area were considered at a Council meeting on 23 November 2021.</p> <p>Subsequently, a submission was made by the applicant seeking to address the objections by deleting the concrete pathway, timber bench</p>

Development Control	Compliance	Comment
		seating, sandstone paving and sandstone wall via conditions of consent. The request seeking to delete the proposed works is considered acceptable, subject to the provision of an accessible seating area within Eastern Reserve adjacent to Oceanview Avenue.
9. Heritage	Yes	Satisfactory. As discussed above, the proposal will not detract from the character or significance of the C37 and landscaped conservation areas or have any adverse impact on the Aboriginal Heritage items, subject to conditions.
10. Safety	Yes	<p>Satisfactory.</p> <p>The proposed installation of Waverley Council's Coastal Fence measuring 1.8m in height along the cliff edge along Eastern Reserve is consistent with coastal fencing used in other coastal areas in Waverley, will provide adequate public safety whilst allowing views to the ocean and coastline.</p> <p>The proposal to replace existing clifftop fences and the timber picket fence fronting George Street with the Waverley Council Coastal Fence is consistent with Council's Public Domain Technical Manual. However, a Council resolution from its meeting on 23 November 2021 seeks to address concerns raised by surrounding residents by retaining existing pedestrian access from George Street.</p> <p>In accordance with Council's Public Domain Technical Manual, timber picket fences are not used at the boundary of public reserves. The proposed replacement of timber picket fences with vehicle grade bollards at the entry to Eastern Reserve at Lancaster Road, Bulga Road, and Eastern Avenue seek to improve public safety within Eastern Reserve particularly in the event of a vehicle losing control travelling east along the subject streets.</p>
15. Advertising and Signage	Yes	Satisfactory. The proposed wayfinding, warning and regulatory signs to be installed along the clifftop walk are consistent with the design requirements for coastal walk signs in Council's Public Domain Technical Manual and is consistent with relevant Australian Standards.
16. Public Domain	Yes	Satisfactory. The proposal does not result in any adverse impacts on solar access, views and vistas, amenity or access to use the public domain along

Development Control	Compliance	Comment
		<p>the clifftop walk and Eastern Reserve, subject to conditions to restrict the height of vegetation.</p> <p>The proposed upgrade works to the boardwalk, fencing and improvements to accessibility to Eastern Reserve is consistent with the objectives and controls under the DCP and the Public Domain Technical Manual.</p>

2.2. Other Impacts of the Development

The proposal is considered to have no significant detrimental effect relating to environmental, social or economic impacts on the locality, subject to appropriate conditions being imposed.

2.3. Suitability of the Site for the Development

The site is considered suitable for the proposal.

2.4. Any Submissions

The application was notified for 21 days and seven site notices erected at Diamond Bay Reserve, Kimberley Street and the entries to Eastern Reserve between 28 September and 19 October 2021 in accordance with the *Waverley Community Development Participation and Consultation Plan*.

The proposal was re-notified for a further 14 days between 3 and 17 November 2021, and 23 November to 30 November 2021 to extend the notification area to ensure properties in the vicinity of the Diamond Bay Reserve and Eastern Reserve between Kimberley Street and Lancaster Road received notification letters.

A total of 113 unique submissions were received of which 84 submissions did not provide an associated property address, one submission on behalf of a resident from the Member for Vaucluse, and 28 submissions were received from the following properties:

Table 2: Number of and where submissions were received from.

Count	Property Address
•	25 Douglas Parade, Dover Heights
•	23 Wallangra Road, Dover Heights
•	191 Military Road, Dover Heights
•	12 Ray Street, Vaucluse
•	14 Ray St, Vaucluse
•	14 Ray St, Vaucluse
•	56 Oceanview Avenue, Vaucluse
•	58 Oceanview Avenue, Vaucluse
•	Units 1 and 2/79 Oceanview Avenue, Vaucluse
•	56 Oceanview Avenue, Vaucluse

•	23/67 Ocean Street, Woollahra
•	24 Weonga Road, Dover Heights
•	9/47 Albion St, Waverley
•	22 Bulga Road, Dover Heights
•	21 Bulga Road, Dover Heights
•	36 Portland Street, Dover Heights
•	37 Portland Street, Dover Heights
•	24 Eastern Avenue, Dover Heights
•	45 Eastern Avenue, Dover Heights
•	47 Eastern Avenue, Dover Heights
•	50 Eastern Avenue, Dover Heights
•	52 Eastern Avenue, Dover Heights
•	57 Eastern Avenue, Dover Heights
•	39 Park Parade, Bondi
•	304/268 Oxford St, Bondi Junction
•	7 Myuna Road, Dover Heights
•	8 Myuna Road, Dover Heights
•	3 Judges Lane, Waverley

Waverley Council Submission

Following a Council meeting on 23 November 2021, the Council resolved to amend the application to address the principal issues raised in the submissions including the removal of the existing pedestrian access at George Street to Eastern Reserve; the construction of a new concrete pathway with timber seating accessed from Oceanview Avenue; planting of Heath Leaved Banksia and She-oak trees; and the extent of additional landscaped areas within Eastern Reserve.

Because of time constraints, the amendments could not be incorporated into the proposal before the Panel meeting, so they were requested by way of a late submission. The changes are as follows:

- Delete the proposed 1.5-metre-wide concrete pedestrian path extending from the bottom of Oceanview Avenue into the reserve
- Delete the timber bench seating with sandstone paving and sandstone block retaining wall at the end of the proposed path from the bottom of Oceanview Avenue.
- Relocate the accessible seating to the eastern end of Oceanview Avenue.
- Maintain the access to Eastern Reserve from George Street while ensuring that the remnant vegetation and nearby Aboriginal archaeological site are protected.
- The proposed new low vegetation adjoining the clifftop coastal fence be no wider than 1 metre.
- Remove reference to all tree planting of heath-leaved banksia and scrub she-oak to the northwest of Eastern Reserve and replace with low vegetation.

- The proposed native vegetation on the western boundary of Eastern Reserve be no wider than 1.5 metres.

Community submissions

The following issues were raised in the submissions (these have already been discussed and addressed in the body of this report and/or the recommendation):

- Excessive buffer and tree plantings obstructing views and overshadowing of adjacent properties
- Location of new pathway from Oceanview Avenue to Eastern Reserve
- Bollards replacing timber picket fences
- Selection of appropriate materials for coastal fence and boardwalk that will not degrade/erode
- Coastal fence design and impacts on coastline and views
- Fencing and signage must not obscure views from adjoining properties
- Lack of notification to owners/occupiers in Eastern Avenue
- Consideration of Aboriginal Heritage items

All other issues raised in the submissions are summarised and discussed below.

Issue: Provision of access points and signage along coastal fence recognising rock climbers and slacklining activities.

Response: Council undertook a risk assessment and identified access and use of the cliff for rock climbing and slacklining as a high risk to public safety and does not consider the provision of gates along the coastal fence at the cliff's edge appropriate. In particular, provision of any type of access to the cliff's edge cannot be secured and monitored on a long-term basis and is considered an additional risk to public safety.

Issue: Loss of public access from George Street to Eastern Reserve.

Response: As submitted by the applicant, a condition has been included in the recommendation to retain the existing pedestrian access from the eastern end of George Street to Eastern Reserve. To ensure that pedestrian access via George Street does not result in any further deterioration of remnant vegetation or impact on the significance of the Aboriginal Heritage Item within the Eastern Reserve, design amendments to the landscape works are required to demonstrate how remnant vegetation and the heritage item will be protected from pedestrian traffic.

Issue: Design and location of bench seating along the clifftop walk should not obstruct standing room at lookouts and minimise safety risk.

Response: Details of the proposed seating at the lookout between Diamond Bay Reserve and Kimberley Street have not been provided with the architectural drawings. A condition has been imposed requiring detailed design and location of any seating at the lookout to be sufficiently setback from the coastal fence to minimise safety risk to the public whilst not impeding on standing room.

Issue: The proposed concrete pathway from Oceanview Avenue and seating adjacent to the property boundary of adjoining dwellings will destroy existing screen planting and impact on privacy for residents.

Response: The concrete pathway from Oceanview Avenue to Eastern Reserve was intended to provide an accessible pathway to a lookout and bench seating. However, the applicant has since agreed to delete the concrete path, bench seating, sandstone paving and sandstone retaining wall to address amenity concerns raised by adjoining residents. A condition has been imposed to require the removal of the works from the proposed plans and an alternative location for an accessible bench seat is required to be provided.

Issue: Planting of Heath Leaved Banksia and She-oaks trees within a 1m strip between the pathway and adjacent houses will cause overshadowing and view loss. Only low height planting should be planted adjacent to dwellings. Planting should be retained within the existing 2m wide planting area of natives that will not grow above 2m in height.

Response: The applicant has agreed to the removal of Heath Leaved Banksia and She-oaks trees along the north-western portion of Eastern Reserve. A condition has been imposed restricting new planting to be limited to low height vegetation to minimise impacts on view loss from adjoining properties. A further condition has been imposed limiting native vegetation areas along the western boundary of Eastern Reserve to a width of 1.5m.

Issue: Heath Leaved Banksia trees shed large amounts of leaves and flowers resulting in leaf litter to adjacent properties.

Response: A condition has been imposed removing the planting of Heath Leaved Banksia trees within the proposed landscaped areas within the north-western portion of Eastern Reserve.

Issue: Heath Leaved Banksia trees to a height of 7m is a safety hazard in a windy coastal environment.

Response: Given the harsh coastal environment, plantings of Heath Leaved Banksia trees are unlikely to reach a mature height of 7m.

Issue: Pathways and paving will reduce greenspace. The proposed block retaining wall will likely damage native trees.

Response: A condition has been imposed to delete the proposed concrete pathway from Oceanview Avenue along the western boundary of the Eastern Reserve and sandstone paving with sandstone block retaining wall to the north. The proposal will not result in any damage to existing or proposed tree plantings.

Issue: Proposed planting area along the western side of Eastern Reserve will block an existing side gate access from 22 Bulga Road to Eastern Reserve.

Response: A condition has been included to require the proposed area of native vegetation on the western side of Eastern Reserve adjacent to the eastern side boundary of 22 Bulga Road to be designed to maintain existing pedestrian access from the property to Eastern Reserve.

Issue: An extension of the sand pathway is preferable to a new concrete footpath.

Response: As agreed by the applicant, a condition has been imposed to delete the proposed 1.5m wide concrete pathway.

Issue: The proposed clifftop walkway will increase noise, litter and traffic within the quiet residential area.

Response: The alignment of the clifftop walk responds to the cliff's edge and is a continuation of existing clifftop boardwalk and pathways. The public open space is part of a wider network of coastal walks and providing improved access along this section of the coastline is considered to be in the public interest. As part of the upgrade works, Council seeks to install bins at entry/exit points and will manage ongoing waste collection. There is no evidence to indicate that the proposed upgrade works will attract any significant increase in traffic to the local area.

Issue: The proposal has not considered the DA approved for 58 Oceanview Avenue which lowered the fence to improve views of the cliff and ocean from basement windows, gardens and terrace areas. A sandstone wall has been built which will be obstructed by proposed planting.

Response: The proposal is unlikely to result in adverse view loss impacts to 58 Oceanview Avenue, subject to conditions restricting planting of low height vegetation along the western boundary of Eastern Reserve.

Issue: Are the upgrade works community or Council driven.

Response: Council has received a grant from the NSW Government's *Public Spaces Legacy Program* to undertake upgrade works to the clifftop walk. Council also seeks to align the proposal with Sydney Water's construction program for its *Refresh Vaucluse and Diamond Bay Project* which involves works within the subject site area.

Issue: Installation of bollards in place of picket fences is not safe for children and dogs who can run out onto the adjacent streets.

Response: Eastern Reserve is not a designated off-leash dog park and all dogs should be leashed whilst in the open space. Given the general fall of the open space from west to east and the width of the open space, persons within the reserve are likely to be occupying areas away from the roadway and does not pose any safety risks to children. It is also noted that Eastern Reserve is not a designated playground and picket fencing or the like is inconsistent with Council's Public Domain Technical Manual.

Issue: The proposed use of 316 stainless steel should be replaced with higher quality 2205 stainless steel.

Response: The use of 2205 stainless steel is not suitable for purpose along the clifftop walk as it is typically used in manufacturing and plant and is a more expensive material to source given the large amount of steel required for the proposed scope of works. The 2205 stainless steel does not offer greater structural stability or resistance to rust when compared to the proposed 316 stainless steel and is not a viable material for this proposal.

Issue: Devaluation of adjoining properties due to view loss and amenity impacts.

Response: The value of adjoining properties is not a planning matter for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979. As discussed in the report, the upgrade works will not result in any significant view loss impacts on adjoining properties, subject to landscaping conditions restricting the planting of low height vegetation. The level of privacy and noise impacts to properties immediately adjacent to Clifftop Walk and Eastern Reserve is unlikely to be adversely impacted given the principal use of the public open space will remain unchanged.

Issue: Location of warning signs need to be within the height of the fence.

Response: The location of proposed warning signs is required to comply with relevant Australian Standards.

Issue: No lighting should be installed along the coastal walk.

Response: The proposal does not seek to install any lights along the clifftop walk.

Issue: A paved lookout should be provided at Kimberley Street.

Response: The existing area immediately adjacent to Kimberley Street is constrained, however, a widened section of the boardwalk is proposed to provide a resting area and lookout of the ocean and cliffs to the north.

Issue: An outlook at the top of the stairs at Oceanview Avenue should be provided.

Response: An outlook at the top of the stairs at Oceanview Avenue is not considered appropriate as circulation space around the existing stairs must be retained and existing vegetation is required to be retained and protected.

Issue: Stepping stones should be incorporated at the termination of boardwalks and footpaths to reduce wear and tear of turf.

Response: Maintaining turf at the termination of pathways and boardwalks is consistent with the existing finish within Eastern Reserve.

Issue: The undercroft area below the boardwalk should be highly visible.

Response: The construction of the deck will not enable vegetation under the boardwalk to be highly visible however, surrounding vegetation will be highly visible from the boardwalks.

Issue: Proposed tree plantings will attract bats and bat waste to adjoining properties.

Response: A condition has been imposed, with the agreement of the applicant, to delete the planting of Heath Leaved Banksia and She-oak trees within the north-western portion of Eastern Reserve. Replacement plantings are required to be native low height plantings that will not contribute to attracting bats to the immediate area.

Issue: Additional plantings in Eastern Reserve will reduce available open space for recreation and require additional maintenance.

Response: A condition has been imposed, with the agreement of the applicant, to limit the width of new native vegetation areas along the cliff top coastal fencing in Eastern Reserve to 1m and 1.5m along the western boundary to minimise any significant loss of open space within Eastern Reserve. A condition has been imposed restricting plantings to low height plantings which will require minimal maintenance.

Issue: Areas of Eastern Reserve impacted by sewage pipes need to rehabilitate and impacts on residents minimised.

Response: Sewage related works is undertaken by Sydney Water and is not a matter for Council. However, the subject application seeks to undertake upgrade works to align with the proposed works by Sydney Water to minimise impacts on surrounding properties and to improve amenity of the public domain.

Issue: Rodney and Raleigh Reserves requires urgent repairs to prevent injury to the public.

Response: Rodney and Raleigh Reserves are outside the scope of the subject application. Any required maintenance and repair works will be undertaken by Council separately.

2.5. Public Interest

The proposal is considered to have no detrimental effect on the public interest, subject to appropriate conditions being imposed.

3. REFERRALS

The following internal referral comments were sought:

3.1. Infrastructure Services

Council's Infrastructure Services team reviewed the proposal and raised no objection subject to conditions requiring adherence to the recommendations provided within the Geotechnical Report and Coastal Risk Assessment submitted with the application.

3.2. Open Space and Recreational Infrastructure

Council's Open Space and Recreational Infrastructure Team reviewed the proposal and supports the boardwalk, stairs and coastal fence upgrade works, provision of additional viewing platforms/lookouts and wayfinding signage as the existing boardwalk and stairs need repair/replacement to minimise risk to public safety.

Materials

In regard to the selection of hardwood timber decking for the boardwalk and stairs, and 316 stainless steel for the coastal fences, Council has selected the materials based on durability, low maintenance and consistency with materials used on other sections of the coastline and cliff walks. Specifically, hardwood can have a lifespan of up to 50 years and is a sustainable natural material that complements the

character of the coastal environment. Composite wood is not considered structurally suitable for the proposed boardwalk and stairs and does not have the desired natural finish of hardwood.

The proposed use of 316 stainless steel for fencing, balustrades and handrails along the clifftop walk is consistent with existing coastal fencing in other areas in Waverley Council and is consistent with the Public Domain Technical Manual. In particular, the proposed stainless steel will be finished with a 600-grit polish which is structurally fit for purpose, resistant to rust and corrosion in coastal environments and can be attained at a suitable cost. Overtime, some colouring to the surface of the stainless steel will occur, however this is referred to as 'tea staining' and is not a result of rust or corrosion. Prior to the selection of the specific stainless steel, Council consulted with Australian Stainless Steel Development Association to ensure its suitability for the scope of works.

The proposed replacement of timber picket fences with vehicle grade bollards at the pedestrian entry/exits to Eastern Reserve at Oceanview Avenue, Eastern Avenue, Bulga Road and Lancaster Avenue will improve safety for vehicles travelling east along adjacent streets and provide improved access and views to Eastern Reserve. In accordance with the Public Domain Technical Manual fences are not commonly used along street fronts to public open spaces that do not contain a playground adjacent to a busy road. In this instance, the retention of picket fences at the various entry/exits to Eastern Reserve is not necessary and is inconsistent with treatment of public open spaces in other parts of Waverley.

Landscaping

No objection is raised to the proposed retention and protect of existing remnant vegetation and new buffer plantings along parts of the western and eastern boundaries of Eastern Reserve, subject to detailed landscape plans identifying the number and location of tree plantings and demonstrating that the tree plantings will not have any adverse impacts on views from adjoining properties.

Council's Open Space and Recreational Infrastructure Team have recommended conditions to address appropriate location and number of tree planting details which have been included in Appendix A.

3.3. Biodiversity

Council's Biodiversity and Environmental Sustainability team reviewed the proposal and raises no objection to the proposal as the landscape plan complies with the requirement under the Waverley DCP 2021 that a minimum 90% of proposed plantings are to comprise of indigenous or local native plants. Conditions relating to planting have been recommended and have been included in Appendix A.

3.4. Stormwater

Council's Stormwater Engineer reviewed the proposal and raised no objection to the proposal. No stormwater management conditions have been recommended.

3.5. Tree Management

Council's Tree Management Officer reviewed the proposal and raises no objection to the proposal, particularly as the removal of trees within the subject site area do not contain any trees of significance or worthy of retention. The proposal is supported subject to conditions which have been included in Appendix A.

3.6. Environmental Health

Council's Environmental Health team reviewed the proposal and raises no objection to the proposal as a change of use of the subject site area is not proposed and further investigations required to be carried out as recommended in the Preliminary Site Assessment prepared by Douglas Partners and dated 29 September 2021 are supported, subject to conditions which have been included in Appendix A.

3.7. Council Facilities

Council's Facilities team have not provided any comments for the proposal. It is therefore assumed that Council's Facilities team raises no objection to the proposal.



4. CONCLUSION

The development application seeks consent for upgrade works to sections of the Waverley Clifftop Walkway at Dover Heights between Diamond Bay Reserve at Diamond Bay Road and Lancaster Road, including part of Eastern Reserve.

The application has been assessed against the relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. It is recommended for approval subject to conditions of consent.

5. RECOMMENDATION TO WAVERLEY LOCAL PLANNING PANEL

That the development application be APPROVED by the Waverley Local Planning Panel subject to the conditions in Appendix A.

Report prepared by:	Application reviewed by:
	
Peggy Wong	Bridget McNamara
Senior Development Assessment Planner	Manager, Development Assessment
Date: 1 December 2021	Date: 1 December 2021

Reason for WLPP referral:

1. Conflict of interest – Council application
2. Contentious development (10 or more objections)

APPENDIX A – CONDITIONS OF CONSENT

A. APPROVED DEVELOPMENT

1. APPROVED PLANS AND DOCUMENTATION

The development must be in accordance with:

(a) Architectural Plans prepared by Thompson Berrill Landscape Design Pty Ltd including the following:

Plan Number and Revision	Plan description	Plan Date	Date received by Council
CWU-DD-04, Rev V2	Context Analysis Plan	03/09/2021	15/09/2021
CWU-DD-05-A, Rev V2	General Layout Plan A	03/09/2021	15/09/2021
CWU-DD-05-B, Rev V2	General Layout Plan B	03/09/2021	15/09/2021
CWU-DD-05-C, Rev V2	General Layout Plan C	03/09/2021	15/09/2021
CWU-DD-05-D, Rev V2	General Layout Plan D	03/09/2021	15/09/2021
CWU-DD-05-E, Rev V2	General Layout Plan E	03/09/2021	15/09/2021
CWU-DD-05-F, Rev V2	General Layout Plan F	03/09/2021	15/09/2021
CWU-DD-06, Rev V2	Landscape Plan	03/09/2021	15/09/2021
CWU-DD-08-A, Rev V2	Elevated Boardwalk Typical Cross Section	03/09/2021	15/09/2021
CWU-DD-08-B, Rev V2	Informal Pedestrian Access Typical Cross Section	03/09/2021	15/09/2021
CWU-DD-08-C, Rev V2	Low Boardwalk Typical Cross Section	03/09/2021	15/09/2021

(b) Soil & water Management Plan, Drawings Nos. CWU-DD-07-A to CWU-DD-07-F inclusive, prepared by Thompson Berrill Landscape Design Pty Ltd dated 03/09/2021

(c) Flora and Fauna Assessment Report prepared by Thompson Berrill Landscape Design dated 31/08/2021, and received by Council on 15/09/2021

(d) Public Safety Risk Assessment Report prepared by Thompson Berrill Landscape Design dated 31/08/2021, and received by Council on 15/09/2021

(e) DDA & Access Review Report prepared by Funktion dated 02/08/2021 and received by Council on 15/09/2021

(f) Preliminary Site Investigation Report prepared by Douglas Partners dated September 2021, and received by Council on 07/10/2021

- (g) Geotechnical Assessment Reports A to C inclusive, prepared by Douglas Partners dated 27/04/2021, and received by Council 15/09/2021
- (h) The Site Waste and Recycling Management Plan (SWRMP) Part 1.

Except where amended by the following conditions of consent.

2. GENERAL MODIFICATIONS

To reduce impacts on surrounding properties and from public spaces, the following amendments are to be made:

- (a) Delete the proposed 1.5-metre-wide concrete pedestrian path extending from the bottom of Oceanview Avenue into the reserve
- (b) Delete the timber bench seating with sandstone paving and sandstone block retaining wall at the end of the proposed path from the bottom of Oceanview Avenue.
- (c) Relocate the accessible seating to the eastern end of Oceanview Avenue.
- (d) Maintain the access to Eastern Reserve from George Street while ensuring that the remnant vegetation and nearby Aboriginal archaeological site are protected.
- (e) The proposed new low vegetation adjoining the clifftop coastal fence be no wider than 1 metre.
- (f) Remove reference to all tree planting of heath-leaved banksia and scrub she-oak to the northwest of Eastern Reserve and replace with low vegetation.
- (g) The proposed native vegetation on the western boundary of Eastern Reserve be no wider than 1.5 metres.
- (h) Detailed landscape documentation plans must be submitted for the approval of Council's Open Space Planning Team once further developed at 80% and 100% design review prior to tender and construction packages for the landscape component. Detailed landscape plans are to address the following:
 - i. Plantings immediately adjacent to the clifftop fence are to consist of only low height vegetation and the vegetation area is to be no greater than 1 metre in width.
 - ii. New sandstone terracing/steps in Eastern Reserve to accommodate sandstone log terracing with planting at the edge of the stair where possible to treat erosion on slope to match the treatment of existing stairs and terracing.
 - iii. Future revisions of the landscape plans to provide details on tree placement with number of plants to manage views and provide shade to seating and walkers.
- (i) The native vegetation area on the western side of Eastern Reserve and adjacent to the eastern side boundary of 22 Bulga Road is to be designed so that existing pedestrian access from the side gate to Eastern Reserve is adequately maintained.
- (j) Detailed design and location of any bench seating at lookout points are to be sufficiently setback from the coastal fence to minimise safety risk to the public whilst not impeding on standing room.

- (k) Detailed design and location of the accessible bench seating to be located in Eastern Reserve adjacent to Oceanview Avenue is to be shown on amended plans.
- (l) Interpretive signage detailing the geological, archaeological, and historical aspects of the stone portal and cliff stairs in Diamond Gully should be provided along the clifftop walk in locations that are in proximity and view of the stone portal and cliff stairs. Details of interpretive signage are to be submitted to Council's Heritage Advisor for approval.

The amendments are to be approved by the **Executive Manager, Development Assessment (or delegate)** prior to the issue of any Construction Certificate. An electronic copy of the amended plans or additional information (see website for electronic document requirements) addressing this condition, including a covering letter shall be provided to Council for review.

3. LANDSLIDE RISK ASSESSMENT

A landslide risk assessment is to be prepared by a geotechnical engineer prior to the construction of the new boardwalk along the Eastern Boardwalk in accordance with the Australian Geomechanics Society's Practise Note Guidelines for Landslide Risk Management to determine the alignment and any required structural requirements for the boardwalk.

B. PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

GENERAL REQUIREMENTS

4. NO BUILDING OR DEMOLITION WORKS PRIOR TO RELEASE OF CONSTRUCTION CERTIFICATE

The building work, or demolition work, must not be commenced until:

- (a) a Construction Certificate has been obtained from Council or an Accredited Certifier in accordance with the *Environmental Planning and Assessment Act 1979*;
- (b) a Principal Certifying Authority has been appointed and Council has been notified of the appointment in accordance with the *Environmental Planning and Assessment Act 1979* and *Environmental Planning and Assessment Regulation 2000*; and
- (c) Council is given at least two days' notice in writing of the intention to commence the building works.

5. LONG SERVICE LEVY

A long service levy, as required under section 34 of the *Building and Construction Industry Long Service Payments Act, 1986*, is to be paid in respect of this building work. Evidence that the levy has been paid is to be submitted to the Principal Certifying Authority prior to the issue of any Construction Certificate.

Note: Council acts as an agent for the Long Service Payment Corporation and the levy may be paid at Council's office. The levy rate is 0.35% of building work costing \$25,000 or more.

CONSTRUCTION & SITE MATTERS

6. PRELIMINARY SITE ASSESSMENT REPORT RECOMMENDATIONS

The recommendations as outlined in the Preliminary Site Assessment carried out by Douglas Partners (project no: 203383.02) and dated 29 September 2021 shall be implemented.

A report/certificate prepared by a suitably qualified Environmental consultant is to be submitted to the Principal Certifying Authority and the Council, certifying that all recommendations (made in above report) have been satisfied and the site is suitable for the intended use;

Or

If Remedial work is required a Site Audit Statement (SAS) prepared by an accredited NSW EPA Site Auditor clearly stating that the site is suitable for the intended use must be submitted.

Conditions on the SAS must form part of the conditions of consent of the Notice of Determination.

Where the Site Audit Statement is subject to conditions that require ongoing review by the Auditor or Council these conditions should be discussed with Council before the Site Audit Statement is issued.

7. HOARDING

To ensure the site is contained during construction, a hoarding is required for the approved works, which is to be designed and constructed in accordance with the requirements of Safe Work NSW. Where the hoarding is to be erected over the footpath or any public place, the approval of Council's Compliance Unit must be obtained and the applicable fees paid, prior to the erection of the hoarding.

8. EROSION & SEDIMENT CONTROL

A Soil and Water Management Plan (SWMP), also known as an Erosion and Sediment Control Plan must be prepared in accordance with Waverley Council's Water Management Technical Manual.

The SWMP must be approved by the Principal Certifying Authority prior to the issue of a Construction Certificate. A copy of the SWMP must be kept on site at all times and made available to Council officers upon request.

The recommendations of the SWMP must be implemented and maintained during all construction activities and until the site is fully stabilised following construction.

9. ENGINEERING DETAILS

Structural details are to be prepared and certified by a practicing Structural Engineer in connection with all structural components of the approved works, prior to the issue of the relevant Construction Certificate.

TRAFFIC MANAGEMENT

10. CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

The applicant is to submit a Construction Traffic Management Plan (CTMP) for the approval of Council's Executive Manager, Infrastructure Services, or delegate, prior to the issue of any Construction

Certificate. For further information on what is required in the CTMP, please refer to Council's website at:

[https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications - conditions of consent](https://www.waverley.nsw.gov.au/building/development_applications/post_determination/development_applications_-_conditions_of_consent)

WASTE

11. SITE WASTE AND RECYCLING MANAGEMENT PLAN

A *Site Waste and Recycling Management Plan (SWRMP) - Part 2* is to be submitted to the Principal Certifying Authority prior to the issue of the relevant Construction Certificate, which outlines materials to be reused and/or recycled as a result of demolition and construction works. At least one copy of the *SWRMP Part 2* is to be available on site at all times during construction. Copies of demolition and construction waste dockets that verify the facility that received the material for recycling or disposal and the quantity of waste received, must be retained on site at all times during construction.

C. COMPLIANCE PRIOR TO WORK COMMENCING AND DURING CONSTRUCTION

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required.

PRIOR TO ANY WORKS

12. CONSTRUCTION SIGNS

Prior to commencement of any works on the site and during construction a sign shall be erected on the main frontage of the site detailing the name, address and contact details (including a telephone number) of the Principal Certifying Authority and principal contractor (the coordinator of the building works). The sign shall be clearly legible from the adjoining street/public areas and maintained throughout the building works.

DEMOLITION & EXCAVATION

13. CONTROL OF DUST ON CONSTRUCTION SITES

The following requirements apply to demolition and construction works on site:

- (a) Hazardous dust is not to be allowed to escape from the site. The use of fine mesh dust proof screens or other measures are recommended. Any existing accumulations of dust (e.g. ceiling voids and wall cavities) must be removed by the use of an industrial vacuum fitted with a high efficiency particle air (HEPA) filter. All dusty surfaces and dust created from work are to be suppressed by a fine water spray. Water must not be allowed to enter the street and stormwater systems. Demolition is not to be performed during adverse winds, which may cause dust to spread beyond the site boundaries.
- (b) All contractors and employees directly involved in the removal of hazardous dusts and substances are to wear protective equipment conforming to Australian Standard AS1716 Respiratory Protective Devices.

CONSTRUCTION MATTERS

14. CONSTRUCTION HOURS

Demolition and building work must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays and 8am to 3pm on Saturdays with no work to be carried out on:

- (a) Sundays and public holidays.
- (b) Excavation works involving the use of heavy earth movement equipment, including rock breakers and the like, must only be undertaken between the hours of 7am and 5pm on Mondays to Fridays, with no such work to be carried out on Saturday, Sunday or a public holiday.

Noise from construction activities shall comply with the Protection of the Environment Operations (Noise Control) Regulation 2017.

15. STOCKPILES, STORAGE OF MATERIALS AND LOCATION OF BUILDING OPERATIONS

All building materials and any other items associated with the development are to be stored within the property. No materials are to be stored on Council's footpath, nature strip, or road reserve without prior Council approval.

16. CLASSIFICATION OF WASTE/ DISPOSAL OF EXCAVATED SOILS

Prior to the exportation of waste (including fill or soil) from the site the material must be classified in accordance with the provisions of the Protection of the Environment Operations Act, 1997 and the NSW EPA Waste classification guidelines 2014.

TREE PROTECTION AND REMOVAL

17. TREE PROTECTION

All trees on site and adjoining properties, including street trees, are to be retained and protected in accordance with AS4970-2009 'Protection of Trees on Construction Sites' and to be certified by an Arborist with AQF level 5 qualification or above, unless approved to be removed in this development consent.

18. PROTECTION OF VEGETATION

- (a) Prior to the commencement of construction work, vegetation protection measures are to be adopted in accordance with the recommendations contained in the Flora and Fauna Assessment prepared by Thompson Berrill Landscape Design dated 31 August 2021 including the following:
 - (i) Vegetation protection measures should be installed around all vegetation that is to be retained. This will assist in the prevention of unnecessary damage occurring to any vegetation that will not be removed. Examples of vegetation protection measures could include:
 - Installing physical barriers that would prevent machinery and personnel from entering areas that will not require vegetation removal;
 - Demarcation of vegetation to be retained by using flagging tape or hi-vis flagging rope; and

- Installing tree guard protection around the larger shrubs and small trees that are to be retained.
- (ii) Landscaping proposed as part of the works should be comprised of native species which form part of the vegetation communities known from the study area and surrounds.
- (b) For the duration of construction works, measures to protect vegetation are to be undertaken as follows:
- (i) Ensure all equipment and machinery are washed down prior to entering and leaving the construction site in order to minimise the introduction of exotic flora species and soil pathogens.
 - (ii) Thoroughly clean all equipment of soil and weed propagules prior to entry into the study area.
 - (iii) Bag and remove all weed propagules offsite, preferably the same day and dispose of at designated green waste facility.

19. REMNANT VEGETATION

Works associated with the boardwalk upgrade must not damage remnant vegetation, whether by removal of plants, flattening of plants or dumping of soil or other materials onto plants. This must be monitored by Council's Project Manager, and any issues reported to Council's Urban Ecology Team.

D. PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE OR SUBDIVISION CERTIFICATE

The requirements outlined in this section are to be provided to the satisfaction of the Principal Certifying Authority in all instances, except where a condition explicitly specifies that the approval of Council or a Council Officer is required, prior to the issue of an Occupation Certificate or Subdivision Certificate, whichever applies.

20. FINAL OCCUPATION CERTIFICATE

Prior to occupation or use of the development, an Occupation Certificate must be obtained.

The Principal Certifying Authority must be satisfied that the requirements of the *Environmental Planning & Assessment Act 1979* have been satisfied including all critical stage inspections. Documentary evidence of all required inspections is to be submitted to Council.

21. CERTIFICATION OF PUBLIC INFRASTRUCTURE WORKS

To ensure public infrastructure works required under the consent are completed to Council's satisfaction a final inspection of the completed works is required from Council's Executive Manager, Infrastructure Services, or delegate. The Occupation Certificate shall not be issued until certification has been obtained from Council confirming the public infrastructure works have been constructed to Council's satisfaction.

E. ADVISORY MATTERS

The following advisory matters are provided as additional information to ensure compliance with the relevant legislation and requirements. You must also check other Commonwealth and NSW Acts and Regulations which may apply to the works or use approved in this application.

AD1. POST CONSENT CONDITIONS REQUIRING COUNCIL INPUT

Various conditions require further input, review or approval by Council in order to be satisfied following the determination of the application (that is, post consent). In those instances, please adhere to the following process to avoid delays:

- Please read your conditions carefully.
- Information to be submitted to Council should be either via email to info@waverley.nsw.gov.au or via the NSW Planning Portal (if required).
- Attention the documentation to the relevant officer/position of Council (where known/specified in condition).
- Include DA reference number.
- Include condition number/s seeking to be addressed.
- Where multiple conditions need Council input, please try to group the documentation / email/s into relevant subjects (multiple emails for various officers may be necessary, for example).
- Information to be submitted in digital format – refer to ‘Electronic lodgement guidelines’ on Council’s website. Failure to adhere to Council’s naming convention may result in documentation being rejected.
- Where files are too large for email, the digital files should be sent to Council via CD/USB. Council does not support third party online platforms (data in the cloud) for receipt of information.
- Please note, in some circumstances, additional fees and/or additional documents (hard copy) may be required.
- Council’s standard for review (from date the relevant officer receives documentation) is 14 days. Times may vary or be delayed if information is not received in this required manner.

AD2. DIAL BEFORE YOU DIG

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual’s responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.